



Town of Barnstable
Old King's Highway Historic District Committee

367 Main Street, Hyannis, MA 02601

P 508.862.4787 [Web link](#)

AMENDED AGENDA

Wednesday, October 13, 2021, 6:30pm

The Old King's Highway Historic District Committee will be held by remote participation; see instructions below.

1. Real-time access: Applicants, their representatives and individuals required or entitled (*public comment*) to appear before the Old King's Highway Historic District Committee may participate through accessing the link or telephone number provided below:

Link: Join Zoom Meeting <https://zoom.us/j/91853110647>

Phone: 1- 888-475-4499 and entering Meeting ID: 91853110647

2. Following the meeting, a recording will be televised via Channel 18 and may be viewed via the Channel 18 website at <http://streaming85.townofbarnstable.us/CablecastPublicSite/>

3. Documentary exhibits and/or visual presentations should be submitted in advance of the meeting to grayce.rogers@town.barnstable.ma.us so that they may be displayed for remote public access viewing.

4. Members of the public wishing to review plans and applications prior to the meeting are instructed to contact Assistant Director, Grayce Rogers, by calling 508-862-4787 or by emailing grayce.rogers@town.barnstable.ma.us

To all persons deemed interested or affected by the Town of Barnstable's Old King's Highway Historic District Act under Section 9 of Chapter 470, Acts of 1973 as amended. You are hereby notified that a hearing will be held on the following applications:

APPLICATIONS

Sturgis Library, Inc., 3090 Main Street, Barnstable, Map 279, Parcel 036/000, built c. 1800, Sturgis Library/ 2nd Home of Rev. John Lothrop, listed as a contributing structure for the Old King's Highway Historic District
Replace existing signage with a new, painted wooden sign to be mounted on existing post, on the building, and on a new post.

Costa, Christine & Alberto, 71 Sunset Lane, Barnstable, Map 301, Parcel 024/000, built c. 2009
Alter existing garage to become a den/sunroom with window change.

Galvani, Ann, 61 Second Way, Barnstable, Map 301, Parcel 058/000, built c. 1954
To make changes to windows, trim, and siding.

Kraz, Tom & Denise, 205 Stoney Point Road, Barnstable, Map 336, Parcel 029/000, built c. 1948
Demolition of existing 2 bedroom cottage, including block foundation.

Kraz, Tom & Denise, 205 Stoney Point Road, Barnstable, Map 336, Parcel 029/000, built c. 1948
Construct a new 3 bedroom dwelling with full basement in place of existing cottage.

Stather, Connie, 194 Salt Rock Road, Barnstable, Map 316, Parcel 016/000, built c. 1978

To add a 20' x 14' addition to left rear of the dwelling, change front windows, doors, siding, and roof on existing dwelling.

Summit Barnstable Partners, LLC., 40 First Way, Barnstable, Map 301, Parcel 047/000, built c. 1951

Replace 10 double hung windows, 3 gliding double windows, and 3 gliding triple windows all with white exterior.

Cupples, Kim, 84 Swallow Hill Drive, Barnstable, Map 336 Parcel 069/000, built c. 1974

Replace 2 gliding double windows, 2 picture windows, and 3 double hung windows all with black exterior.

Brazelton, Catherine, 232 Commerce Road, Barnstable, Map 318 Parcel 024/000, built c. 1962

To change the color of the trim from white to gray.

MINOR MODIFICATION

Hower, Bob & Kira, 29 Salten Point Road, Barnstable, Map 280 Parcel 009/000, built c. 1950

To extend west deck and exterior shower.

Burrows, James, 3845 Main Street/Route 6A, Barnstable, Map 335 Parcel 008/001, built c. 1979

To change deck size from 7' x 7' to 8' x 8'. To install a circular staircase instead of a typical ascending staircase.

Eubanks, Kenneth E., 293 Oakmont Road, Barnstable, Map 334 Parcel 023/000, built c. 1985

To install additional solar panels on house.

APPROVAL OF MINUTES

- 1.) September 8, 2021

NEXT MEETING DATE

October 27, 2021

Please Note: The list of matters, are those reasonably anticipated by the chair, which may be discussed at the meeting. Not all items listed may be discussed and other items not listed may also be brought up for discussion to the extent permitted by law. It is possible that if it so votes, the Committee may go into executive session. The Committee may also act on items in an order other than they appear on this agenda. * Public files are available for viewing during normal business hours at the Old King's Highway Historic District office located at 200 Main Street, Hyannis, MA. Please coordinate with staff to arrange an appointment to view files.



Town of Barnstable
Planning & Development Department
Old King's Highway Historic District Committee
367 Main Street, Hyannis, MA 02601
www.townofbarnstable.us/planninganddevelopment



Elizabeth Jenkins, AICP
Director

SUBMISSION CHECKLIST

for

Certificate of Appropriateness Certificates of Demolition or Relocation

- (1) **Email** one complete application and supporting documentation (please do not email copies of checks) to erin.logan@town.barnstable.ma.us
- (2) **Mail or drop off** one complete application, supporting documentation, filing fee, legal ad fee, and postage stamps.

If mailing, please send to: *Town of Barnstable
Planning & Development Dept.
c/o Erin Logan
367 Main Street
Hyannis, MA 02601*

If dropping off, please leave in the **Historic box** in the vestibule of our **200 Main Street, Hyannis** office. *Please do not drop off at 367 Main.*

Applications are considered received when both electronic and paper copies are received by staff.

Note – Until otherwise advised, we only require one complete paper set of the application and supporting documentation. Please disregard where the applications call for multiple copies of documents.



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign : New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 9/17/2021

NOTE: All applications must be signed by the current owner

Owner (print): Sturgis Library, Inc. Telephone #: 508-362-6636

Address of Proposed Work: 3090 Main Street/Route 6A Village Barnstable Map Lot # 279/036

Mailing Address (if different) Same

Owner's Signature [Signature]

Description of Proposed Work: Give particulars of work to be done: _____

Replacement of existing deteriorated wood and metal signage with new painted carved wood signage with gold leaf letters, carved and gold leafed book graphic. To be mounted on existing post, on building, and on new post to replace missing Historic Marker.

Agent or Contractor (print): Maria Raber, Catalyst Architecture/Interiors Telephone #: 508-362-8382

Address: 203 Willow St., Suite A, Yarmouthport, MA 02675 Email: maria@catalystarchitects.com

Contractor/Agent' signature: [Signature]

<p><i>For committee use only</i></p> <p>Date _____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p>	<p>This Certificate is hereby APPROVED / DENIED</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> <p>_____</p>
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CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) _____

Siding Type: Clapboard ___ shingle ___ other _____
Material: red cedar ___ white cedar ___ other _____ Color: _____

Chimney Material: _____ Color: _____

Roof Material: (make & style) _____ Color: _____

Roof Pitch(s): (7/12 minimum) _____ (specify on plans for new buildings, major additions)

Window and door trim material: wood _____ other material, specify _____

Size of cornerboards _____ size of casings (1 X 4 min.) _____ color _____

Rakes 1st member _____ 2nd member _____ Depth of overhang _____

Window: (make/model) _____ material _____ color _____
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights ___ exterior glued grills ___ grills between glass ___ removable interior ___ None ___

Door style and make: _____ material _____ Color: _____

Garage Door, Style _____ Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: _____ Color: _____

Gutter Type/Material: _____ Color: _____

Deck material: wood _____ other material, specify _____ Color: _____

Skylight, type/make/model/: _____ material _____ Color: _____ Size: _____

Sign size: Multiple Signs - see attached diagrams Type/Materials: Carved Wood, Painted, Gold Leaf Color: Black/Gold Leaf/Off-White White/Black

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: Submission is limited to signage only - existing signs are being replaced with new signs very similar in size in existing locations.

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer)  _____ Print Name Maria Raber, Catalyst Architecture/Interiors

Town of Barnstable, Old Kings Highway Historic District Committee

CHECKLIST -- CERTIFICATE OF APPROPRIATENESS

Please check the applicable categories; This check list must be completed and submitted with your application.

1. ALTERATIONS (new paint color, changes to siding, roof shingles, windows or door etc.)

- Application for Certificate of Appropriateness**, 5 copies.
- Spec Sheet**, 4 copies; brochures and color samples.
- Plans of building elevations/photographs, 5 copies, **ONLY** if there is a change to the location and size of the window (s) or door (s)

2. MINOR ADDITIONS e.g. decks, shed (over 120 sq. feet)

- Application for Certificate of Appropriateness**, 5 copies.
- Spec Sheet**, 5 copies; brochures and color samples.
- Site Plan**, 5 copies, **ONLY** if there is a change to the building footprint.
A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, **UNLESS** the porch, deck, pool, or shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted, see requirements as applicable, see 4. Site Plan, below.
- Photographs** of all building elevation affected by any proposed alterations.
- Plans:** 5 copies plus 1 at reduced scale to fit 8.5 x 11 or 11 x 17 paper
Company brochure of manufacturer's shed **OR** to-scale sketch of affected structure or building elevations.

3. STRUCTURES, NEW/ALTERED (fences, new stonewalls or changes to, retaining walls, pools etc)

- Application for Certificate of Appropriateness**
- Spec Sheet**, brochures or diagram.
- Site plan**, see Instructions 2. Site Plan, above.
- Photographs** of any existing structure that will be affected by change.

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING

- Application for Certificate of Appropriateness** (5 copies).
- Spec Sheet**, 5 copies, brochures and samples of colors.
- Site Plan**, 5 copies, at an appropriate scale. & 5 copies of site plans at reduced scaled to fit 8.5”X11 or 11X17 paper
Site Plans shall contain the following:
 - Name of applicant, street location, map and parcel.
 - Name of architect, engineer or surveyor; original stamp and signature; date of plan and revision dates.
 - North arrow, written and drawn scale.
 - Changes to existing grades shown with one-foot contours.
 - Proposed and existing footprint of the building and/or structures, and distance to lot lines.
 - Proposed driveway location.
 - Proposed limits of clearing for building(s), accessory structure(s), driveway and septic system.
 - Retaining walls or accessory structures (e.g. pool, tennis court, cabanas, barn, garage etc.)
- Building Elevations:**
 - 5 copies of plans at a scale of 1/4” = 1 foot; a written and drawn scale.
 - 5 copies of plans at a reduced scale to fit 8.5”x 11 or 11 x 17 paper.

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - CONTINUED

Plans shall include the following:

- Name of applicant, street location, map and parcel.
- Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.
- A written and bar drawn scale
- Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- Window schedule on plans.
- Landscaping plan**, 5 copies drawn on a certified perimeter plan containing the following information:
 - Name of applicant, street address, assessor’s map and parcel number.
Name address and telephone number of the plan preparer, plan date, & dates of revisions
 - The location of existing and proposed buildings and structures, and lot lines.
 - Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
 - Existing buffer areas to remain.
 - Location and species of trees outside of buffer areas greater than 12” caliper to be retained or removed.
 - The location, number, size and name of proposed new trees and plants.
 - Driveway, parking areas, walkways, and patios indicating materials to be used.
 - Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
 - All proposed exterior lighting and signs.
- Sketch or photos of adjacent properties**, (1 copy only)
A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.
- Photographs of all sides of existing buildings** to remain, or being added to .

Please complete the following:

Existing building, foot print:

Building 1 _____ sq. ft. Building 2 _____

Existing Building, gross floor area, including area of finished basement:

Building 1 _____ sq. ft. Building 2 _____

New building or addition, foot print:

Building 1 _____ sq. ft. Building 2 _____

New Building or addition, gross floor area, including area of finished basement:

Building 1 _____ sq. ft. Building 2 _____

**TOWN OF BARNSTABLE
OLD KING'S HIGHWAY HISTORIC DISTRICT COMMITTEE**

STATEMENT OF UNDERSTANDING

As property owner/contractor/agent for the construction at:

<u>279/036</u>	<u>3090</u>	<u>Main Street / Route 6A</u>
Map/Parcel	Number	Street

Barnstable Village

Village

Only minor changes may be approved by the Committee without a new application and a hearing. Minor changes include things like moving a single window or door or a minor change of color. All changes by amendment require the Committee's written approval.

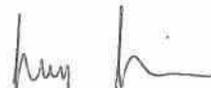
A request for change must be submitted to the Committee in writing. Approval must be obtained before incorporating the change into the project.

For more than one revision to approved plans, a new application for a Certificate of Appropriateness must be applied for. Failure to comply with approved plans may result in the Building Department issuing a stop work order or denying an Occupancy Permit.

I HAVE READ AND UNDERSTAND THE ABOVE STATEMENTS

Date

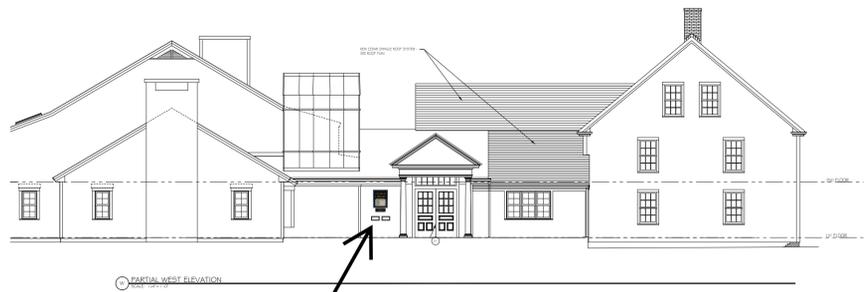
Signed:

 9/20/2021

Applicant / Applicant's Representative

Signed:

Paul Richard, Chair, Old King's Highway



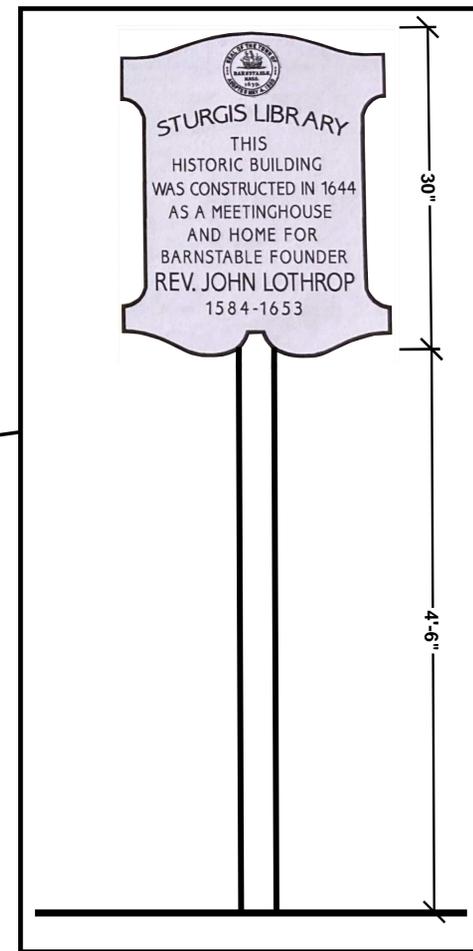
NEW LIBRARY HOURS SIGNAGE TO REPLACE EXISTING



NEW SIGNAGE ON EXISTING SIGN/LIGHT POST AND BRACKET



1 ARCHITECTURAL SITE PLAN
SCALE: 1/16" = 1'-0"



NEW HISTORIC MARKER SIGNAGE ON NEW SIGN POST

STAMP:

Catalyst
Architecture Interiors
Where visions take shape
203 WILLOW STREET, SUITE A YARMOUTHPORT, MA 02675
P. 508-362-8382 WWW.CATALYSTARCHITECTS.COM

RENOVATIONS TO THE
STURGIS PUBLIC LIBRARY
3090 MAIN STREET
BARNSTABLE, MA

TITLE:
SIGNAGE LOCATION SITE PLAN

DATE ISSUED: 12.1.2020
REVISIONS: --

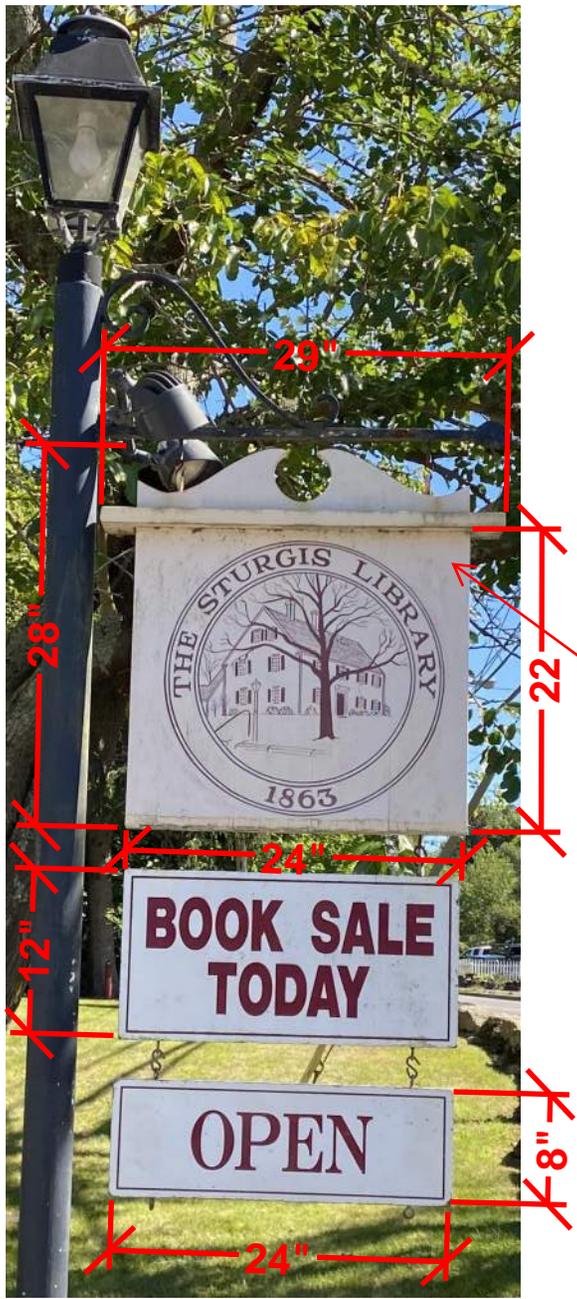
DRAWN BY: SW

PROJECT #: ---

DRAWING NO.:

7 July 2021 Steve Williams MA Standard 5118
H:\Current Projects\Commercial\Sturgis Library Renovations\2020\Drawings\Current\Drawings\Sturgis Library Revn. 2020.rvt

EXISTING SIGNAGE TO BE REMOVED FROM EXISTING POST



NEW SIGNAGE MOUNTED ON EXISTING POST

RAISED BORDER
PAINTED
OFF-WHITE

CARVED
LETTERS 23KT
GOLD LEAF

BACKGROUND
PAINTED SATIN
BLACK

EXISTING
PAINTED WOOD
SIGN

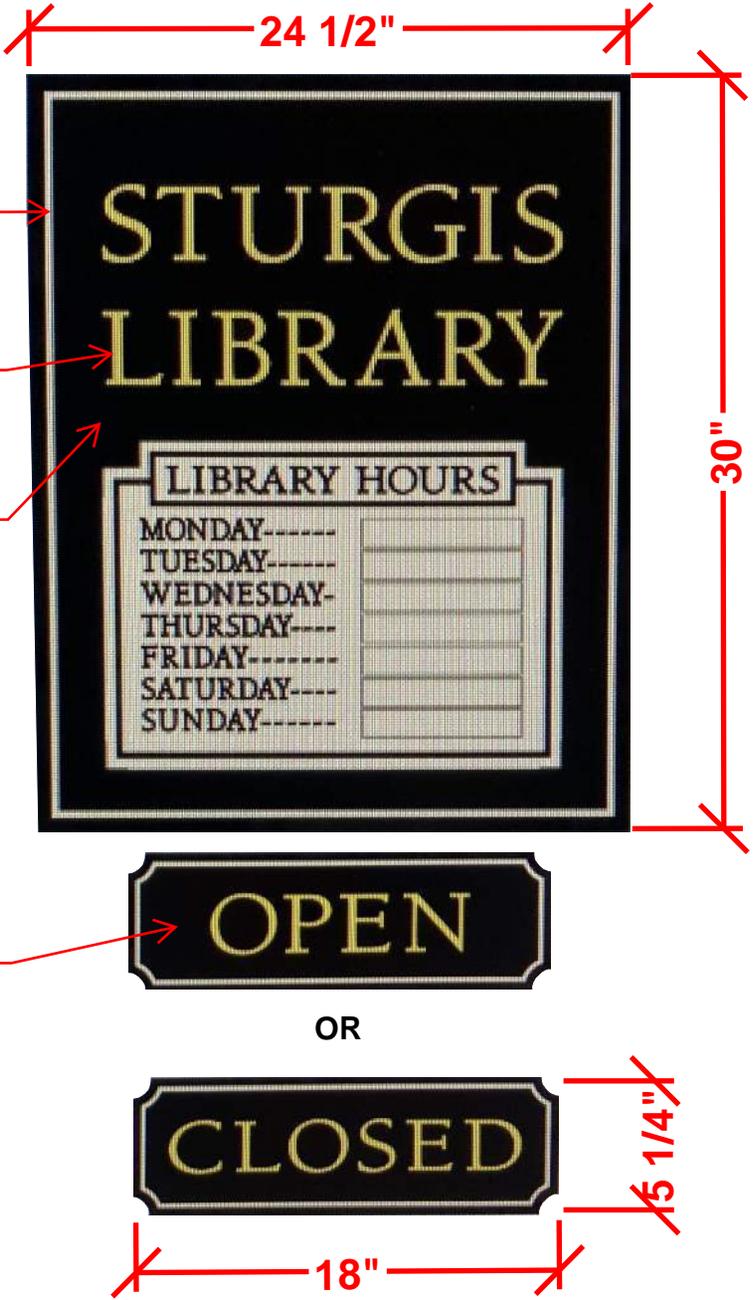
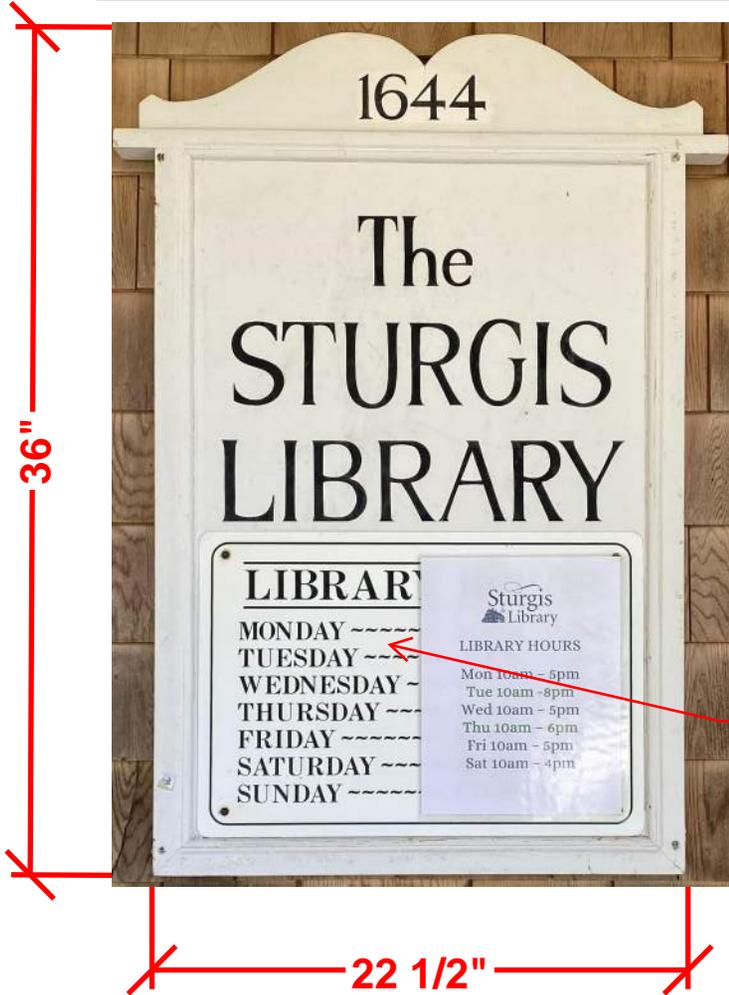
"OPEN" OR
"CLOSED" SIGN
BELOW BOOK
SALE SIGN



MAIN SIGN AT STREET SIDE - MOUNTED ON EXISTING POST AND BRACKET

EXISTING SIGNAGE TO BE REMOVED

NEW SIGNAGE



**RAISED BORDER
PAINTED
OFF-WHITE**

**CARVED
LETTERS 23KT
GOLD LEAF**

**BACKGROUND
PAINTED SATIN
BLACK**

**EXISTING
PAINTED WOOD
SIGN**

**"OPEN" OR
"CLOSED" SIGN
BELOW LIBRARY
HOURS SIGN**

BUILDING MOUNTED LIBRARY HOURS SIGNAGE

FORMER SIGN PREVIOUSLY REMOVED



NEW HISTORIC MARKER SIGNAGE



RAISED BORDER PAINTED BLACK

CARVED LETTERS AND SEAL PAINTED BLACK

BACKGROUND PAINTED SATIN WHITE

PAINTED METAL SIGN PREVIOUSLY INSTALLED, BUT REMOVED

METAL SIGN POST PAINTED BLACK

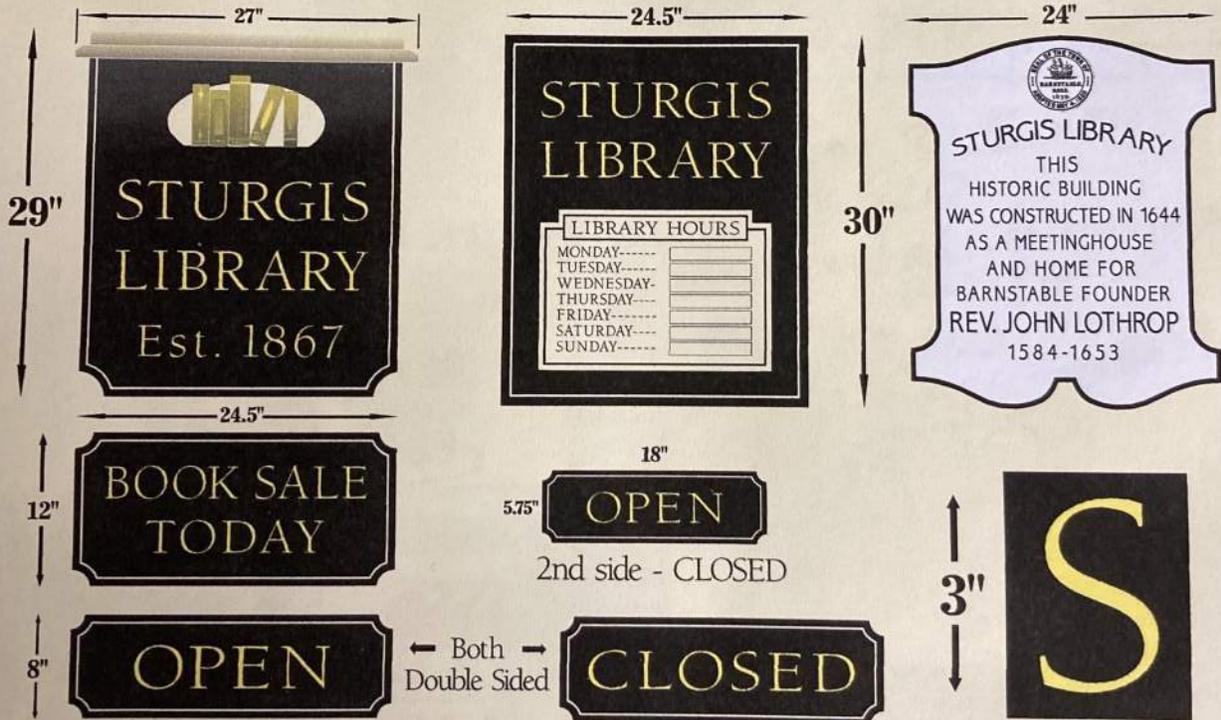
POST MOUNTED HISTORIC MARKER SIGNAGE

Custom Handmade Woodcarving & Signage

FARRINGTON
WOODCARVING

33 Boardley Rd.
Sandwich, Ma. 02563
contact@farringtonwoodcarving.com
774-238-2958

Proposed Work



Notes

- 7 Signs totaling 18.75 sq. ft.
- 4 for the street (8sq. ft.)
- 2 for the building (5.75 sq. ft.)
- 1 for the front (5 sq. ft.)
- Raised borders and carved letters/ art work
- Installed on existing post replacing current signage

Sign Colors :

Background - Black
Letters - 23kt Gold Leaf
Border/Cap - Off White


STURGIS LIBRARY
THIS
HISTORIC BUILDING
WAS CONSTRUCTED IN 1644
AS A MEETINGHOUSE
AND HOME FOR
BARNSTABLE FOUNDER
REV. JOHN LOTHROP
1584-1653

**STURGIS
LIBRARY**

LIBRARY HOURS

MONDAY-----	
TUESDAY-----	
WEDNESDAY-----	
THURSDAY-----	
FRIDAY-----	
SATURDAY-----	
SUNDAY-----	


**STURGIS
LIBRARY**
Est. 1867

OPEN

**BOOK SALE
TODAY**

CLOSED

OPEN

CLOSED

FARRINGTON WOODCARVING

Job Number

Lucy Loomis

Custom Handmade Woodcarving & Signage
33 Boardley Rd. Sandwich, Ma. 02563
774-238-2958
contact@farringtonwoodcarving.com

Name Sturgis Library

Phone 508-362-6636

Date 8/23/21

Address 3090 Main Street

Email

Job Name

City Barnstable State MA Zip 02630 Fax

Pick up

Ship

Crate

Box

Due Date

Date Comp.

Cost

File Name

Install

Post

Eyes

Steel

Truck

Other

Size

Sides 1 2

Materials

Lettering

Hardware

7 Signs for Sturgis Library

Street Signs - ① STURGIS LIBRARY EST. 1967 ② BOOK SALE TODAY ③ OPEN ④ CLOSED

BUILDING SIGNS ⑤ STURGIS LIBRARY with HOURS ⑥ OPEN/CLOSED "2 SIDED"

YARD SIGN ⑦ Historic sign made to match original

Colors

*INSTALL INCLUDED

Background Black Satin

Lettering Gold leaf (23kt)

Artwork Gold leaf

Terms: 50% Down - 50% Upon Completion

Ship & Crate: 10% unless otherwise stated

Contract: I do hereby propose to furnish labor & materials in accordance with the specifications listed above. Any alterations or deviations from above become an extra charge over this quote. All work remains the property of Farrington Woodcarving until final payment is received.

FARRINGTON WOODCARVING

The above specifications, prices and conditions are satisfactory and hereby

ACCEPTED

DATE

STURGIS LIBRARY SIGNAGE COLOR SAMPLES



GOLD LEAF
Lettering
Artwork (Books)



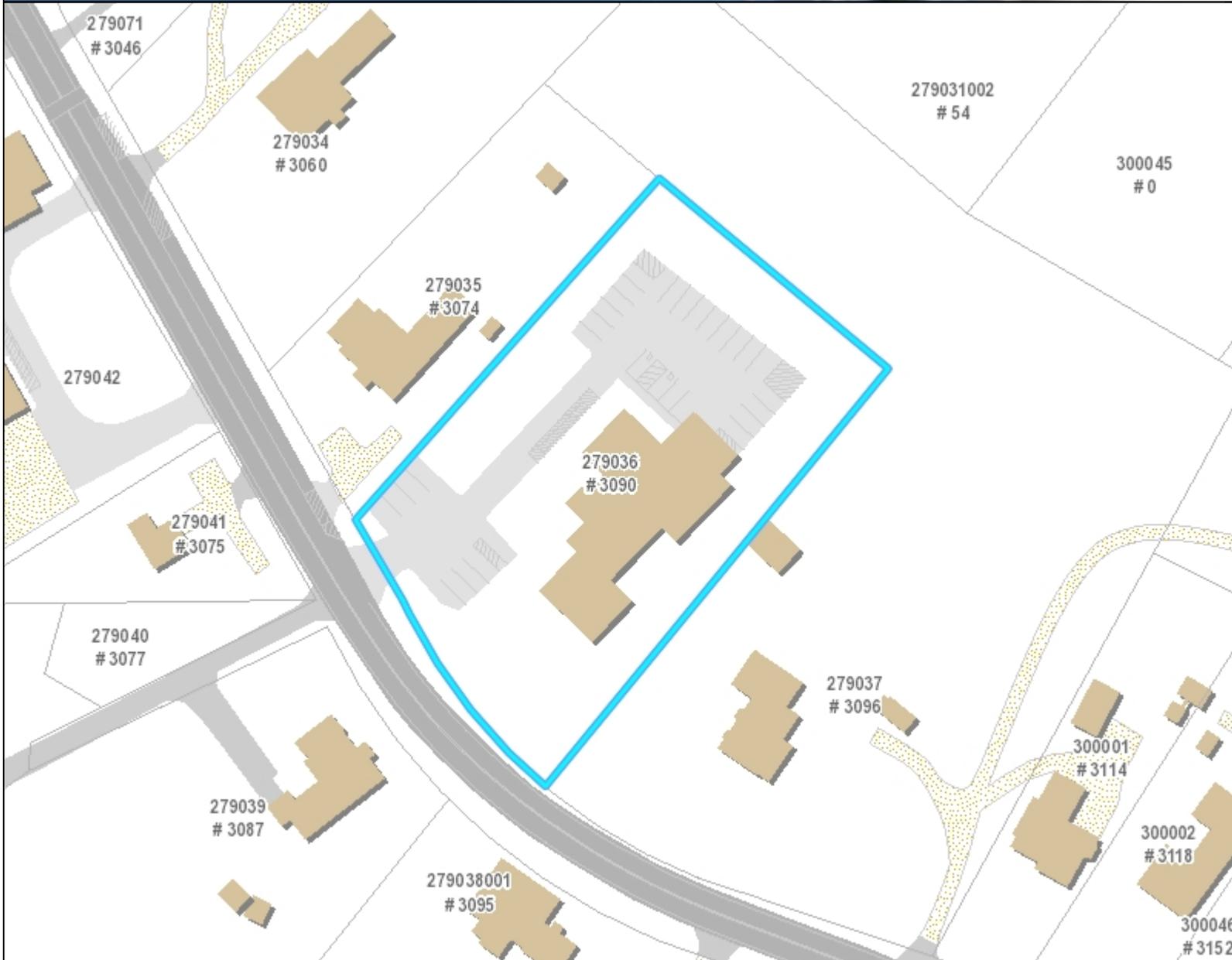
BLACK
Sign Background /
Lettering on Historic
Marker



WHITE
Sign Background on
Historic Marker



OFF-WHITE
Bracket/ Border Detail



Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Painted Lines
- Parking Lots
 - Paved
 - Unpaved
- Driveways
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
- ▨ Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 10/6/2021



Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 10/6/2021



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us







Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, TEL: 508-862-4787 Fax 508-862-4784

APPLICATION, CERTIFICATE OF APPROPRIATENESS

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- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: _____ Date 9/20/21

NOTE All applications must be signed by the current owner

Owner (print): CHRISTINE & ALBERTO COSTA Telephone #: 617 290 3477

Address of Proposed Work: 71 SUNSET LANE Village BARNSTABLE Map Lot # 301/02A

Mailing Address (if different): 45 WHISPERING LANE HOLLISTON MA 01746

Owner's Signature [Signature] (Christine Costa)

Description of Proposed Work: Give particulars of work to be done: ALTER EXISTING GARAGE TO BECOME DEN/SUNROOM WINDOW CHANGE

Agent or Contractor (print): STEPHEN KLUWA Telephone #: 508 240 4286

Address: 79 D MID TECH DR W YARMOUTH MA 02673

Contractor/Agent' signature: [Signature]

For committee use only. This Certificate is hereby APPROVED/ DENIED	
Date _____	Members signatures _____
_____	_____
_____	_____

Received 9/2/2021 GR

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) EXISTING

Siding Type: Clapboard ___ shingle other ___
Material: red cedar ___ white cedar other ___ Color: ___

Chimney Material: ___ Color: ___

Roof Material: (make & style) EXISTING Color: ___

Roof Pitch(s): (7/12 minimum) ___ (specify on plans for new buildings, major additions)

Window and door trim material: wood ___ other material, specify ___

Size of cornerboards ___ size of casings (1 X 4 min.) ___ color ___

Rakes 1st member ___ 2nd member ___ Depth of overhang ___

Window: (make/model) ASERIES ANDERSEN material CLAD WOOD color WHITE
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply): DIVIDED LIGHT 6/1 WITH SPACER
true divided lights ___ exterior glued grills ___ grills between glass ___ removable interior ___ None ___

Door style and make: ___ material ___ Color: ___

Garage Door, Style ___ Size of opening ___ Material ___ Color ___

Shutter Type/Style/Material: ___ Color: ___

Gutter Type/Material: ___ Color: ___

Deck material: wood ___ other material, specify ___ Color: ___

Skylight, type/make/model: ___ material ___ Color: ___ Size: ___

Sign size: ___ Type/Materials: ___ Color: ___

Fence Type (max 6') Style ___ material: ___ Color: ___

Retaining wall: Material: ___

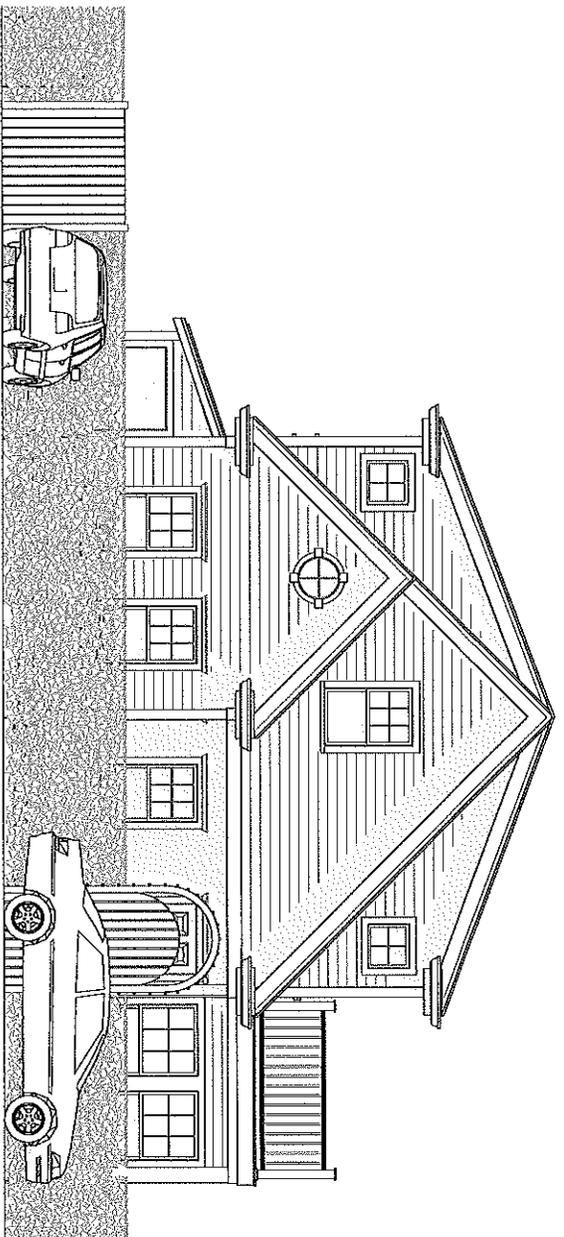
Lighting, freestanding ___ on building ___ illuminating sign ___

OTHER INFORMATION: _____

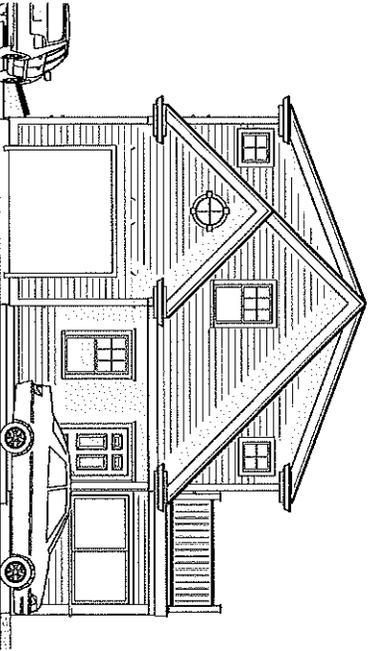
THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

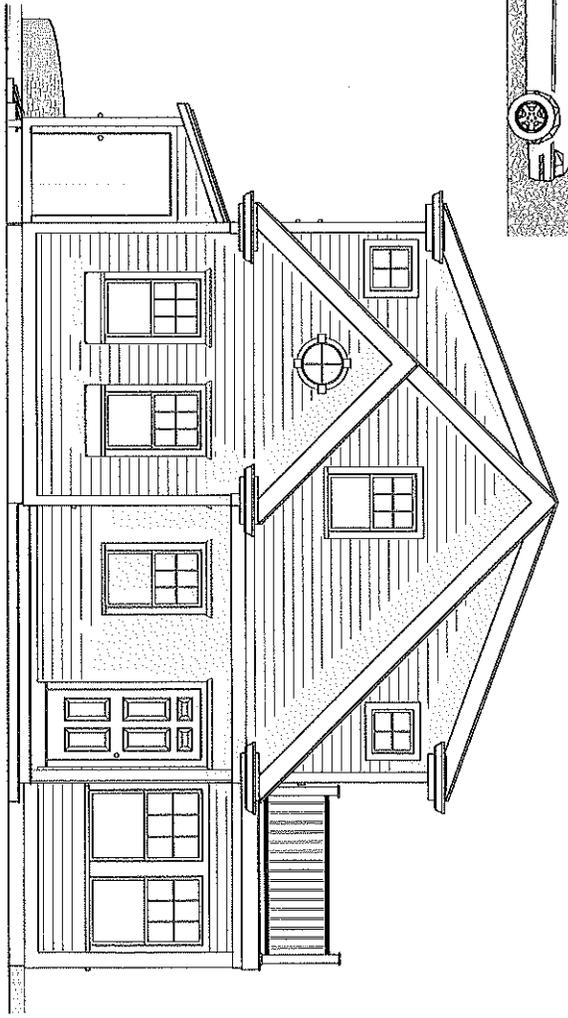
Signed: (plan preparer) [Signature] Print Name STEPHEN KLUG



South Elevation from Road
SCALE: 3/16" = 1'-0"

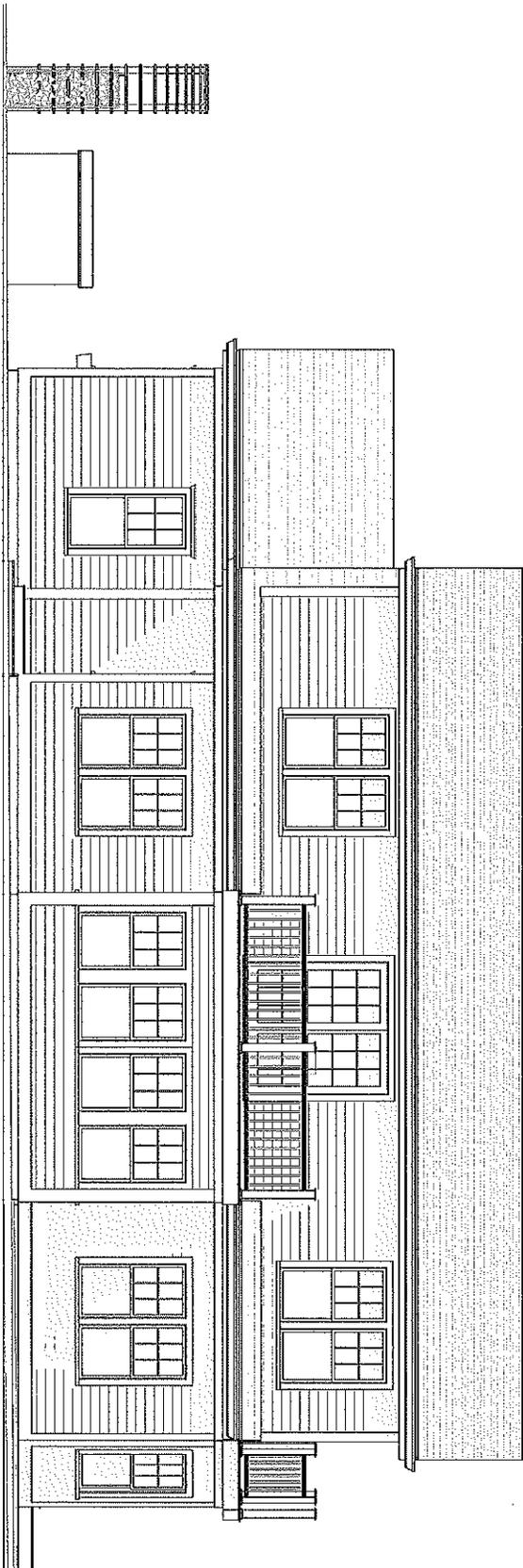


South Elevation - Existing
SCALE: 1/8" = 1'-0"

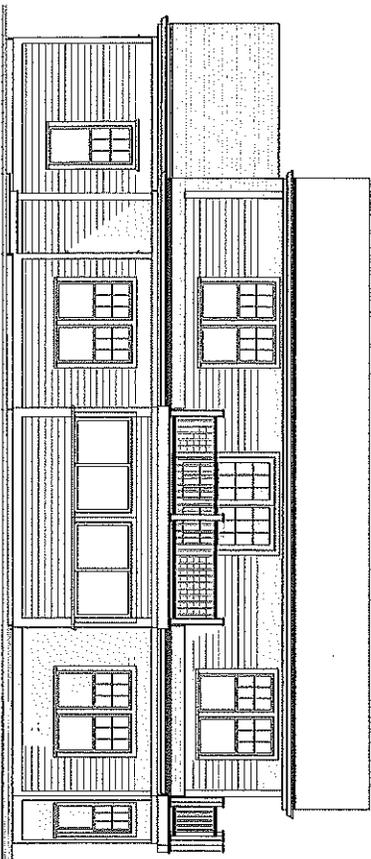


South Elevation
SCALE: 3/16" = 1'-0"

<p>Stephen Klug - Fine Building & Finish, Inc. 79 Mid Tech Drive, West Yarmouth, MA 02673 phone: 508-778-4246 sklugbfr@comcast.net</p>	<p>Renovation for Christine & Alberto Costa 71 Sunset Lane, Barnstable, MA</p>	<p>SOUTH</p>	<p>A-1</p>
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East Elevation
SCALE: 3/16" = 1'-0"



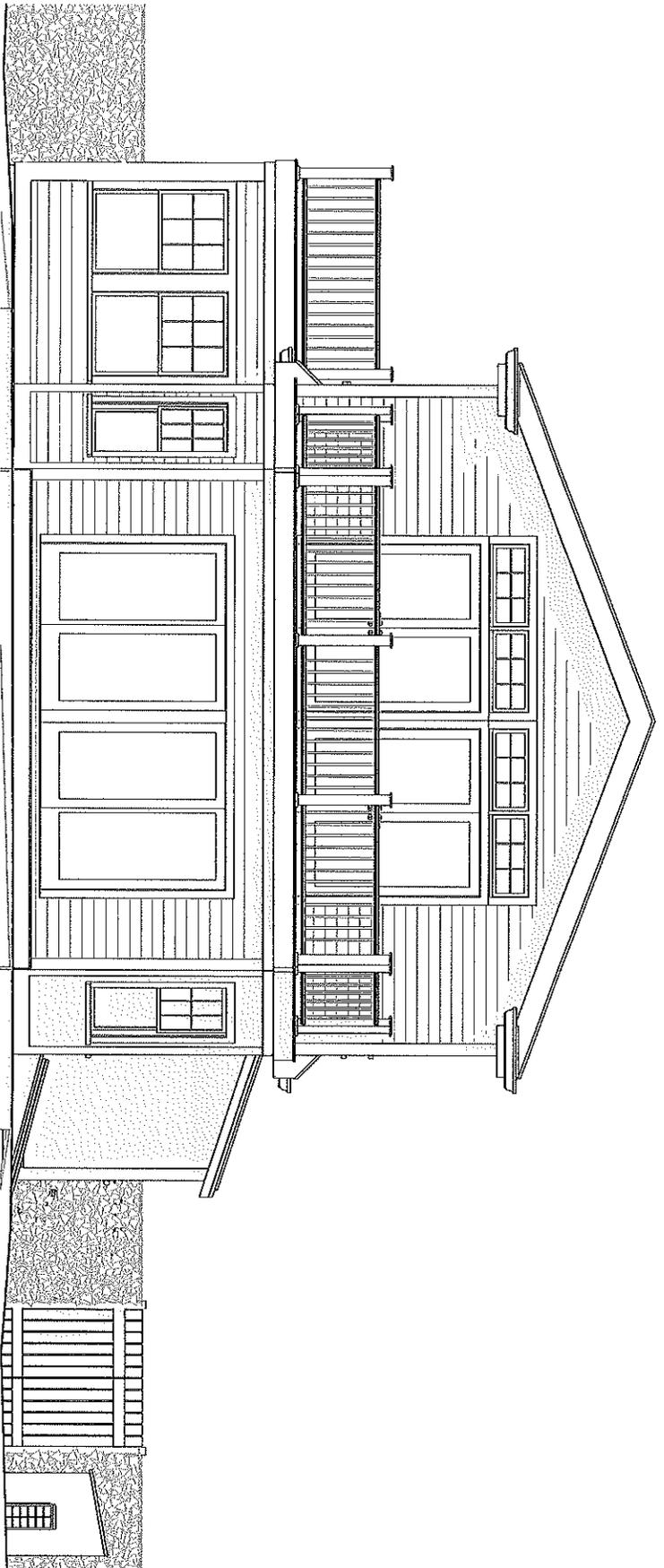
East Elevation - Existing
SCALE: 1/8" = 1'-0"

Stephen Klug - Fine Building & Finish, Inc.
79 Mid Tech Drive, West Yarmouth, MA 02673
phone: 508-778-4246 sklugfbf@comcast.net

**Renovation for
Christine & Alberto Costa**
71 Sunset Lane, Barnstable, MA

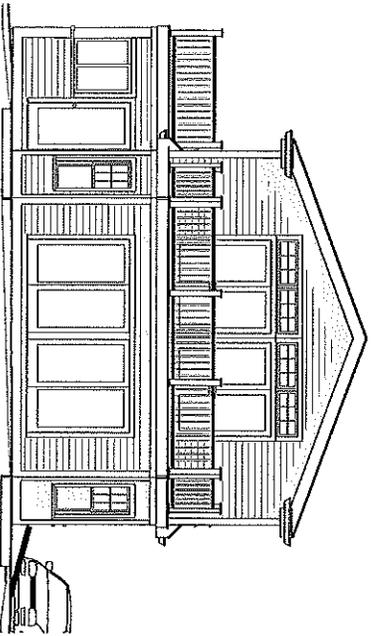
EAST

A-2



North Elevation

SCALE: 1/4" = 1'-0"



North Elevation - Existing

SCALE: 1/8" = 1'-0"

COSTA, Christine & Alberto - Revelans - 08/17/2021.dwg

Stephen Klug - Fine Building & Finish, Inc.
 79 Mid Tech Drive, West Yarmouth, MA 02673
 phone: 508-778-4246 sklugfbff@comcast.net

**Renovation for
 Christine & Alberto Costa**
 71 Sunset Lane, Barnstable, MA

NORTH

A-3



Quote #: 6979

Print Date: 01/12/2021

Quote Date: 12/24/2020

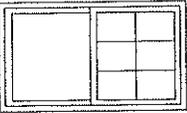
iQ Version: 20.0

Andersen Windows - Abbreviated Quote Report



Dealer: Shepley AW Showcase 216 Thornton Drive Hyannis, MA 02601 508-862-6200		Customer: Steve Klug Billing Address: Phone: Contact: Trade ID: 001100	
Sales Rep: Tammy Bearse-Santos		Promotion Code:	
Created By:			

Item	Qty	Item Size (Operation)	Location	Unit Price	Ext. Price
0001	1			\$ 0.00	\$ 0.00
RO Size = N/A Unit Size = N/A Not Applicable Andersen A-series Windows White Exterior Birch Bark White Interior Insulated Glass - Low E w/Argon 7/8" Applied Grille with Spacer bar White Hardware 6 9/16" Extension Jambs White Full Screens with standard Mesh					



Viewed from Exterior

0003 1 ADH 2' 9" x 4' 9" (AA) \$ 1101.28 \$ 1101.28

RO Size = 2' 9 3/4" W x 4' 9 3/4" H Unit Size = 2' 9" W x 4' 9" H

A Series
 Unit, 4 9/16" Frame Depth, White/Pine, Birch Bark - Factory Painted, High Performance Low-E4 Tempered (Each Sash), (Top Sash) Divided Light with Spacer, Colonial, 3W/2H, 7/8", Ext Grille - White, Int Species - Pine, Int Grille Color - Birch Bark - Factory Painted, Traditional, White, 1 Sash Locks, (Includes 6 9/16", Factory Applied, Pine, Birch Bark - Factory Painted, Head and Side Member Extension Jambs), w/ Standard Flange
 Equal Sash, Insect Screen, White

U-Factor: 0.30, SHGC: 0.27

Quote #: 6979

Print Date: 01/12/2021

Page

1 Of 7

iQ Version: 20.0



Legend

- Parcels
- ▬ Town Boundary
- ⊕ Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Painted Lines
- Parking Lots
 - Paved
 - Unpaved
- Driveways
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - ▨ Bridge
 - Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 10/6/2021



Approx. Scale: 1 inch = 83 feet



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Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 10/6/2021



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml kaitlyn.maldonado@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding window door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: _____ Date 9/17/21

NOTE All applications must be signed by the current owner

Owner (print): ANN GALVANI Telephone #: _____
 Address of Proposed Work: 61 SECOND WAY Village BARNSTABLE Map Lot # 301/058
 Mailing Address (if different) 31 SAWIN ST NATICK, MA 01760
 Owner's Signature Ann M. Galvani

Description of Proposed Work: Give particulars of work to be done: To make changes to siding, trim, and windows.

Agent or Contractor (print): STEPHEN KLUG Telephone #: 508 2404286
 Address: 79 D MID TECH DR, WYBURN MA 02673
 Contractor/Agent signature: [Signature]

<p><i>For committee use only</i></p> <p>Date _____</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p>	<p>This Certificate is hereby APPROVED / DENIED</p>
---	--

Received 9/20/21 GR

5. SIGNS

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

7. FEES

- Fees according to the Fee Schedule, made payable to the Town of Barnstable.
- \$19.84 made payable to the Town of Barnstable for the required Legal Ad notification.
- First Class Postage Stamps for abutter notification. Please coordinate with Kate Maldonado to confirm the quantity of stamps required. Kate's email is: kaitlyn.maldonado@town.barnstable.ma.us

SIGNED (plan preparer) Stephen Kluck Print 9/17/21 STEPHEN KLUCK
 Date: 9/17/21 Tel. Phone no's: 508 240 4286
 Email: SKLUKFBF@COMCAST.NET

NOTE: The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS
ATTENDANCE AT MEETINGS: If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED

APPEAL PERIOD	APPROVED PLANS	PLAN PICK UP
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There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Growth Management, Regulatory Division, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway District Commission.

BUILDING PERMITS, OTHER AGENCY CONTACTS

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.
 Other Regulatory Agencies at 200 Main St, Hyannis MA 02601: Building Division 508-862-4038
 Conservation Division 508-862-4093 Health Division 508-862-4644

QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) _____

Siding Type: Clapboard ___ shingle other _____
Material: red cedar ___ white cedar other _____ Color: _____

Chimney Material: _____ Color: _____

Roof Material: (make & style) _____ Color: _____

Roof Pitch(s): (7/12 minimum) _____ (specify on plans for new buildings, major additions)

Window and door trim material: wood ___ other material, specify ADZEK (CURRENTLY EXISTING)
Size of cornerboards _____ size of casings (1 X 4 min.) 1X5 color WHITE

Rakes 1st member _____ 2nd member _____ Depth of overhang _____

Window: (make/model) HARVEY material WHITE VINYL color WHITE
(Provide window schedule on plan for new buildings, major additions) CLASSIC DOUBLE HUNG 20 1/2 X 40 - MATCHES EXISTING

Window grills (please check all that apply):
true divided lights ___ exterior glued grills ___ grills between glass removable interior ___ None

Door style and make: _____ material 6/1 Color: _____

Garage Door, Style _____ Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: _____ Color: _____

Gutter Type/Material: _____ Color: _____

Deck material: wood ___ other material, specify _____ Color: _____

Skylight, type/make/model/: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

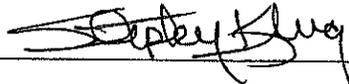
Retaining wall: Material: _____

Lighting, freestanding _____ on building _____ illuminating sign _____

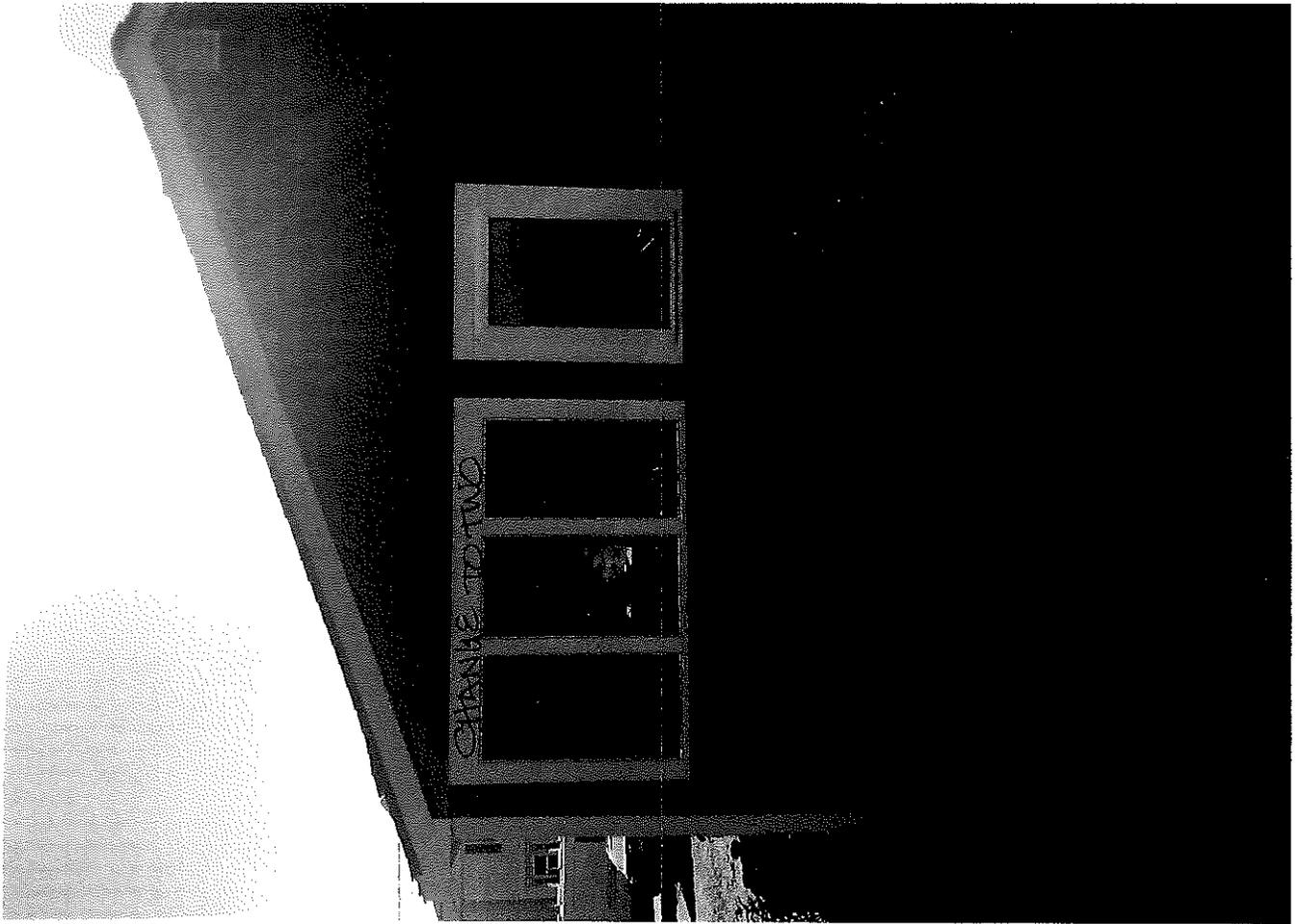
OTHER INFORMATION: _____

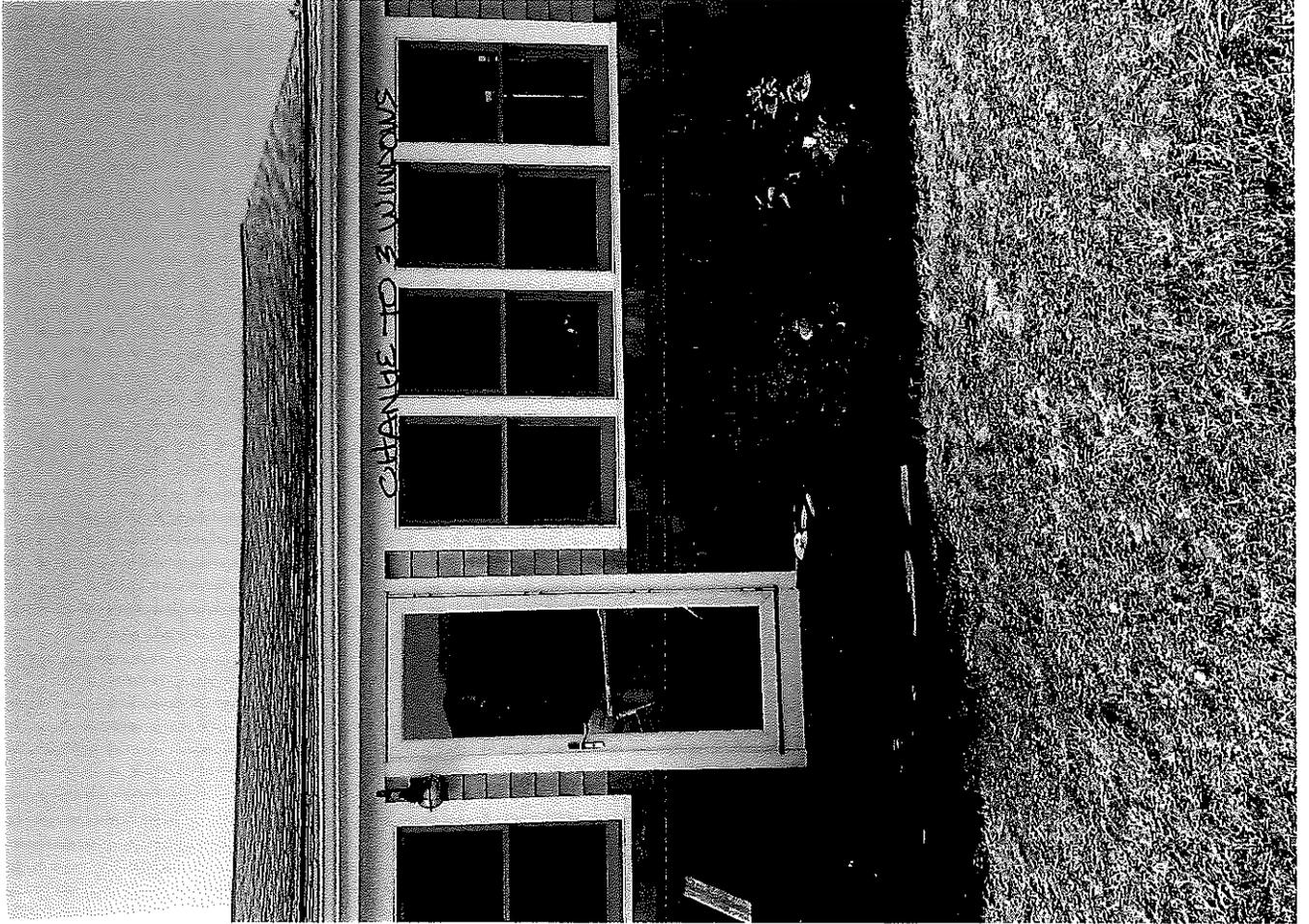
THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

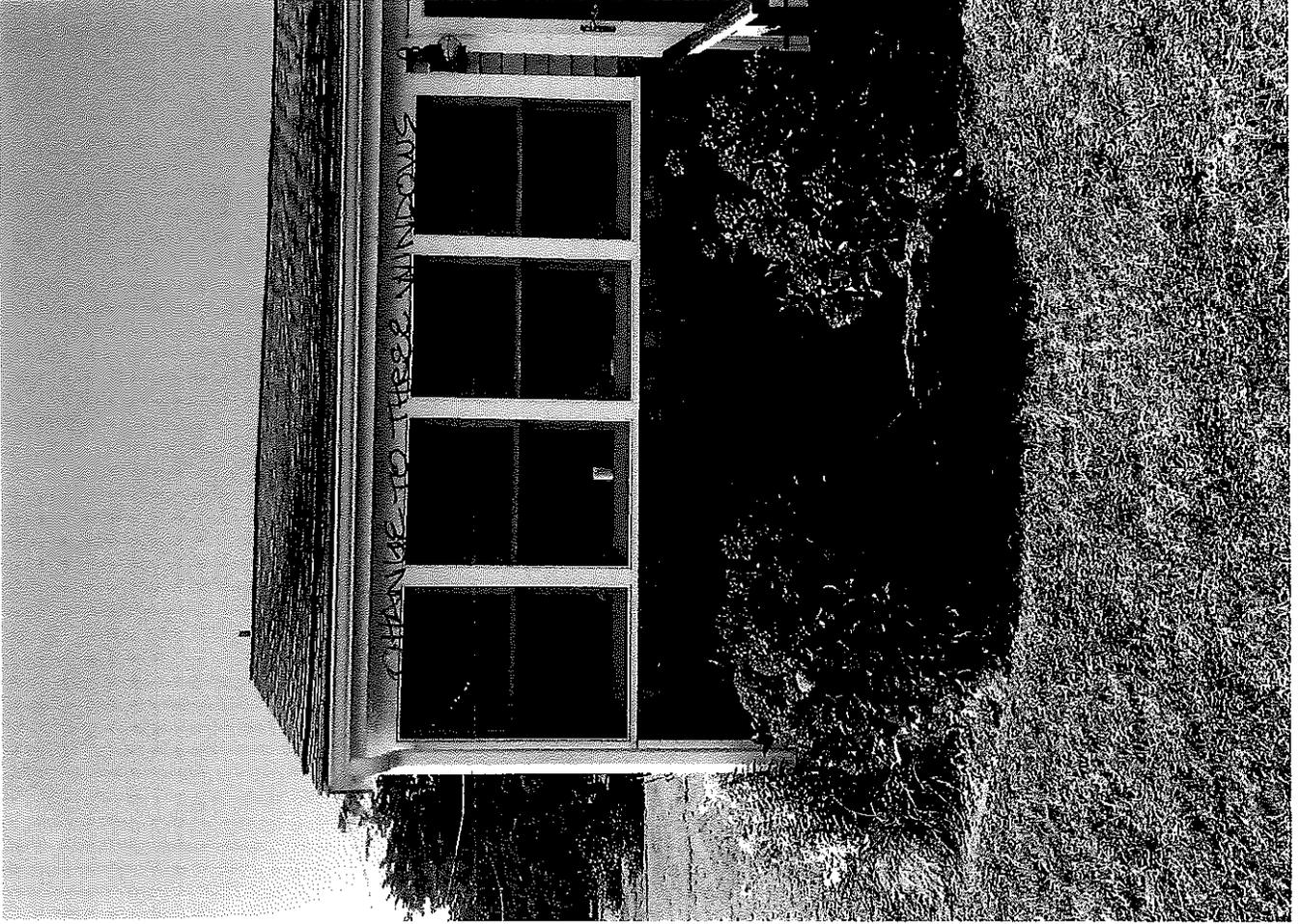
Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer)  Print Name STEPHEN KWIKI













Manufacturing
ACKNOWLEDGEMENT

Customer Quote Summary

BILL TO:

SHEPLEY WOOD PRODUCTS/MAIN
216 THORNTON DRIVE

SHIP TO:

SHEPLEY WOOD PRODUCTS/MAIN
216 THORNTON DRIVE



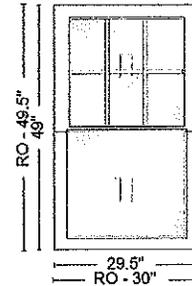
Barcode

Phone: 508-771-7969 Fax: 5088626018
HYANNIS MA 02601-8103
Phone: 508-771-7969 Fax: 5088626018

QUOTE NBR	CUST NBR	CUSTOMER PO	DATE CREATED	DATE ORDERED	ORDER TYPE
5118130	1028160		8/10/2021	Quote Not Ordered	Charge
ORDERED BY		STATUS	SHIP VIA	DELIVERY AREA	
CGiantonio		None	Whse Delivery	DARTMOUTH MANUFACTURING	
CLERK			JOB NAME	COUPON	
WEBCP-CG1-Candice Giantonio			Second Ave		

LINE #	DESCRIPTION	QTY	UNIT PRICE	EXTENDED
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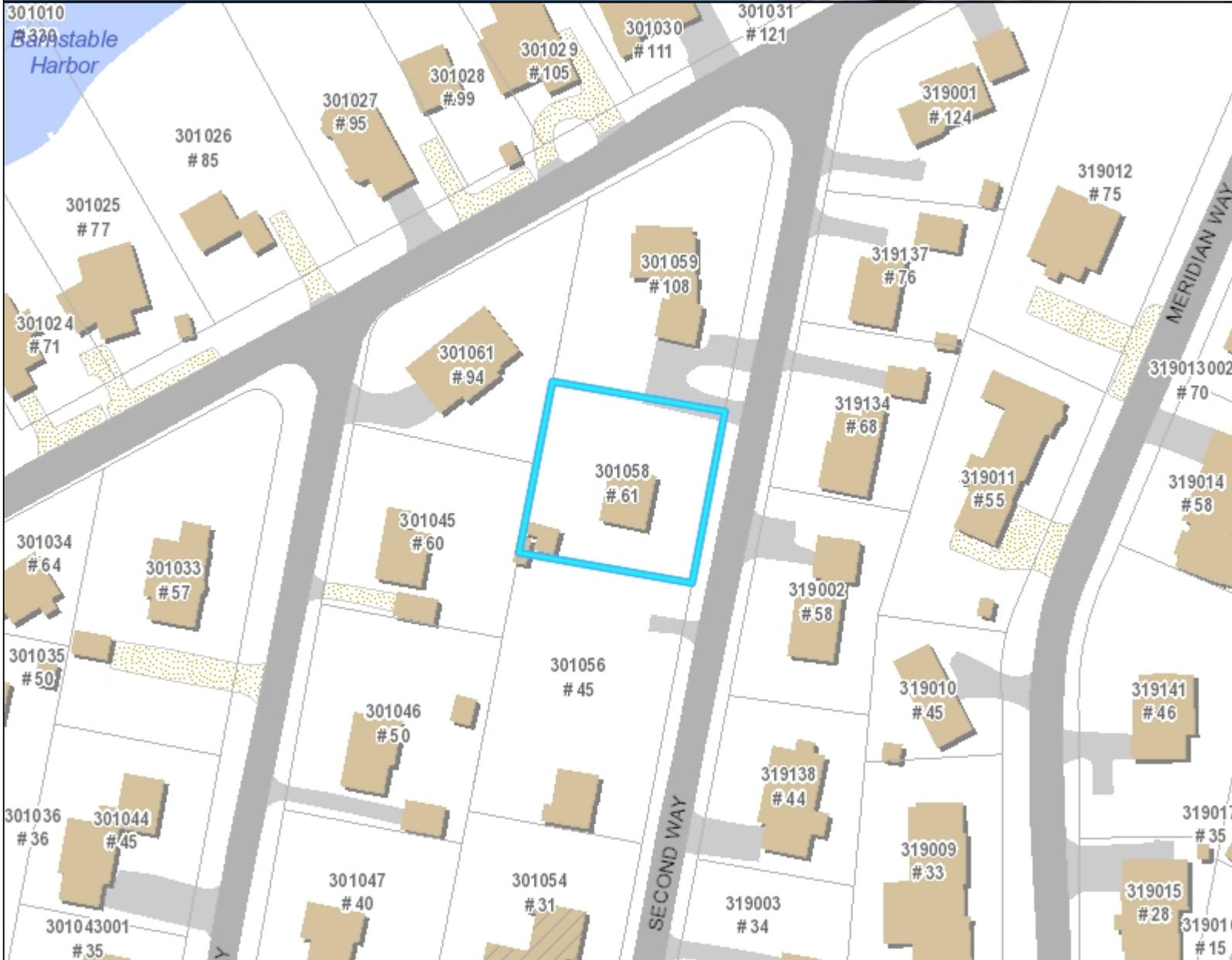
10000-1	Classic DH , Unit Size 29.5 x 49, RO 30 x 49.5 Unit 1: U-Factor = 0.30, SHGC = 0.28, VT = 0.49, HII-M-48-01547-00002, Size Options = Call Sizes, Transactional Order Type = Charge Order , New Construction, Fully Welded Call Width = W24, Call Height = W310, Frame Width (Inches) = 29.5, Frame Height (Inches) = 49 Double Glazed, Low E, Argon Filled Base Color = White Program = None, Label Name = Harvey, Single , Sash Limit Devices = Night Latch Full Screen, Full Screen Mullion, Fiberglass Mesh Unit 1 Top: Contour In-Glass, Colonial, Match Frame, 3W2H Unit 1 Bottom: None Integral L Fin, Inside Extension Jamb Receiver Pocket = Yes 4 9/16", Primed, 4 Side Factory Applied Overall Frame Width (Inches) = 29.5, Overall Frame Height (Inches) = 49, Overall Rough Opening Width (Inches) = 30, Overall Rough Opening Height (Inches) = 49.5 Clear Opening Width = 24.5, Clear Opening Height = 19.375, Clear Opening Square Footage = 3.3 E.Star Zone:North-Central=Yes	10	\$329.96	\$3,299.60
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Room Location: **Pricing contained in this quote is valid only if ordered on or before September 5, 2021**



Scan with Smartphone to access installation instructions in HBP's Document Center



Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 10/6/2021



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 10/6/2021



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 9.21.2021

NOTE All applications must be signed by the current owner

Owner (print): TOM AND DENISE KRAZ Telephone #: _____
 Address of Proposed Work: 205 STONEY POINT RD Village NO Map Lot # 336 / PARCEL 29
 Mailing Address (if different) CUMMAQUID, MA 02637
 Owner's Signature [Signature]

Description of Proposed Work: Give particulars of work to be done: CONSTRUCT A NEW 3 BEDROOM; 2 1/2 BATH DWELLING WITH FULL BASEMENT. IN PLACE OF EXISTING COTTAGE.

Agent or Contractor (print): BRIAN BURBIC Telephone #: 508.325.2252
 Address: P.O. BOX 706, BARNSTABLE, MA 02630
 Contractor/Agent' signature: [Signature]

<p><i>For committee use only</i></p> <p>Date _____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p>	<p>This Certificate is hereby APPROVED / DENIED</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> <p>_____</p>
--	---

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) CEMENT / 12"

Siding Type: Clapboard shingle other
Material: red cedar white cedar other Color: NATURAL

Chimney Material: NONE Color: —

Roof Material: (make & style) LANDMARK PRO CERTAINTED BRCH ASPHALT Color: PENNERWOOD

Roof Pitch(s): (7/12 minimum) 8/12 (specify on plans for new buildings, major additions)

Window and door trim material: wood other material, specify PVC AZEK

Size of cornerboards 1X6 size of casings (1 X 4 min.) — color WHITE

Rakes 1st member 1X8 2nd member 1X3 Depth of overhang 3/4"

Window: (make/model) SUPERSEN material CLAD color WHITE
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights exterior glued grills grills between glass removable interior None

Door style and make: SIMPSON material FIR/WOOD Color: WHITE

Garage Door, Style NONE Size of opening — Material — Color —

Shutter Type/Style/Material: NONE Color: —

Gutter Type/Material: ALUMINUM 4x5 Color: —

Deck material: wood other material, specify 1X4 MAHOGANY Color: NATURAL

Skylight, type/make/model/: NONE material — Color: — Size: —

Sign size: — Type/Materials: — Color: —

Fence Type (max 6') Style — material: — Color: —

Retaining wall: Material: —

Lighting, freestanding — on building — illuminating sign —

OTHER INFORMATION: —

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) [Signature] Print Name ROBERT TOURELL

Town of Barnstable, Old Kings Highway Historic District Committee

CHECKLIST -- CERTIFICATE OF APPROPRIATENESS

Please check the applicable categories; This check list must be completed and submitted with your application.

1. ALTERATIONS (new paint color, changes to siding, roof shingles, windows or door etc.)

- Application for Certificate of Appropriateness**, 5 copies.
- Spec Sheet**, 4 copies; brochures and color samples.
- Plans of building elevations/photographs, 5 copies, **ONLY** if there is a change to the location and size of the window (s) or door (s)

2. MINOR ADDITIONS e.g. decks, shed (over 120 sq. feet)

- Application for Certificate of Appropriateness**, 5 copies.
- Spec Sheet**, 5 copies; brochures and color samples.
- Site Plan**, 5 copies, **ONLY** if there is a change to the building footprint.
A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, **UNLESS** the porch, deck, pool, or shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted, see requirements as applicable, see 4. Site Plan, below.
- Photographs** of all building elevation affected by any proposed alterations.
- Plans:** 5 copies plus 1 at reduced scale to fit 8.5 x 11 or 11 x 17 paper
Company brochure of manufacturer's shed **OR** to-scale sketch of affected structure or building elevations.

3. STRUCTURES, NEW/ALTERED (fences, new stonewalls or changes to, retaining walls, pools etc)

- Application for Certificate of Appropriateness**
- Spec Sheet**, brochures or diagram.
- Site plan**, see Instructions 2. Site Plan, above.
- Photographs** of any existing structure that will be affected by change.

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING

- Application for Certificate of Appropriateness** (5 copies).
- Spec Sheet**, 5 copies, brochures and samples of colors.
- Site Plan**, 5 copies, at an appropriate scale. & 5 copies of site plans at reduced scaled to fit 8.5"X11 or 11X17 paper
Site Plans shall contain the following:
 - Name of applicant, street location, map and parcel.
 - Name of architect, engineer or surveyor; original stamp and signature; date of plan and revision dates.
 - North arrow, written and drawn scale.
 - Changes to existing grades shown with one-foot contours.
 - Proposed and existing footprint of the building and/or structures, and distance to lot lines.
 - Proposed driveway location.
 - Proposed limits of clearing for building(s), accessory structure(s), driveway and septic system.
 - Retaining walls or accessory structures (e.g. pool, tennis court, cabanas, barn, garage etc.)
- Building Elevations:**
 - o 5 copies of plans at a scale of 1/4" = 1 foot; a written and drawn scale.
 - o 5 copies of plans at a reduced scale to fit 8.5"x 11 or 11 x 17 paper.

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - CONTINUED

Plans shall include the following:

- Name of applicant, street location, map and parcel.
- Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.
- A written and bar drawn scale
- Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- Window schedule on plans.

- Landscaping plan**, 5 copies drawn on a certified perimeter plan containing the following information:
 - Name of applicant, street address, assessor's map and parcel number.
Name address and telephone number of the plan preparer, plan date, & dates of revisions
 - The location of existing and proposed buildings and structures, and lot lines.
 - Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
 - Existing buffer areas to remain.
 - Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.
 - The location, number, size and name of proposed new trees and plants.
 - Driveway, parking areas, walkways, and patios indicating materials to be used.
 - Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
 - All proposed exterior lighting and signs.

- Sketch or photos of adjacent properties**, (1 copy only)
A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.

- Photographs of all sides of existing buildings** to remain, or being added to .

Please complete the following:

Existing building, foot print:

Building 1 837 sq. ft. Building 2 _____

Existing Building, gross floor area, including area of finished basement:

Building 1 837 sq. ft. Building 2 _____

New building or addition, foot print:

Building 1 1685 sq. ft. Building 2 _____

New Building or addition, gross floor area, including area of finished basement:

Building 1 2315 sq. ft. Building 2 _____

5. SIGNS

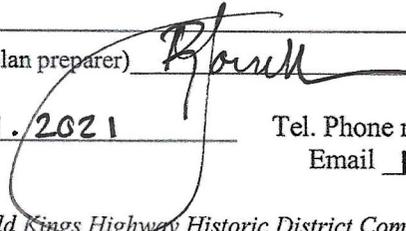
- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

7. FEES

- Fees according to schedule, made payable to the Town of Barnstable
- \$19.84 made payable to the Barnstable Patriot for the required legal ad notification
- First Class Postage Stamps for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer)  Print ROBERT YOURELL

Date: 9.21.2021 Tel. Phone no's: 508.789.7308

Email ryourell@verizon.net

NOTE: The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS

ATTENDANCE AT MEETINGS: If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED

APPEAL PERIOD	APPROVED PLANS	PLAN PICK UP
----------------------	-----------------------	---------------------

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Growth Management, Regulatory Division, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway District Commission.

BUILDING PERMITS, OTHER AGENCY CONTACTS
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In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.

Other Regulatory Agencies at 200 Main St, Hyannis MA 02601: Building Division 508-862-4038
 Conservation Division 508-862-4093 Health Division 508-862-4644

QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787
--



Town of Barnstable
Planning & Development Department
Old King's Highway Historic District Committee
367 Main Street, Hyannis, MA 02601
www.townofbarnstable.us/planninganddevelopment



Elizabeth Jenkins, AICP
Director

SUBMISSION CHECKLIST

for

Certificate of Appropriateness Certificates of Demolition or Relocation

- (1) **Email** one complete application and supporting documentation to
erin.logan@town.barnstable.ma.us

-
- (2) **Mail or drop off** the filing fee, legal ad fee, and postage stamps as noted below

If mailing, please send to: *Town of Barnstable
Planning & Development Dept.
c/o Erin Logan
367 Main Street
Hyannis, MA 02601*

If dropping off, please bring to the Old King's Highway Historic District Committee office located at 367 Main Street, 3rd Floor Planning & Development office, Hyannis.

**AT THIS TIME WE ARE ASKING FOR AN ELECTRONIC COPY OF
THE APPLICATION AND SUPPORTING DOCUMENTATION ONLY.**

Please contact Erin Logan, Administrative Assistant, if you are unable to submit electronically. P 508.862.4787 or via email at erin.logan@town.barnstable.ma.us



Town of Barnstable, Planning & Development Department
 Old King's Highway Historic District Committee
 200 Main Street, Hyannis, Massachusetts 02601
 Phone 508.862.4787 Email erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS FOR
DEMOLITION OR RELOCATION OF A BUILDING OR STRUCTURE
 (including partial demolitions of buildings, structures; outbuildings, stonewalls, etc.)

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date: 9.21.2021 Address of Proposed work: Assessors Map and lot # MAP 336 / PARCEL 29
 House # 205 Street 205 STONEY POINT RD Village: UG / CUMMAQUID

Demolition of: house part of house Garage barn stable commercial stone wall other

Description of Proposed Work: DEMOLITION OF EXISTING 2 BEDROOM (837 SQ FT) COTTAGE INCLUDING BLOCK FOUNDATION

If application is for removal to a different location, state where: NONE

Please complete the following information:

Square footage of footprint of building(s) to be demolished: Building 1: 837 sq 2: _____
 Square footage of total floor area of building(s) to be demolished: Building 1: 837 sq 2: _____

Owner:

Owner (please print): TOM AND DENISE KRAZ Tel #: _____
 Owner's mailing address: 205 STONEY POINT ROAD, CUMMAQUID MA
 Signature of Owner: [Signature]
Note: All applications must be signed by the owner, or evidence of authority to act for the owner submitted

Contractor:

Agent/Contractor (please print): BRIAN BURBIC CUSTOM HOMES Tel #: 508.325.2252
 Address: PO BOX 706, BARNSTABLE, MA 02630
 Signature of Contractor/Agent: [Signature]

<p>For Committee Use Only</p> <div style="border: 1px solid black; width: 100%; height: 100%;"></div>	This Certificate is hereby APPROVED/DENIED Date: _____ Committee Members Signatures: _____ _____ _____
	Conditions of approval: _____

**TOWN OF BARNSTABLE
OLD KING'S HIGHWAY HISTORIC DISTRICT COMMITTEE**

STATEMENT OF UNDERSTANDING

As property owner/contractor/agent for the construction at:

336 / 29 205 205 STONEY POINT ROAD
Map/Parcel Number Street

CUMMAQUID.
Village

Only minor changes may be approved by the Committee without a new application and a hearing. Minor changes include things like moving a single window or door or a minor change of color. All changes by amendment require the Committee's written approval.

A request for change must be submitted to the Committee in writing. Approval must be obtained before incorporating the change into the project.

For more than one revision to approved plans, a new application for a Certificate of Appropriateness must be applied for. Failure to comply with approved plans may result in the Building Department issuing a stop work order or denying an Occupancy Permit.

I HAVE READ AND UNDERSTAND THE ABOVE STATEMENTS

9.21.2021
Date

Signed:  BRIAN BURBIC
Applicant / Applicant's Representative

Signed: _____
Paul Richard, Chair, Old King's Highway

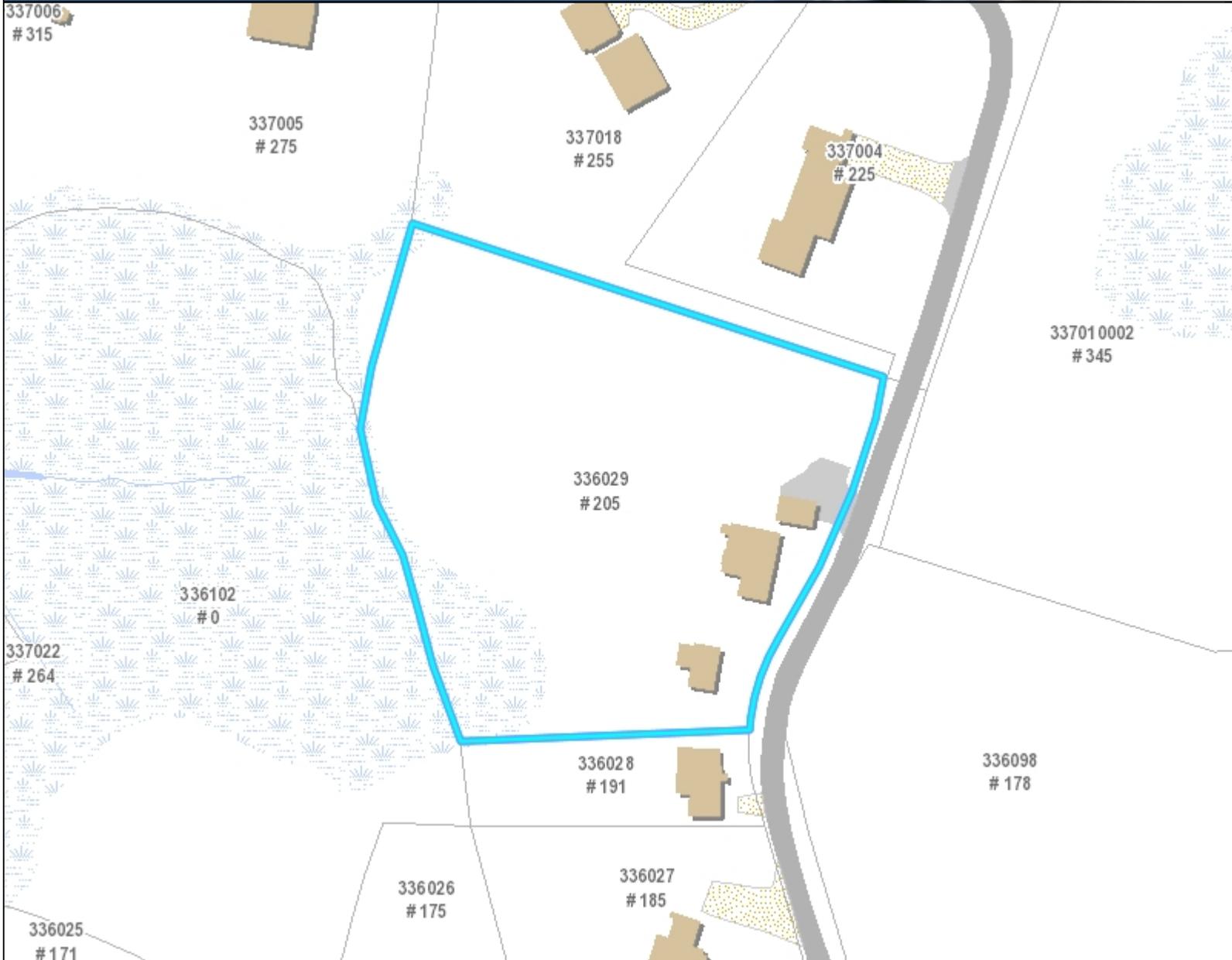
APPLICATION, CERTIFICATE OF APPROPRIATENESS FOR
DEMOLITION OR RELOCATION OF A BUILDING OR STRUCTURE
(including partial demolitions of buildings, structures; outbuildings, stonewalls, etc.)

Check list

- Application for Certificate of Appropriateness for Demolition or Removal, 4 copies
- Site plan, 4 copies,
- Photographs of all elevations of building(s), outbuilding(s) or stone walls being demolished.
- \$120 application fee, made payable to the Town of Barnstable
- \$19.84 Legal Ad fee, made payable to the Town of Barnstable
- Kindly note the filing fee and legal ad fee need to be on separate checks**
- 1st Class Postage Stamps (contact OKH Admin for count) 7

Note: A separate Certificate of Appropriateness is required for a relocation of a building or structure within the Barnstable Old Kings Highway Historic District.

All certificates issued will expire one year from the date of issue, or upon the expiration date of any building permit issued for the work, whichever expiration date shall be later. The committee may renew any certificate for one additional year, providing the request for such renewal is received at least 30 days prior to the expiration date.



Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Painted Lines
- Parking Lots
 - Paved
 - Unpaved
- Driveways
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - ▨ Bridge
 - Paved Median
- Streams
- ☼ Marsh
- Water Bodies

Map printed on: 10/6/2021



Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 10/6/2021



Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



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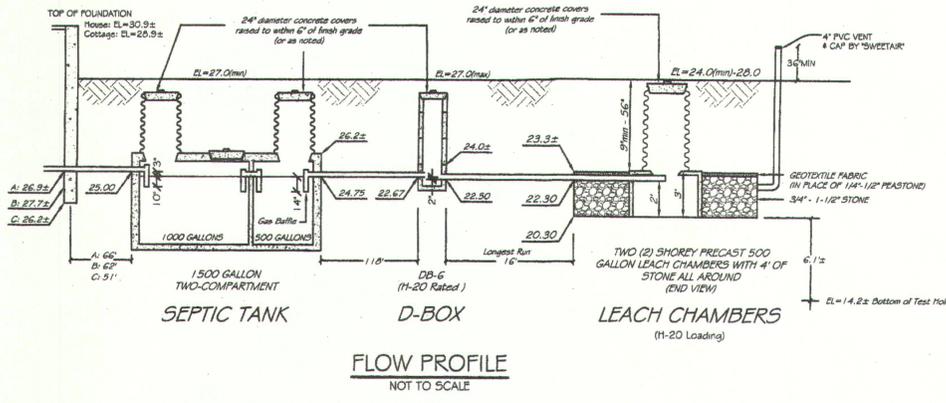








205A



VARIANCES REQUESTED

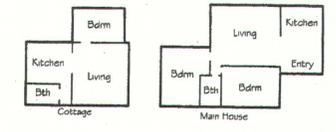
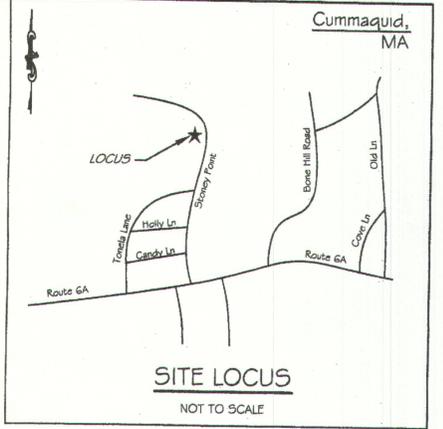
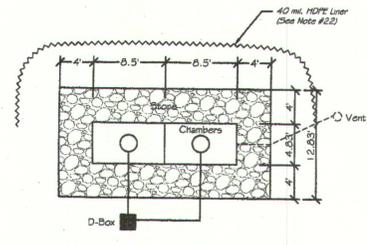
Local Upgrade Approvals: 310 CMR 15.403

Variations: 310 CMR 15.221 (7) General Construction Requirements for All System Components:

1.) Soil Absorption System > 36" Below Finish Grade

56" Field (Not to Exceed 72")

20" Variance Requested (Not to Exceed 36")



SYSTEM DESIGN CALCULATIONS

SEWAGE DESIGN FLOW REQUIRED: 2 BORN DWELLING + 1 BORN COTTAGE @ 110 GPD / BEDROOM = 330 GPD REQUIRED

SEWAGE DESIGN FLOW PROVIDED: TWO (2) 500 GALLON LEACH CHAMBERS (11-20 RATED) WITH 4" OF STONE ALL AROUND

$V_t = (125.0 \times 12.63) + (225.0 + 12.63 \times 2) \times 74 = 349.3$ GPD PROVIDED

349 GPD PROVIDED > 330 GPD REQUIRED

SEPTIC TANK CAPACITY REQUIRED: 330 GPD X 200% = 660 GPD REQUIRED

SEPTIC TANK CAPACITY PROVIDED: 1500 GALLON TWO-COMPARTMENT TANK

1ST COMPARTMENT: 330 X 200% = 660 GALLONS \Rightarrow 1000 GALLONS

2ND COMPARTMENT: 330 X 100% = 330 GALLONS \Rightarrow 500 GALLONS

GARBAGE DISPOSAL IS NOT PERMITTED WITH THIS DESIGN FLOW

CONSTRUCTION NOTES

- ALL WORK SHALL CONFORM TO THE STATE ENVIRONMENTAL CODE, TITLE 5 (310 CMR 15.000), STANDARD REQUIREMENTS FOR THE SITING, CONSTRUCTION, INSPECTION, UPGRADE, AND EXPANSION OF ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS AND FOR THE TRANSPORT AND DISPOSAL OF SEPTAGE, AND THE LOCAL BOARD OF HEALTH REGULATIONS.
- ANY SEPTIC SYSTEM COMPONENT INSTALLED IN A LOCATION WHERE THERE IS POTENTIAL FOR VEHICLES OR HEAVY EQUIPMENT TO PASS OVER IT SHALL BE DESIGNED TO WITHSTAND AN H-20 LOADING. IF UNDER AN IMPERVIOUS SURFACE, SYSTEM SHALL BE VENTED TO THE ATMOSPHERE.
- TO MINIMIZE UNEVEN SETTLING, SEPTIC TANKS SHALL BE INSTALLED ON A STABLE MECHANICALLY-COMPACTED BASE ON SIX INCHES OF CRUSHED STONE.
- COVERS OVER THE INLET AND OUTLET TEES OF THE SEPTIC TANK, THE DISTRIBUTION BOX, AND THE SOIL ABSORPTION SYSTEM SHALL BE RAISED TO WITHIN 6" OF FINAL GRADE. LEACHING FIELDS, TRENCHES, AND OTHER SOIL ABSORPTION SYSTEMS WITHOUT ACCESS MANHOLES SHALL HAVE AT LEAST ONE (1) INSPECTION POINT CONSISTING OF PERFORATED 4" PVC PIPE PLACED VERTICALLY TO THE BOTTOM OF THE SOIL ABSORPTION SYSTEM WITH A CAP, TIED WITH MAGNETIC MARKING TAPE, ACCESSIBLE TO WITHIN 3' OF FINAL GRADE.
- PIPING SHALL CONSIST OF 4" SCHEDULE 40 PVC OR EQUIVALENT. PIPE SHALL BE LAID ON A MINIMUM CONTINUOUS GRADE OF NOT LESS THAN 2% FROM THE BUILDING TO THE SEPTIC TANK, AND NOT LESS THAN 1% OTHERWISE.
- DISTRIBUTION LINES FOR THE SOIL ABSORPTION SYSTEM SHALL BE 4" DIAMETER SCHEDULE 40 PVC (OR EQUIVALENT) LAID AT 0.005 FT/FT, UNLESS OTHERWISE NOTED. LINES SHALL BE CAPPED AT END OR AS NOTED.
- LINES FROM THE DISTRIBUTION BOX TO BE LEVEL FOR THE FIRST TWO (2) FEET BEFORE FITTING TO THE SOIL ABSORPTION SYSTEM. DISTRIBUTION BOX SHALL BE WATER TESTED TO ASSURE EVEN DISTRIBUTION.
- GROUT TO BE USED AT ALL POINTS WHERE PIPES ENTER OR LEAVE ALL CONCRETE STRUCTURES IN ORDER TO PROVIDE A WATERTIGHT SEAL.
- HEAVY EQUIPMENT SHALL NOT BE ALLOWED TO OPERATE OVER THE LIMITS OF THE SEWAGE DISPOSAL FIELD DURING THE COURSE OF CONSTRUCTION OF THE SYSTEM.
- IN ACCORDANCE WITH 310 CMR 15.221, ALL SYSTEM COMPONENTS SHALL BE MARKED WITH MAGNETIC MARKING TAPE.
- THERE ARE NO KNOWN WELLS WITHIN 100' OF THE PROPOSED SOIL ABSORPTION SYSTEM.
- FROM THE DATE OF THE INSTALLATION OF THE SOIL ABSORPTION SYSTEM UNTIL RECEIPT OF THE CERTIFICATE OF COMPLIANCE, THE PERIMETER SHALL BE STAKED AND FLAGGED TO PREVENT USE OF THE AREA THAT MAY CAUSE DAMAGE TO THE SYSTEM.
- THE DESIGNER WILL NOT BE RESPONSIBLE FOR THE SYSTEM AS DESIGNED UNLESS CONSTRUCTED AS SHOWN ON PLAN. ANY CHANGES SHALL BE APPROVED IN WRITING BY THE DESIGNER.
- THE BOARD OF HEALTH REQUIRES INSPECTION OF ALL CONSTRUCTION BY AN AGENT OF THE BOARD OF HEALTH AND THE DESIGNER. THE DESIGNER SHALL CERTIFY IN WRITING THAT THE SEWAGE DISPOSAL SYSTEM WAS INSTALLED IN ACCORDANCE WITH THE TERMS OF THE PERMIT AND THE APPROVED PLANS. 48 HOURS ADVANCE NOTICE IS REQUESTED.
- LOCATION OF UTILITIES IS APPROXIMATE AND CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO COMMENCEMENT OF ANY WORK. THIS INCLUDES, BUT IS NOT LIMITED TO, REQUESTS TO DISSENT, ANY PRIVATE UTILITY COMPANIES, AND THE LOCAL WATER DEPARTMENT.
- CONTRACTOR SHALL VERIFY THAT ALL WASTEWATER ARE CONNECTED BY WATER TESTING WITHIN THE DWELLING PRIOR TO INSTALLATION OF ANY SEPTIC COMPONENTS.
- CONTRACTOR SHALL VERIFY EXISTING INVERT ELEVATIONS PRIOR TO INSTALLATION OF ANY SEPTIC SYSTEM COMPONENTS.
- INSTRUMENT SURVEY CONDUCTED FOR PROPOSED WORK ONLY. SITE PLAN SHALL NOT BE USED FOR STAKING, OR ANY OTHER PURPOSES.
- THIS PLAN DOES NOT CERTIFY, GUARANTEE OR WARRANTY COMPLIANCE WITH DEEDED OR ZONING BYLAWS, SPECIFICALLY, BUT NOT LIMITED TO, SIDELINE SETBACKS AND BUILDING HEIGHT RESTRICTIONS. OWNER IS RESPONSIBLE FOR OBTAINING SUCH A DETERMINATION FROM THE APPROPRIATE AUTHORITY.
- IF SOILS DIFFER FROM THOSE SHOWN IN THE SOILS LOGS, DESIGN ENGINEER IS TO INSPECT THE SOILS PRIOR TO PROCEEDING WITH INSTALLATION.
- EXISTING SEPTIC COMPONENTS TO BE LOCATED, PUMPED DRY, FILLED WITH CLEAN SAND AND ABANDONED IN PLACE. AREA TO BE COMPACTED TO MINIMIZE SETTLING.
- INSTALL A 40 MI. HDPE LINER FOR BREAKOUT FROM EL=23.62 TO EL=19.82 AS SHOWN ON PLAN (SEE PLAN VIEW).
- WATERSOWER CROSSING: 4" PVC WASTEWATER SHALL BE SLEEVED IN A 20" SECTION OF 6" PVC PIPE CENTERED OVER THE WATER LINE TO MAXIMIZE DISTANCE TO JOINTS.

TEST HOLE LOGS

Test Hole #1 (EL=27.3±)					Test Hole #2 (EL=27.9±)				
Depth	Layer	Soil Class	Soil Color	Comments	Depth	Layer	Soil Class	Soil Color	Comments
0'-26"	F#1	Fine Sandy Loam	10YR 3/2		0'-22"	F#1	Fine Sandy Loam	10YR 3/2	
26'-29"	A	Fine Loamy Sand	10YR 5/3		22'-24"	A	Fine Loamy Sand	10YR 5/3	
29'-60"	B	Fine Loamy Sand	10YR 5/6		24'-30"	B	Fine-Medium Loamy Sand	10YR 5/6	
60'-136"	C1	Medium Loamy Sand	10YR 5/6		30'-53"	C1	Fine-Medium Loamy Sand	10YR 6/6	
					53'-132"	C2	Fine-Medium Loamy Sand	10YR 6/6	

DATE OF TESTING: 06/26/13

SOIL EVALUATOR: LINDA J. PINTO, P.E., CSH ENGINEERING

BOARD OF HEALTH AGENT: DONNA MCKANDI, BARNSTABLE HEALTH DEPARTMENT

PERCOLATION RATE: CLASS I SOILS - LESS THAN 5 MIN/INCH IN "C" LAYERS PER SIEVE ANALYSIS

NO GROUNDWATER ENCOUNTERED

INSPECTION NOTE:

PRIOR TO FINAL INSPECTION BY THE ENGINEER, SYSTEM NEEDS TO BE COMPLETE INCLUDING BUILDUP FOR COVERS.



LEGEND

- 15.3 EXISTING SPOT GRADE
- 24.5 PROPOSED SPOT GRADE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- WATER SERVICE LINE
- OVERHEAD UTILITY LINES
- UNDERGROUND UTILITY LINES
- GAS SERVICE LINE
- TOP OF BANK
- LIMIT OF WORK
- EDGE OF CLEARING
- FENCE
- TEST HOLE LOCATION
- SEPTIC TANK
- DISTRIBUTION BOX
- SOIL ABSORPTION SYSTEM
- RESERVED FOR FUTURE USE
- UTILITY POLE
- CATCH BASIN
- FIRE HYDRANT
- DRINKING WATER WELL
- CONCRETE BOUND

KEY

- PROPOSED DWELLING
- DECK
- EXISTING DWELLING
- GRASS
- PAVEMENTS
- EXISTING GROUND COVER
- DRIVE/WALKWAY

I CERTIFY THAT I AM CURRENTLY APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION PURSUANT TO 310 CMR 15.017 TO CONDUCT SOIL EVALUATIONS AND THAT THE SOIL ANALYSIS HAS BEEN PERFORMED BY ME CONSISTENT WITH THE REQUIRED TRAINING, EXPERTISE, AND EXPERIENCE DESCRIBED IN 310 CMR 15.017. I FURTHER CERTIFY THAT THE RESULTS OF MY SOIL EVALUATION AS INDICATED ON THE ATTACHED SOIL EVALUATION FORM, ARE ACCURATE AND IN ACCORDANCE WITH 310 CMR 15.100 THROUGH 15.107

Linda J. Pinto
Linda J. Pinto, Certified Soil Evaluator

Survey Work by:
A & M Land Services
818 Route 28, Suite 3
West Yarmouth, MA 02673
Ph. (508) 737-1777 Email: amland@comcast.net

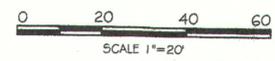
TOM AND DENISE KRAZ
205 STONEY POINT ROAD

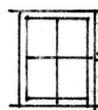
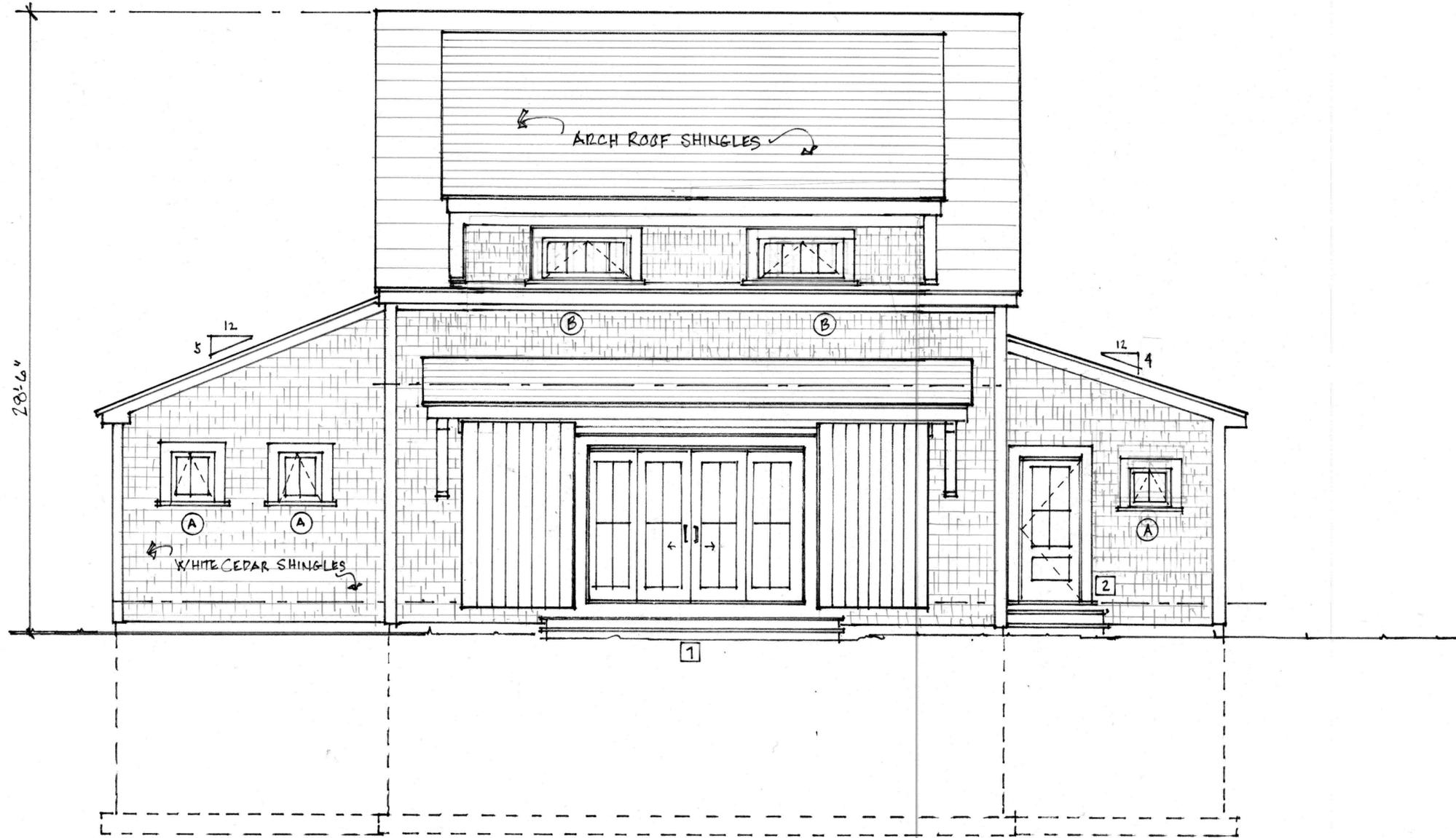
Proposed Sewage Disposal System
205 Stoney Point Rd., Cummaquid, MA

Prepared by:
CSN Engineering

P.O. Box 201
Brewster, MA 02631

Phone: (508) 898-3280
Fax: (508) 898-1783

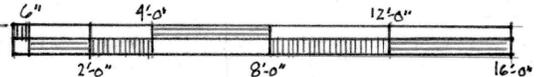




FRONT ELEVATION
205 STONEY POINT ROAD

1/4" = 1'-0" SCALE

SCALE



PROPOSED NEW RESIDENCE FOR:

TOM AND DENISE KRACZ
205 STONEY POINT ROAD
CUMMAQUID, MA. 02637

BRACHWOOD DESIGN GROUP L.L.C.

BRIAN BURBIC CUSTOM HOMES

CSL# 104145 / H.I.C. 174645

FRONT ELEVATION 1/4" = 1'-0"

R.Y.

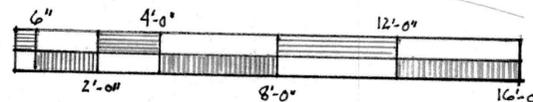
1/4" = 1'-0"



REAR ELEVATION
205 STONEY POINT ROAD

1/4" = 1'-0"

SCALE:



PROPOSED NEW RESIDENCE FOR:
TOM AND DENISE KRACZ
205 STONEY POINT ROAD
CUMMAQUID, MA. 02637

PEACHWOOD DESIGN GROUP L.L.C.

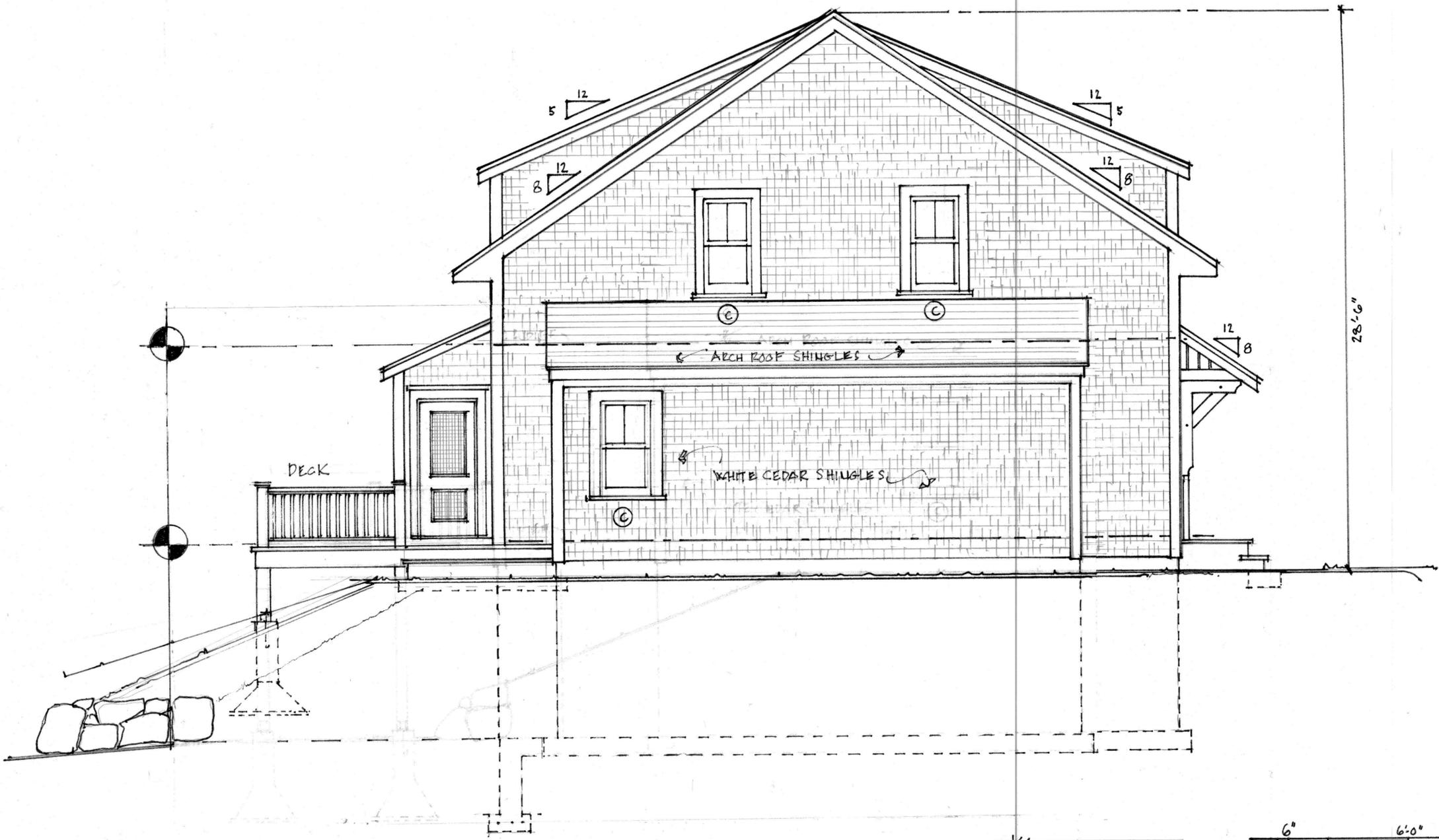
BRIAN BURKIC CUSTOM HOMES

C.S.L.# 104145 / H.I.C. 174645

REAR ELEVATION 1/4" = 1'-0"

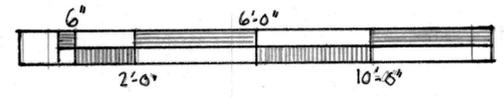
R.Y.

1/4" = 1'-0"

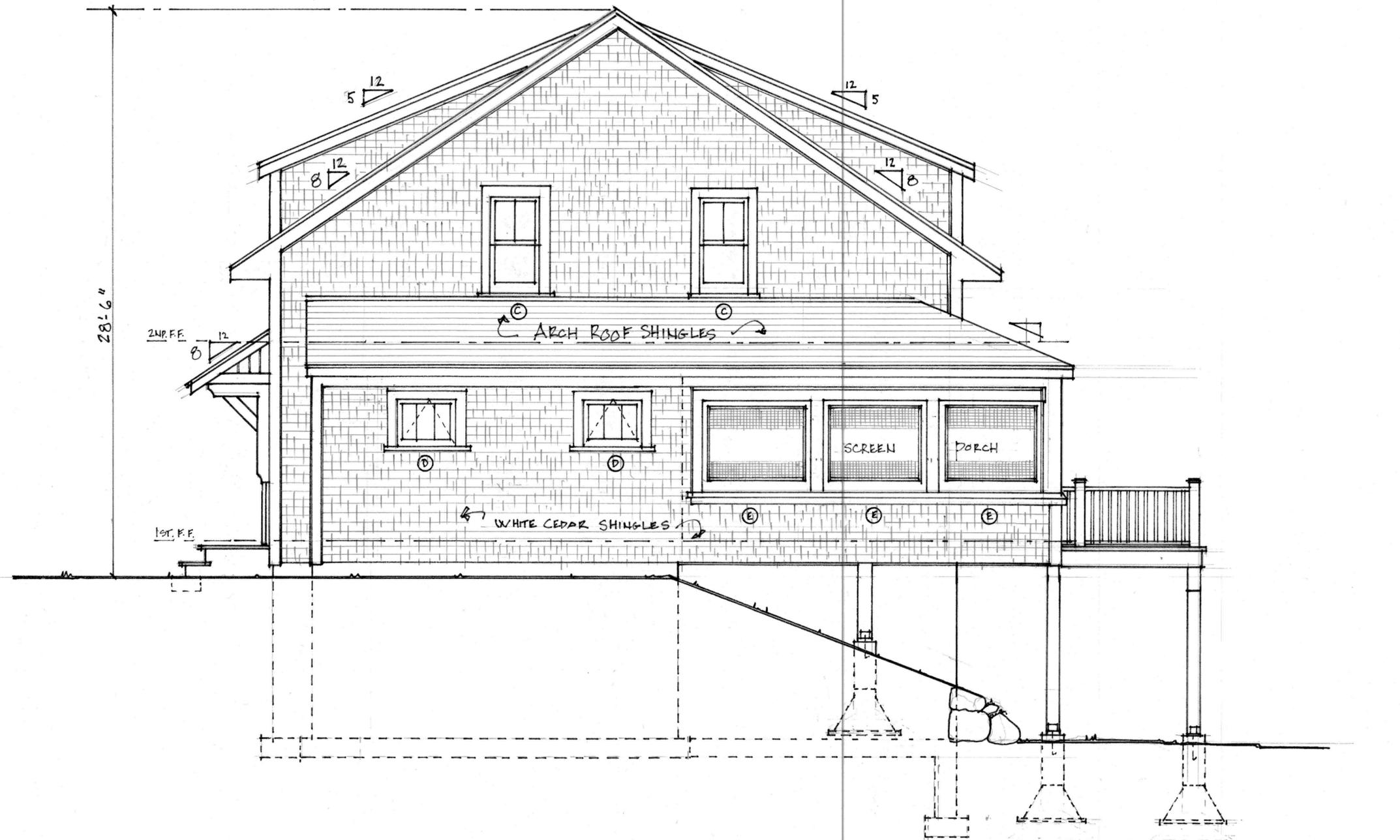



LEFT SIDE ELEVATION
 205 STONEY POINT ROAD

1/4" = 1'-0" SCALE



PROPOSED NEW RESIDENCE FOR: TOM AND DENISE KRACZ 205 STONEY POINT ROAD CUMMAQUID, MA 02637	BEACHWOOD DESIGN GROUP L.L.C. BRIAN BURBIC CUSTOM HOMES CSL# 104145 / H.I.C. 174645 LEFT SIDE ELEVATION	R.Y. 1/4" = 1'-0"	1/4" = 1'-0"	1/4" = 1'-0"
---	--	----------------------	--------------	--------------



RIGHT SIDE ELEVATION $\frac{1}{4}'' = 1'-0''$ SCALE
 205 STONEY POINT ROAD

SCALE 1'-0" 3'-0" 6'-0" 10'-0" 14'-0"

BEACHWOOD DESIGN GROUP L.L.C.
 BRIAN BURBIC CUSTOM BUILDING
 CSL # 104145 / H.I.C. 174645
 RIGHT SIDE ELEVATION

PROPOSED NEW RESIDENCE FOR:
 TOM AND DENISE KRACZ
 205 STONEY POINT ROAD
 CUMMAQUID, MA 02637



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml kaitlyn.maldonado@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: _____ Date 09/17/2021

NOTE All applications must be signed by the current owner

Owner (print): Connie Stather Telephone #: _____
 Address of Proposed Work: 194 SALT ROCK RD. Village BARNSTABLE Map Lot # 316
 Mailing Address (if different) _____

X Owner's Signature Connie Stather

Description of Proposed Work: Give particulars of work to be done: ADD ON 20' X 14' ADDITION TO LEFT REAR OF HOUSE. CHANGE OUT FRONT WINDOWS, FRONT DOOR & FARMERS DOOR. NEW SIDING & ROOF ON EXISTING HOUSE.

Agent or Contractor (print): Ed Stafford Telephone #: 508 922 1362
 Address: 64 HERITAGE DR., W. YARMOUTH MA. 02673
 Contractor/Agent signature: [Signature]

<p>For committee use only</p> <p>Date _____</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p>	<p>This Certificate is hereby APPROVED / DENIED</p>
--	--

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) _____

Siding Type: Clapboard ___ shingle ___ other ___
Material: red cedar ___ white cedar other _____ Color: Cape Cod Gray

Chimney Material: _____ Color: _____

Roof Material: (make & style) CertainTeed Landmark Designer Color: MOIRE Black

Roof Pitch(s): (7/12 minimum) 8/12 (specify on plans for new buildings, major additions)

Window and door trim material: wood ___ other material, specify PVC 1x4 sides, 5/4x5 TOPS

Size of cornerboards 1x4, 1x5 size of casings (1 X 4 min.) _____ color white
To match existing

Rakes 1st member 1x8 2nd member 1x3 Depth of overhang 8"

Window: (make/model) AMERICAN Craftsman 6/6 material Vinyl color white
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights ___ exterior glued grills ___ grills between glass removable interior ___ None ___

Door style and make: Therma-Tru Smooth Star material Fiberglass Color: BENJAMIN MOORE BUCKLAND BLUE HC-151

Garage Door, Style _____ Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: _____ Color: _____

Gutter Type/Material: Aluminum Color: white

Deck material: wood ___ other material, specify _____ Color: _____

Skylight, type/make/model/: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) [Signature] Print Name Ed Stafford

Town of Barnstable, Old Kings Highway Historic District Committee

CHECKLIST -- CERTIFICATE OF APPROPRIATENESS

Please check the applicable categories; This check list must be completed and submitted with your application.

1. ALTERATIONS (new paint color, changes to siding, roof shingles, windows or door etc.)

- Application for Certificate of Appropriateness, 5 copies.
- Spec Sheet, 4 copies; brochures and color samples.
- Plans of building elevations/photographs, 5 copies, ONLY if there is a change to the location and size of the window (s) or door (s)

2. MINOR ADDITIONS e.g. decks, shed (over 120 sq. feet)

- Application for Certificate of Appropriateness, 5 copies.
- Spec Sheet, 5 copies; brochures and color samples.
- Site Plan. 5 copies, ONLY if there is a change to the building footprint.
A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, UNLESS the porch, deck, pool, or shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted, see requirements as applicable, see 4. Site Plan, below.
- Photographs of all building elevation affected by any proposed alterations.
- Plans: 5 copies plus 1 at reduced scale to fit 8.5 x 11 or 11 x 17 paper
Company brochure of manufacturer's shed OR to-scale sketch of affected structure or building elevations.

3. STRUCTURES, NEW/ALTERED (fences, new stonewalls or changes to, retaining walls, pools etc)

- Application for Certificate of Appropriateness
- Spec Sheet, brochures or diagram.
- Site plan. see Instructions 2. Site Plan, above.
- Photographs of any existing structure that will be affected by change.

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING

- Application for Certificate of Appropriateness (5 copies).
- Spec Sheet, 5 copies, brochures and samples of colors.
- Site Plan, 5 copies, at an appropriate scale, & 5 copies of site plans at reduced scaled to fit 8.5"x11 or 11X17 paper

Site Plans shall contain the following:

- Name of applicant, street location, map and parcel.
- Name of architect, engineer or surveyor; original stamp and signature; date of plan and revision dates.
- North arrow, written and drawn scale.
- Changes to existing grades shown with one-foot contours.
- Proposed and existing footprint of the building and/or structures, and distance to lot lines.
- Proposed driveway location.
- Proposed limits of clearing for building(s), accessory structure(s), driveway and septic system.
- Retaining walls or accessory structures (e.g. pool, tennis court, cabanas, barn, garage etc.)

Building Elevations:

- 5 copies of plans at a scale of $\frac{1}{4}'' = 1$ foot; a written and drawn scale.
- 5 copies of plans at a reduced scale to fit 8.5"x 11 or 11 x 17 paper.

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - CONTINUED

Plans shall include the following:

- Name of applicant, street location, map and parcel.
- Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKII DISTRICT COMMITTEE.
- A written and bar drawn scale
- Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- Window schedule on plans.

1 Landscaping plan, 5 copies drawn on a certified perimeter plan containing the following information:

- Name of applicant, street address, assessor's map and parcel number.
- Name address and telephone number of the plan preparer, plan date, & dates of revisions

- The location of existing and proposed buildings and structures, and lot lines.
- Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
- Existing buffer areas to remain.
- Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.
- The location, number, size and name of proposed new trees and plants.
- Driveway, parking areas, walkways, and patios indicating materials to be used.
- Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
- All proposed exterior lighting and signs.

Sketch or photos of adjacent properties, (1 copy only)

A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.

Photographs of all sides of existing buildings to remain, or being added to .

Please complete the following:

Existing building, foot print:

Building 1 _____ sq. ft. Building 2 _____

Existing Building, gross floor area, including area of finished basement:

Building 1 _____ sq. ft. Building 2 _____

New building or addition, foot print:

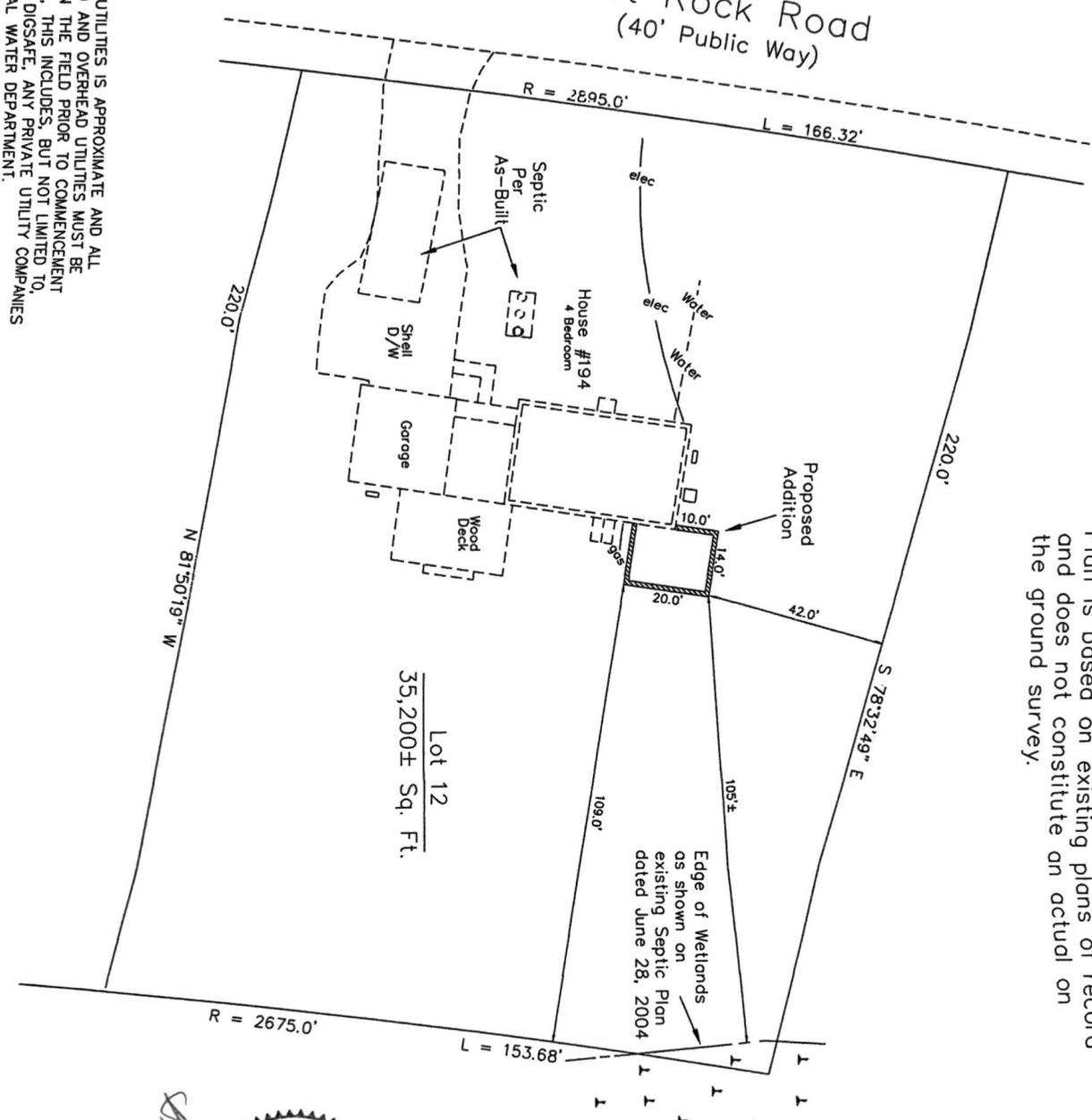
Building 1 _____ sq. ft. Building 2 _____

New Building or addition, gross floor area, including area of finished basement:

Building 1 _____ sq. ft. Building 2 _____



Salt Rock Road
(40' Public Way)

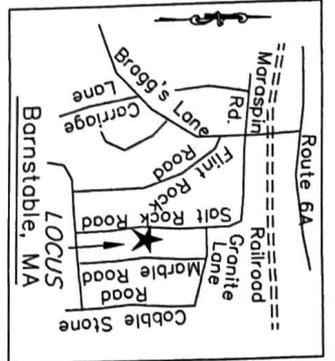


Note
Plan is based on existing plans of record and does not constitute an actual on the ground survey.

NOTE:
LOCATION OF UTILITIES IS APPROXIMATE AND ALL UNDERGROUND AND OVERHEAD UTILITIES MUST BE DETERMINED IN THE FIELD PRIOR TO COMMENCEMENT OF ANY WORK. THIS INCLUDES, BUT NOT LIMITED TO, REQUESTS TO DIGSAFE, ANY PRIVATE UTILITY COMPANIES AND THE LOCAL WATER DEPARTMENT.

Zone: RF-1
43,560 Sq. Ft.
20' Frontage
125' Width
Setbacks
Front 30'
Side 15'
Rear 15'

- Notes
- 1.) Assessor's Map 249 Parcel 82
 - 2.) Book 22715 Page 249
 - 3.) Plan Book 187 Page 51
 - 4.) This property is not in a Wellhead Protection District
 - 5.) This property is in Flood Zone X Firm Map 25001C0558J Dated 7/16/14



Plot Plan
for
Proposed Addition
Located at
194 Salt Rock Road
Barnstable, MA
Prepared for:
Constance & John Stather

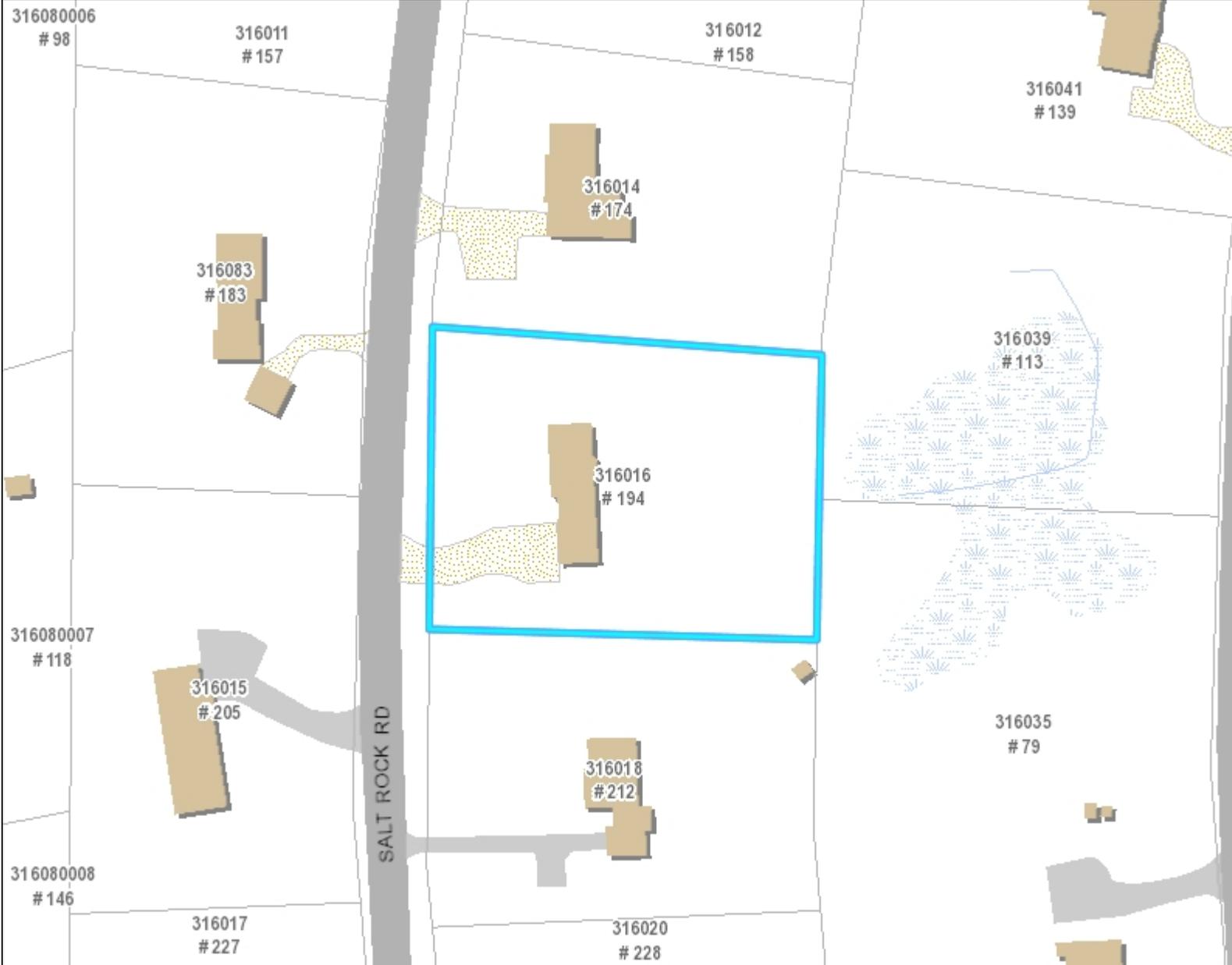


Prepared by:
All Cape Septic and Survey
618 Route 28
West Yarmouth, MA 02673
(508) 771-4200
allcapeseptic@gmail.com
Date: September 22, 2021

Stephen B. Moore
9/22/21



(IN FEET)
1 inch = 30 ft.



Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 10/6/2021



Approx. Scale: 1 inch = 83 feet



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Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

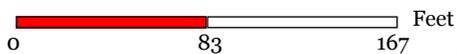
gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 10/6/2021



Approx. Scale: 1 inch = 83 feet



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367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Barnstable Old Kings Highway Historic District Committee
200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml kalflyn.maldonado@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 9/20/21

NOTE All applications must be signed by the current owner

Owner (print): Summit Barnstable Partners, LLC Telephone #: 407-927-7323

Address of Proposed Work: 40 First Way Village Barnstable Map Lot # 301/047

Mailing Address (if different) 10 Robin Hood Rd, Summit, NJ 07901

Owner's Signature [Signature]

Description of Proposed Work: Give particulars of work to be done: Replacing (10) double hung windows, (3) gliding double windows and (3) gliding triple windows all with white exterior.

Agent or Contractor (print): Renewal by Andersen Telephone #: 401-450-0708

Address: 16 Reservoir Rd, Smithfield, RI 02917

Contractor/Agent' signature: [Signature]

<p><i>For committee use only</i></p> <p>Date _____</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p>	<p>This Certificate is hereby APPROVED / DENIED</p>
---	--

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) _____

Siding Type: Clapboard ___ shingle ___ other ___
Material: red cedar ___ white cedar ___ other _____ Color: _____

Chimney Material: _____ Color: _____

Roof Material: (make & style) _____ Color: _____

Roof Pitch(s): (7/12 minimum) _____ (specify on plans for new buildings, major additions)

Window and door trim material: wood ___ other material, specify _____

Size of cornerboards _____ size of casings (1 X 4 min.) _____ color _____

Rakes 1st member _____ 2nd member _____ Depth of overhang _____

Window: (make/model) Renewal by Anderson material Fibrex color white
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights ___ exterior glued grills ___ grills between glass ___ removable interior ___ None

Door style and make: _____ material _____ Color: _____

Garage Door, Style _____ Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: _____ Color: _____

Gutter Type/Material: _____ Color: _____

Deck material: wood ___ other material, specify _____ Color: _____

Skylight, type/make/model/: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) _____ Print Name _____

Town of Barnstable, Old Kings Highway Historic District Committee

CHECKLIST – CERTIFICATE OF APPROPRIATENESS

Please check the applicable categories; This check list must be completed and submitted with your application.

1. ALTERATIONS (new paint color, changes to siding, roof shingles, windows or door etc.)

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 - Proposed and existing footprint of the building and/or structures, and distance to lot lines.**
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 - Proposed limits of clearing for building(s), accessory structure(s), driveway and septic system.**
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- Building Elevations:**
 - 5 copies of plans at a scale of ¼” = 1 foot; a written and drawn scale.**
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4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - CONTINUED

Plans shall include the following:

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- Landscaping plan, 5 copies drawn on a certified perimeter plan containing the following information:
 - Name of applicant, street address, assessor's map and parcel number.
Name address and telephone number of the plan preparer, plan date, & dates of revisions
 - The location of existing and proposed buildings and structures, and lot lines.
 - Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
 - Existing buffer areas to remain.
 - Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.
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 - Driveway, parking areas, walkways, and patios indicating materials to be used.
 - Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
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- Sketch or photos of adjacent properties, (1 copy only)
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Please complete the following:

Existing building, foot print:

Building 1 _____ sq. ft. Building 2 _____

Existing Building, gross floor area, including area of finished basement:

Building 1 _____ sq. ft. Building 2 _____

New building or addition, foot print:

Building 1 _____ sq. ft. Building 2 _____

New Building or addition, gross floor area, including area of finished basement:

Building 1 _____ sq. ft. Building 2 _____

5. SIGNS

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

7. FEES

- Fees according to the Fee Schedule, made payable to the Town of Barnstable.
- \$19.84 made payable to the Town of Barnstable for the required Legal Ad notification.
- First Class Postage Stamps for abutter notification. Please coordinate with Kate Maldonado to confirm the quantity of stamps required. Kate's email is: kaitlyn.maldonado@town.barnstable.ma.us

SIGNED (plan preparer) _____ **Print** _____

Date: _____ Tel. Phone no's: _____
 Email _____

NOTE: The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS

ATTENDANCE AT MEETINGS: If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED

APPEAL PERIOD	APPROVED PLANS	PLAN PICK UP
---------------	----------------	--------------

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Growth Management, Regulatory Division, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway District Commission.

BUILDING PERMITS, OTHER AGENCY CONTACTS

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.
 Other Regulatory Agencies at 200 Main St, Hyannis MA 02601: Building Division 508-862-4038
 Conservation Division 508-862-4093 Health Division 508-862-4644

**QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE
 OLD KINGS HIGHWAY OFFICE AT 508 862-4787**



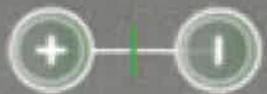
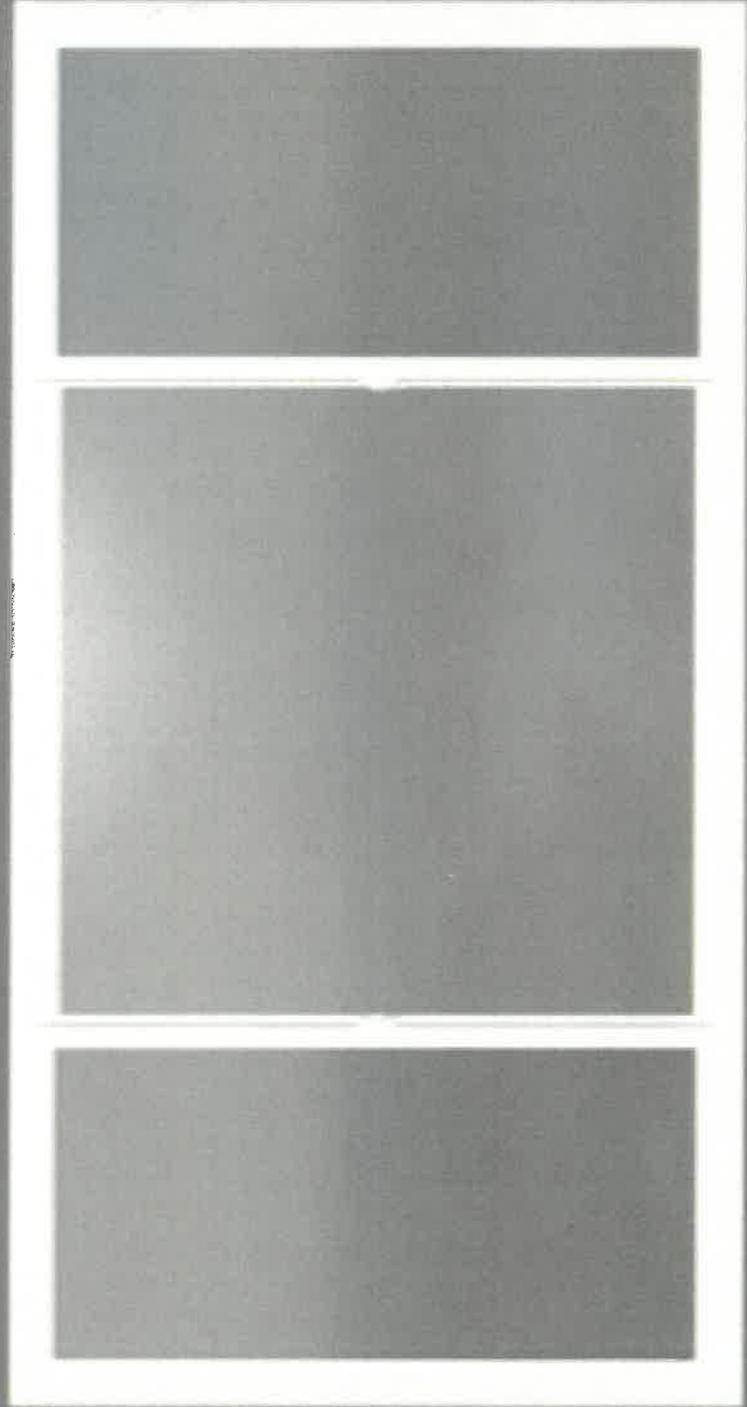








104 master bed
Window - 96.00W x 50.00H



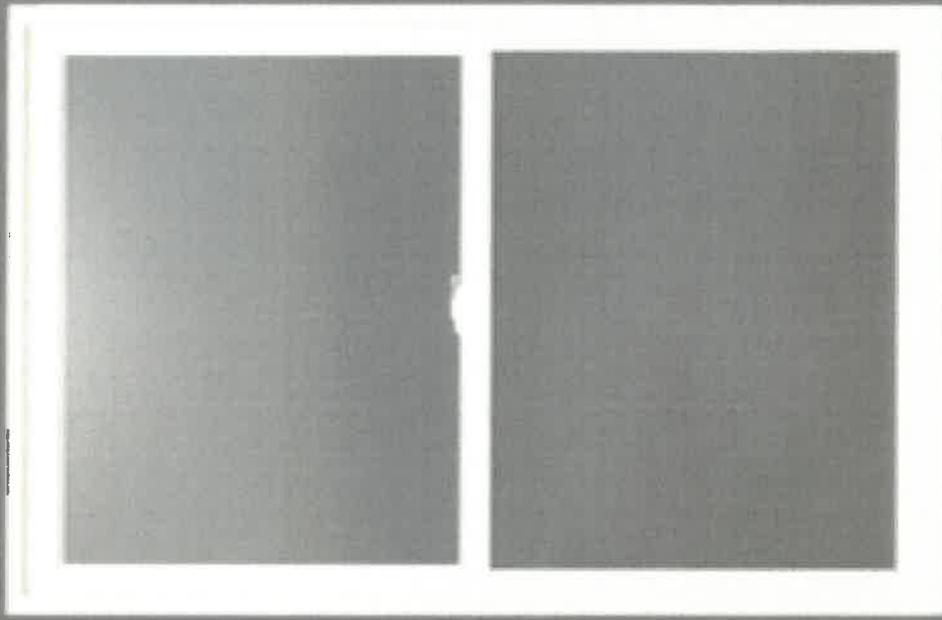
EXTERIOR



INTERIOR



106 upstairs bed 1
Window - 32.00W x 50.00H



EXTERIOR



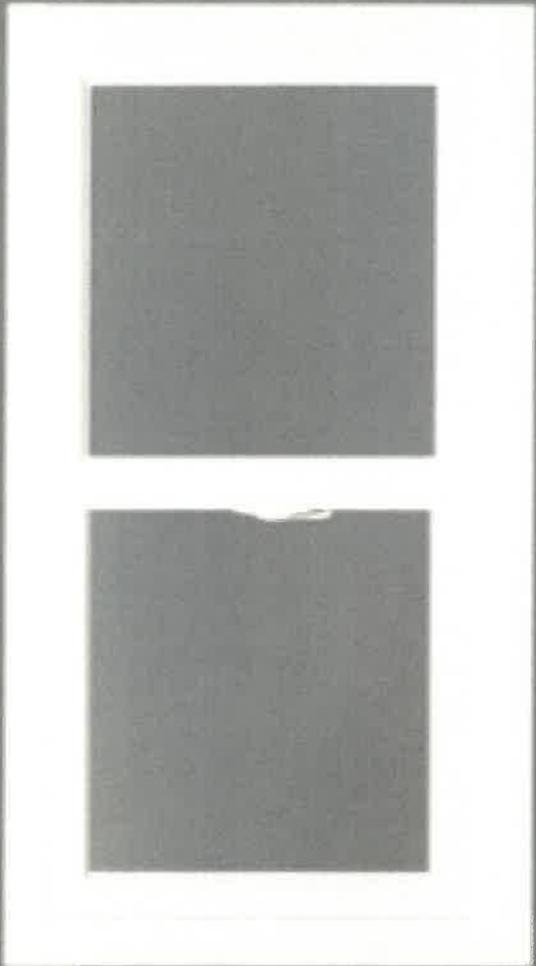
INTERIOR

TILT
NO CLEAN



114 Basement

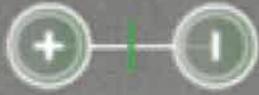
Window - 31.00W x 17.00H



EXTERIOR



INTERIOR



Legend

Road Names



Map printed on: 10/6/2021



Approx. Scale: 1 inch = 42 feet



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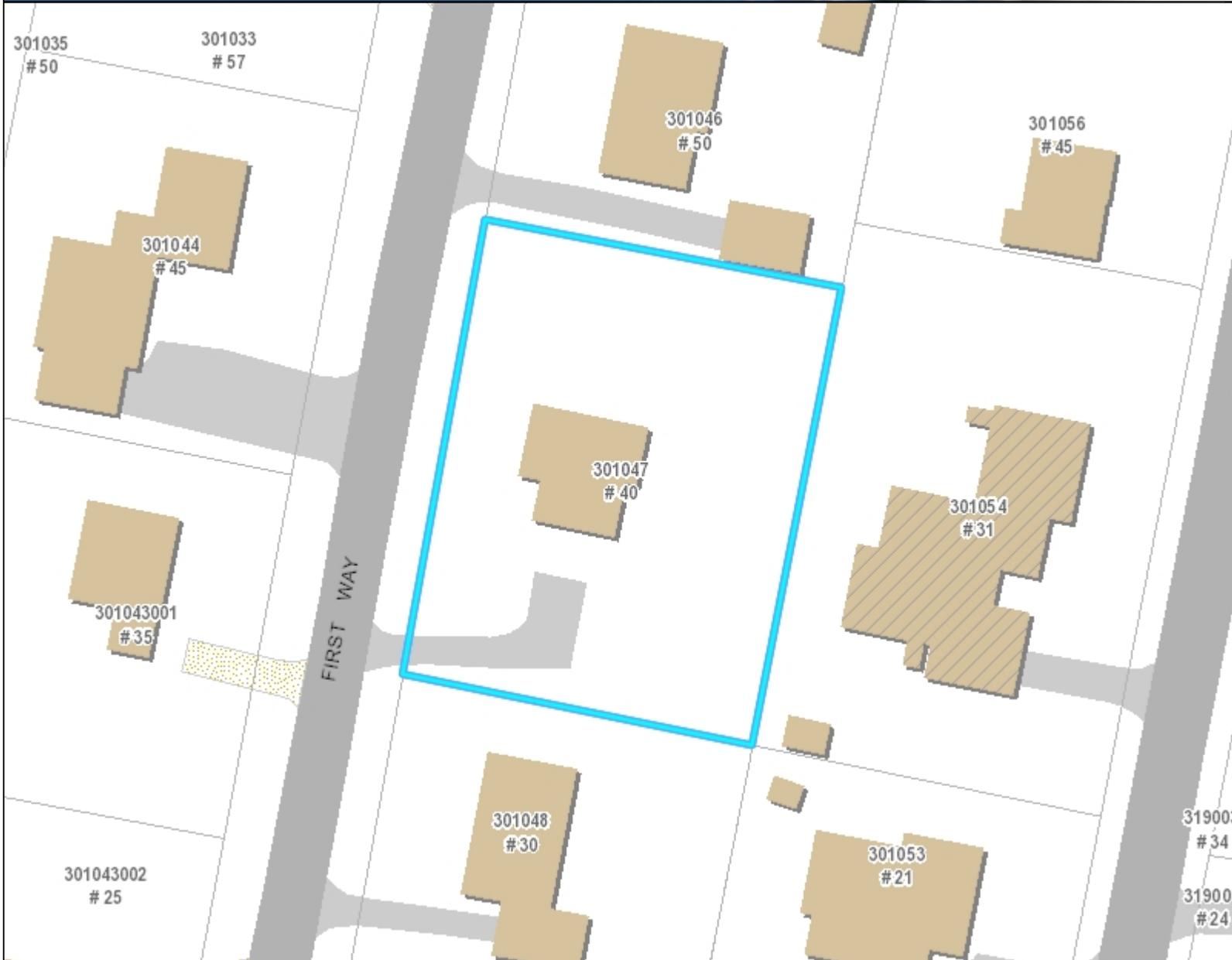


Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
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- Water Bodies

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Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 8/30/2021

NOTE All applications must be signed by the current owner

Owner (print): Kim Cupples Telephone #: 508-292-0916

Address of Proposed Work: 84 Swallow Hill Rd Village OKH Map Lot # _____

Mailing Address (if different): _____

Owner's Signature Kim Cupples

Description of Proposed Work: Give particulars of work to be done: Replace (2) gliding double windows, (2) picture windows and (3) double hung windows - all w/ black exterior

Agent or Contractor (print): Renewal by Andersen Telephone #: 401-450-0708

Address: 10 Reservoir Rd, Smithfield, RI 02917

Contractor/Agent's signature: D. Catalano

<p><i>For committee use only</i></p> <p>Date _____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p>	<p>This Certificate is hereby APPROVED / DENIED</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p>
--	--

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) _____

Siding Type: Clapboard ___ shingle ___ other ___
Material: red cedar ___ white cedar ___ other _____ Color: _____

Chimney Material: _____ Color: _____

Roof Material: (make & style) _____ Color: _____

Roof Pitch(s): (7/12 minimum) _____ (specify on plans for new buildings, major additions)

Window and door trim material: wood ___ other material, specify _____

Size of cornerboards _____ size of casings (1 X 4 min.) _____ color _____

Rakes 1st member _____ 2nd member _____ Depth of overhang _____

Window: (make/model) Renewal by Andersen material Fibrex color black
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights ___ exterior glued grills ___ grills between glass ___ removable interior ___ None

Door style and make: _____ material _____ Color: _____

Garage Door, Style _____ **Size of opening** _____ **Material** _____ **Color** _____

Shutter Type/Style/Material: _____ **Color:** _____

Gutter Type/Material: _____ **Color:** _____

Deck material: wood ___ other material, specify _____ **Color:** _____

Skylight, type/make/model: _____ **material** _____ **Color:** _____ **Size:** _____

Sign size: _____ **Type/Materials:** _____ **Color:** _____

Fence Type (max 6') Style _____ **material:** _____ **Color:** _____

Retaining wall: Material: _____

Lighting, freestanding _____ **on building** _____ **illuminating sign** _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) H. Catalozzi **Print Name** Kim Catalozzi



Itemized Order Receipt

d/b/a: Renewal By Andersen of Southern New England
Legal Name: Southern New England Windows, LLC
RI #36079, MA #173245, CT #0634555, Lead Firm #1237
10 Reservoir Rd | Smithfield, RI 02917
Phone: 401-349-1384 | Fax: 401-633-6602 | sales@renewalsne.com

Kim & Bradd Cuppels
84 Swallow Hill Drive
Barnstable, MA 02630
H: (508)292-0916

ID#:	ROOM:	DETAILS:
------	-------	----------

Misc: Misc, TO CONSTRUCTION DEPARTMENT:

Misc: Misc, THANK YOU!, As a reminder, it is the customer's responsibility to do any painting, staining or touch up work after installation. We appreciate your business and look forward to exceeding your expectations.

Misc: Misc, PERMIT, Customer has paid for Renewal by Andersen to secure a building permit for their project. Permit fees are non-refundable once Renewal By Andersen applies for a permit.

101	master	Window: Gliding, Double, 1:1, Active / Passive, Base Frame, Exterior Black, Interior Canvas, Glass: All Sash: High Performance, No Pattern, Hardware: Canvas, Screen: TruScene, Full Screen, Grille Style: No Grille, Misc: None
102	master	Window: Gliding, Double, 1:1, Active / Passive, Base Frame, Exterior Black, Interior Canvas, Glass: All Sash: High Performance, No Pattern, Hardware: Canvas, Screen: TruScene, Full Screen, Grille Style: No Grille, Misc: None
103	living room	Window: Gliding, Double, 1:1, Active / Passive, Base Frame, Exterior Black, Interior Canvas, Glass: All Sash: High Performance, No Pattern, Hardware: Canvas, Screen: TruScene, Full Screen, Grille Style: No Grille, Misc: None



Itemized Order Receipt

dba: Renewal By Andersen of Southern New England

Legal Name: Southern New England Windows, LLC

RI #36079, MA #173245, CT #0634555, Lead Firm #1237

10 Reservoir Rd | Smithfield, RI 02917

Phone: 401-349-1384 | Fax: 401-633-6602 | sales@renewalsne.com

Kim & Bradd Cuppels

84 Swallow Hill Drive

Barnstable, MA 02630

H: (508)292-0916

ID#: ROOM:

DETAILS:

104 bay 1

Window: Picture, Insert Frame, Exterior Black, Interior Canvas,
Glass: All Sash: High Performance, No Pattern, **Grille Style:**
No Grille, **Misc:** 45° Bay W 61-72 H 49-60 1:1:1, ORDER
DETAILS: Birch or Oak Veneer on Frame. Roof System., Bay/
Bow Copper Roof

105 bay 1

Window: Double-Hung, 1:1, Flat Sill Insert, Exterior Black,
Interior Canvas, **Glass:** All Sash: High Performance, No
Pattern, **Hardware:** Canvas, Standard Color Hand Lift, **Screen:**
TruScene, Full Screen, **Grille Style:** No Grille, **Misc:** None

106 bay 1

Window: Double-Hung, 1:1, Flat Sill Insert, Exterior Black,
Interior Canvas, **Glass:** All Sash: High Performance, No
Pattern, **Hardware:** Canvas, Standard Color Hand Lift, **Screen:**
TruScene, Full Screen, **Grille Style:** No Grille, **Misc:** None

107 bay 2

Window: Picture, Insert Frame, Exterior Black, Interior Canvas,
Glass: All Sash: High Performance, No Pattern, **Grille Style:**
No Grille, **Misc:** 45° Bay W 61-72 H 49-60 1:1:1, ORDER
DETAILS: Birch or Oak Veneer on Frame. Roof System., Bay/
Bow Copper Roof

108 bay 2

Window: Double-Hung, 1:1, Flat Sill Insert, Exterior Black,
Interior Canvas, **Glass:** All Sash: High Performance, No
Pattern, **Hardware:** Canvas, Standard Color Hand Lift, **Screen:**
TruScene, Full Screen, **Grille Style:** No Grille, **Misc:** None



Itemized Order Receipt

dba: Renewal By Andersen of Southern New England

Legal Name: Southern New England Windows, LLC

RI #36079, MA #173245, CT #0634555, Lead Firm #1237

10 Reservoir Rd | Smithfield, RI 02917

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Kim & Bradd Cuppels

84 Swallow Hill Drive

Barnstable, MA 02630

H: (508)292-0916

ID#: ROOM:

DETAILS:

109 bay 2

Window: Double-Hung, 1:1, Flat Sill Insert, Exterior Black, Interior Canvas, **Glass:** All Sash: High Performance, No Pattern, **Hardware:** Canvas, Standard Color Hand Lift, **Screen:** TruScene, Full Screen, **Grille Style:** No Grille, **Misc:** None

WINDOWS: 9

PATIO DOORS: 0

SPECIALTY: 0

MISC: 3



Renewal by Andersen is committed to our customers' safety by complying with the rules and lead-safe work practices specified by the EPA.









Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 10/6/2021



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Legend

Road Names

Map printed on: 10/6/2021



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

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508-862-4624

gis@town.barnstable.ma.us



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 9/3/2021

NOTE All applications must be signed by the current owner

Owner (print): Catherine Bowles Brazelton Telephone #: 917-494-5379

Address of Proposed Work: 232 Commerce Road Village Barnstable, MA Map Lot # 318-024

Mailing Address (if different) P O Box 396, Barnstable MA 02630

Owner's Signature *[Signature]*

Description of Proposed Work: Give particulars of work to be done: We would like to change the color of the trim.

At present, the old trim is white. We would like to change it to gray green. I have enclosed photos of a house on 6A that uses the gray green color and we will be using the same painter.

Agent or Contractor (print): Kim Bassett Telephone #: 508-737-8665

Address: 3775 Main St., Barnstable MA 02630

Contractor/Agent' signature: *[Signature]*

<p><i>For committee use only</i></p> <p>Date _____</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p>	<p>This Certificate is hereby APPROVED / DENIED</p>
---	--

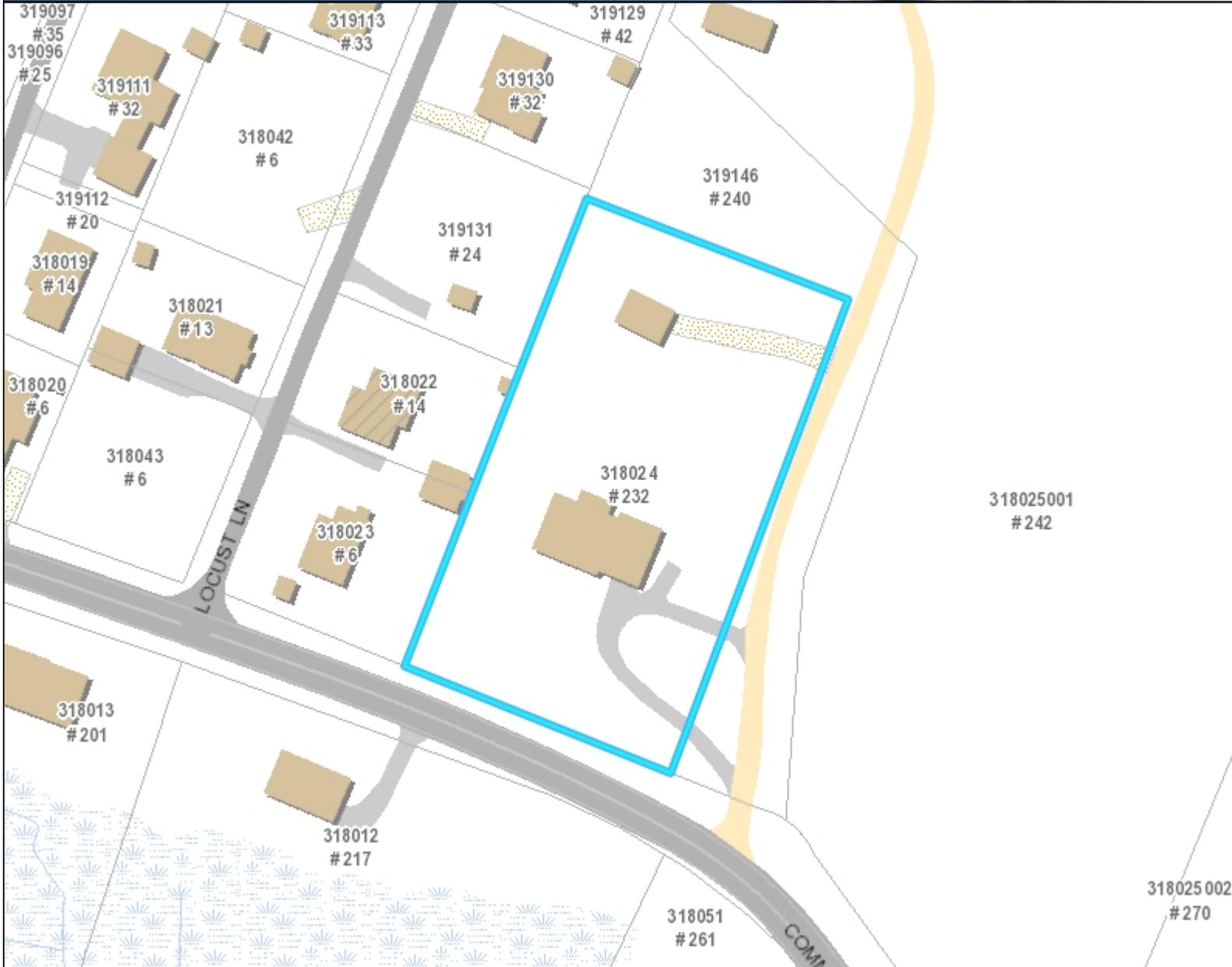
Novak House, 232 Commerce Road



It is time to repaint the trim and we want to replace the white with gray green, as at 3695 main St. (6A), a color known to and painted by my contractor Kim Bassett (shown below):



After thinking for a long time about how to integrate the non-Cape Cod look—mid-century ranch with southwestern granite detail—of Novak House, we've decided it would be better to go with the "flow" of the house and bring out the pink of the southwestern granite as it works with the gray of the Cape Cod shingling. The stark white trim, while it seems to make the look more "Cape Cod" against the shingling, makes the granite look gray and more out-of-place. In the photo above I've actually photoshopped to bring up the pink warmth of the stone, but in reality the pink is more delicate. If we reduce the contrast between the white and the two grays, by giving the house 3 grays, I feel the result will be much more beautiful and inviting. The shingles will not "argue" Cape, but persuade. I hope to achieve a look that nods to the now historical mid-century ranch design, and honors it, while convincing the observer that the house is still Cape-contextualized.



Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
- ▭ Approx. Building
- ▭ Buildings
- Painted Lines
- Parking Lots
- ▭ Paved
- ▭ Unpaved
- Driveways
- ▭ Paved
- ▭ Unpaved
- Roads
- ▭ Paved Road
- ▭ Unpaved Road
- ▨ Bridge
- ▭ Paved Median
- Streams
- ☼ Marsh
- Water Bodies

Map printed on: 10/6/2021



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 10/6/2021



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gis@town.barnstable.ma.us



Town of Barnstable
Planning & Development Department
Old King's Highway Historic District Committee
 367 Main Street, 3rd Floor, Hyannis, Massachusetts 02601
 Telephone (508) 862-4787, Email erin.logan@town.barnstable.ma.us



Application, MINOR MODIFICATION

972 CMR Rules and Regulations, Section 1.03(2)
 1:03: General Procedures

(2.) (a.) Only minor changes may be approved by the Committee without the filing of a new application and a new hearing. Minor changes include alterations that can be done without a detrimental impact on the overall appearance of the project such as altering a single window or door change or a minor change of colors. All minor changes by amendment will require the local Committee's or it's designee's approval.

Date 8/23/2021 Map & Parcel 280-009
 Homeowner KIRA & BOB HOWER 90 AULSON MESSI AB ARCHITECTS Phone 508.694.7887
 Street address 29 SALTEN POINT Email ALISON@ABARCHITECTSINC.COM
 Village BARNSTABLE 1
 Mailing address 831 MAIN STREET, DENNIS MA 02638 Signature [Handwritten Signature]

Date of Approved Certificate of Appropriateness 12/16/2020 → 4/14/2021

Proposed Minor Modification
EXTEND WEST DECK FRONT CORNER
EXTERIOR SHOWER LOCATED AT FRONT WEST CORNER

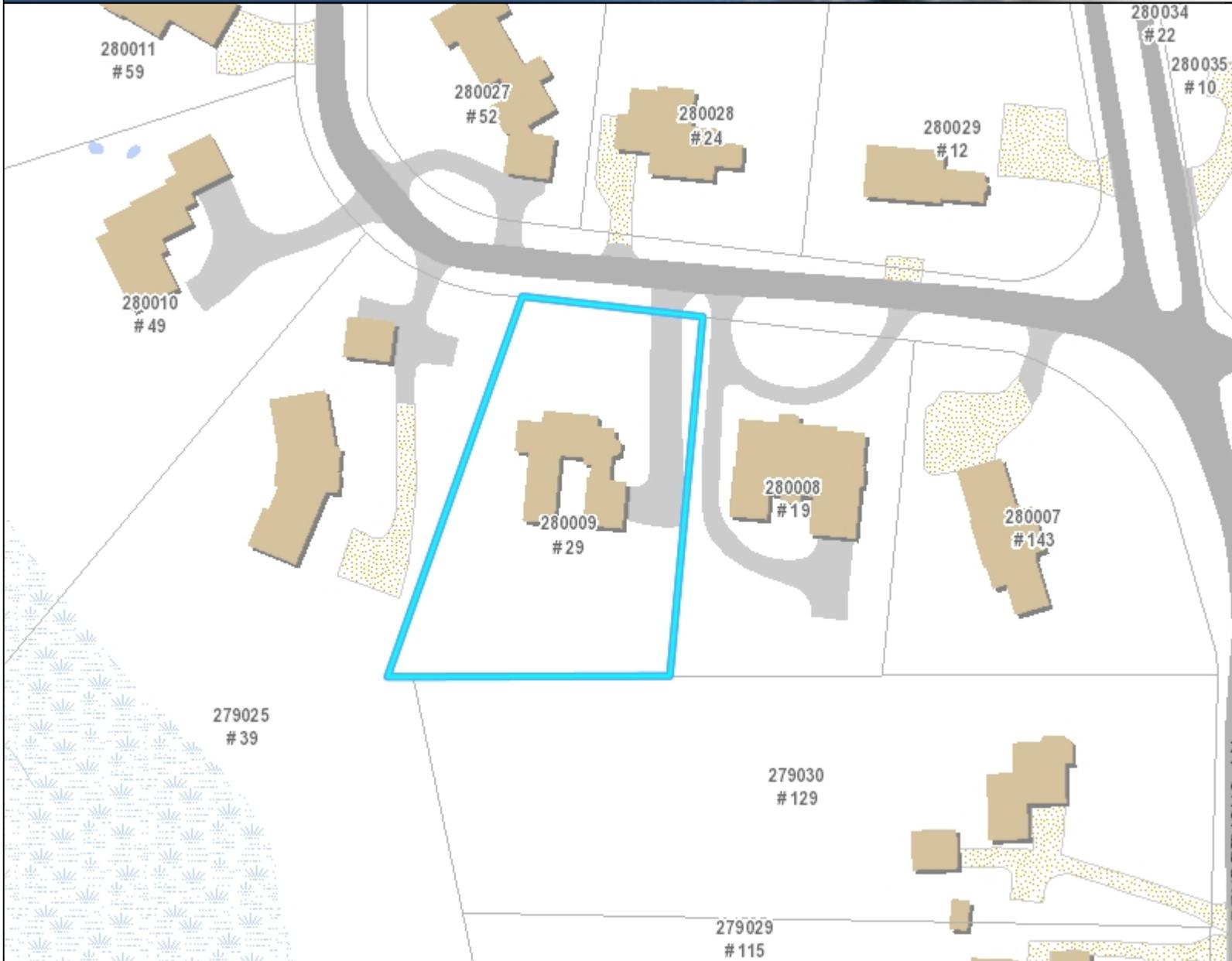
APPROVED DENIED

Signed: _____
 Paul Richard, Chairperson, Barnstable Old King's Highway Historic District Committee

Dated: _____

Chair Notes: _____

cc: Brian Florence, Building Commissioner



Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Painted Lines
- Parking Lots
 - Paved
 - Unpaved
- Driveways
 - Paved
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- Roads
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Map printed on: 10/6/2021



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 10/6/2021



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Town of Barnstable GIS Unit

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gis@town.barnstable.ma.us



LEFT/NORTHWEST ELEVATION (APPROVED BY OKH)
SCALE: 1/4" = 1'-0"



LEFT/NORTHWEST ELEVATION (PROPOSED)
SCALE: 1/4" = 1'-0"



REAR/NORTHEAST ELEVATION (APPROVED BY OKH)

SCALE: 1/4" = 1'-0"



REAR/NORTHEAST ELEVATION (PROPOSED)

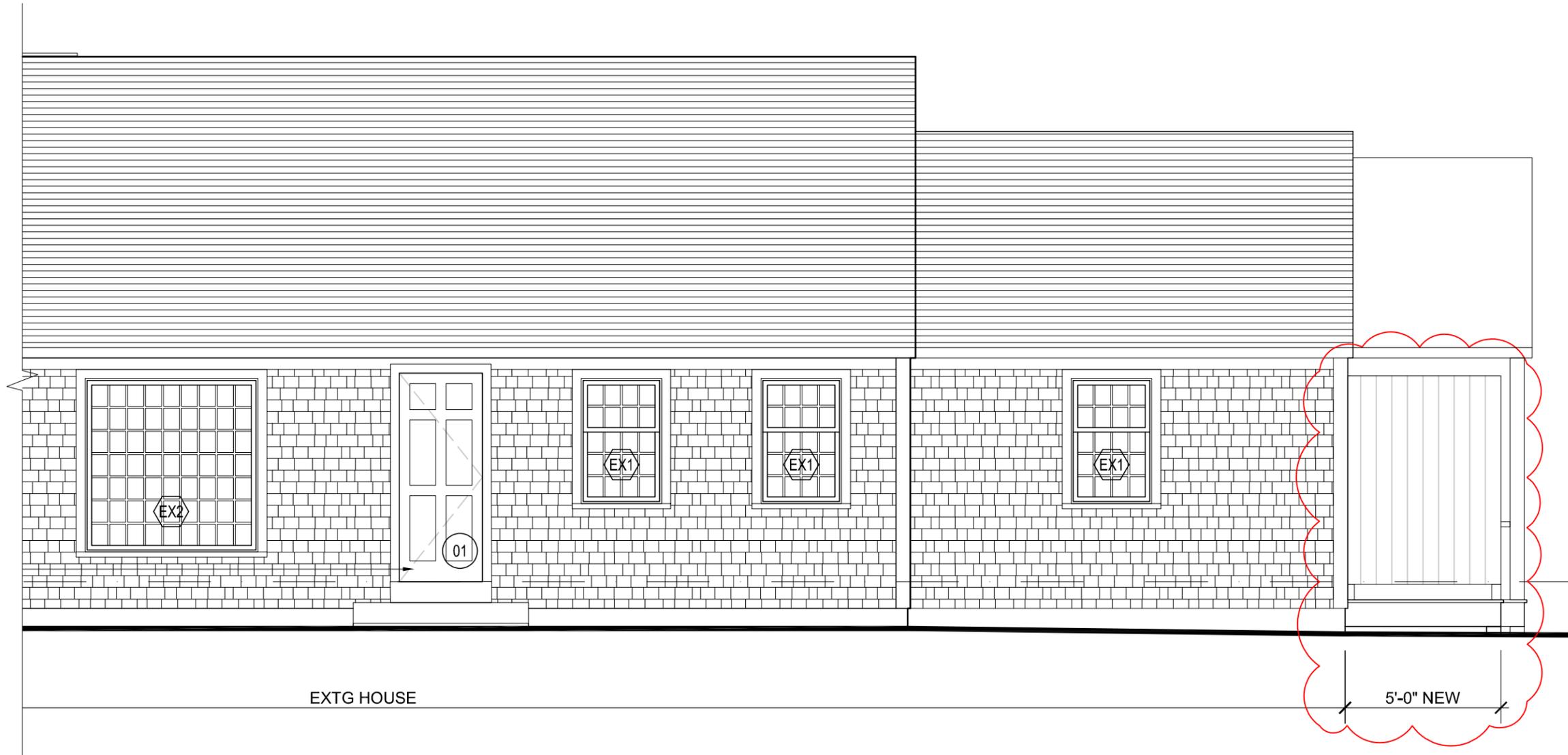
SCALE: 1/4" = 1'-0"



RIGHT/SOUTHEAST ELEVATION (APPROVED BY OKH)
SCALE: 1/4" = 1'-0"



RIGHT/SOUTHEAST ELEVATION (PROPOSED)
SCALE: 1/4" = 1'-0"



EXTG HOUSE

5'-0" NEW

1 NORTH ELEVATION – SALTEN POINT ROAD
SK 1/4"=1'-0"

A RENOVATION FOR:

KIRA & BOB HOWER
29 SALTEN POINT ROAD
BARNSTABLE MA

TITLE:

NEW DECK

831 Main Street
Dennis, MA 01938
508.694.7887 phone
www.a3architectsinc.com

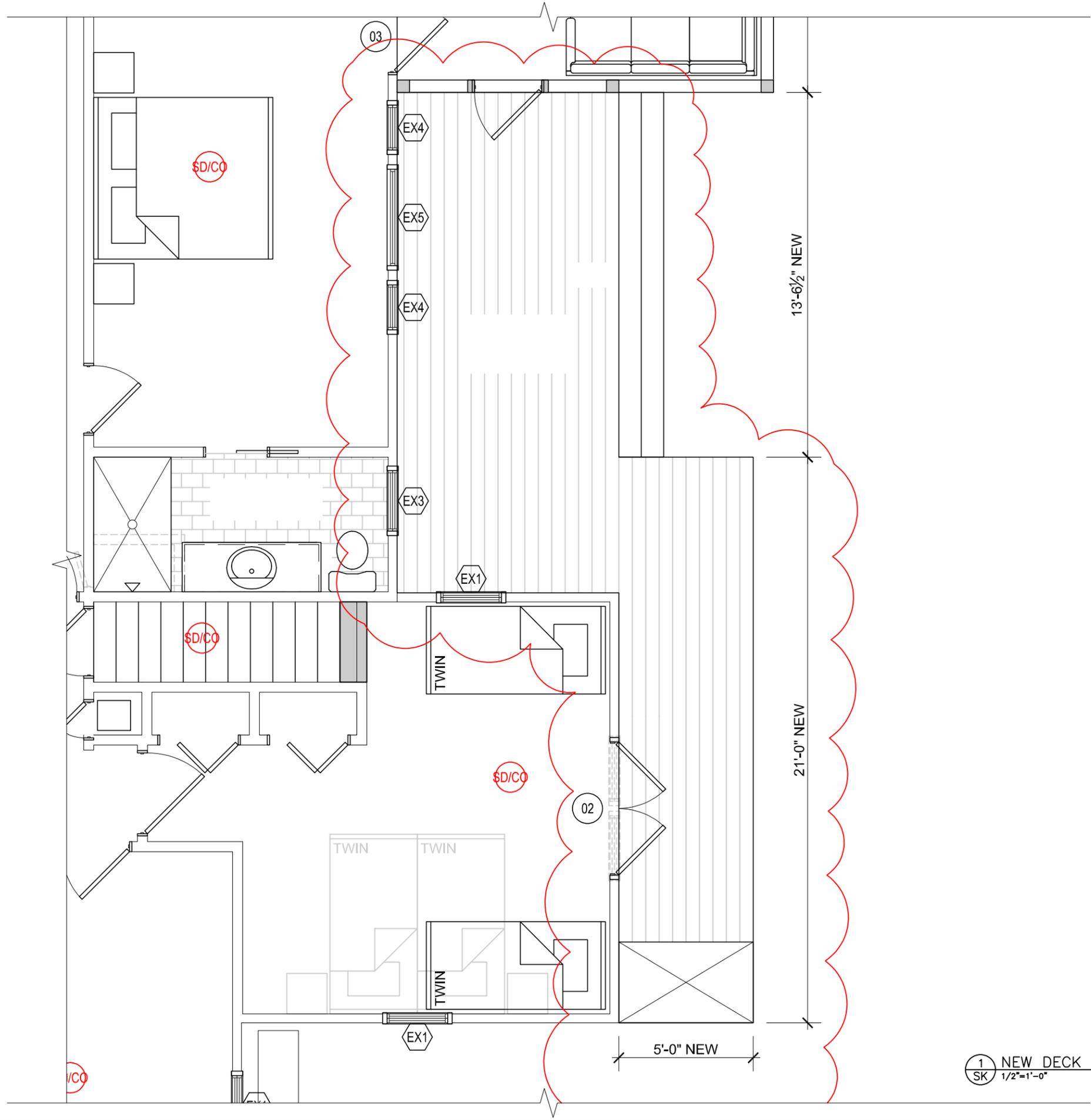
A3 architects, inc
Residential Commercial Net Zero

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Date:

SK2: 08.19.2021

SK-2B



A RENOVATION FOR:
 KIRA & BOB HOWER
 29 SALTEN POINT ROAD
 BARNSTABLE MA

TITLE:
 NEW DECK

831 Main Street
 Dennis, MA 02638
 508.694.7887 phone
 www.a3architectsinc.com

A3 architects, inc
 Residential Commercial Net Zero

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Date: 08.19.2021
 SK2:

1 NEW DECK PLAN
 SK 1/2"=1'-0"

SK-2A



Town of Barnstable
 Old King's Highway Historic District Committee
 200 Main Street, Hyannis, Massachusetts 02601
 Telephone (508) 862-4787, Email pryce.rogers@town.barnstable.ma.us



Application, MINOR MODIFICATION

972 CMR Rules and Regulations, Section 1.03(2)
 1.03: General Provisions

12.1 (a) Only minor changes may be approved by the Committee without the filing of a new application and a new hearing. Minor changes include alterations that can be done without a detrimental impact on the overall appearance of the project such as altering a single window or door change or a minor change of colors. All minor changes by amendment will require the local Committee's and its designer's approval.

Submit two (2) copies of the application and supporting materials and documentation.

Date: 9/28/21 Map & Parcel: 104 109
 Homeowner: JAMES BURROWS Phone: 310 263 4674
 Street address: 3845 MAIN ST. RT6A Email: JMABURROWS@YAHOO.COM
 Village: BARNSTABLE
 Mailing address: _____ Signature: [Signature]

Date of Approved Certificate of Appropriateness: AROUND 11-18-20 ?

- Proposed Minor Modification:
1. CHANGE DECK SIZE from 7'x8' to 8'x8'
 2. INSTALL A CIRCULAR STAIR CASE RATHER THAN THE TYPICAL ASSEMBLING STAIR CASE SHOWN ON THE ORIGINAL DRAWINGS. 6' DIAMETER BLACK STEEL. LOCATED IN THE SAME SPACE AS THE STAIR CASE SHOWN IN THE DRAWINGS

3. Black steel RAILS for deck to match spiral STAIR RAILS

APPROVED DENIED

Signed: _____
 Paul Richard, Chairperson, Barnstable Old King's Highway Historic District Committee

Dated: _____

Chair Notes: _____

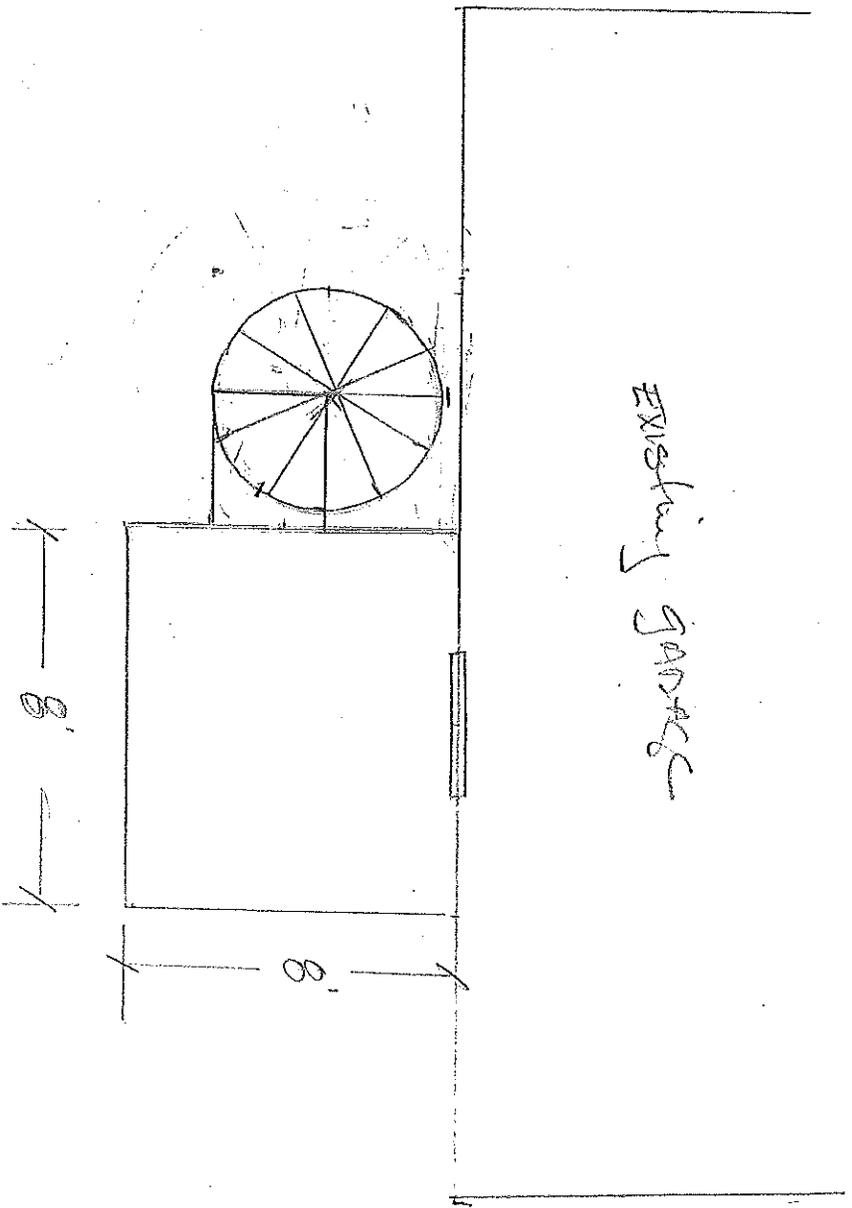
cc: Brian Florence, Building Commissioner

BULLBUS IDG
3845 Main St
RT 6A

Permit # TB-20-3408

Zoning Ordinance
508-367-1035

Existing Garage



- Change:
- 1- 8'x8' from 7'x7'
 - 2- spiral stairs & deck rails
 - Wash shed
 - 5' diameter
 - 30° head angle

Minor Plan Change

Application, **CERTIFICATE OF EXEMPTION**

Application is hereby made, with one (1), colored set, for the issuance of a Certificate of Exemption under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Date 11/18/20

Map & Parcel

Homeowner JAMES BURROWS

Phone 310 963 4694

Street address 3845 MAIN ST.

Email JIMABURROWS@yahoo.com

Village Cummaquid

Mailing address P.O. Box 322 Cummaquid
MA 02637

Signature James Burrows

Agent/Contractor RANDALL SWEETIS

Phone 508 367 1035

Agent Address 10 Wheeler Rd, Marston
Mills 02648

Email RGSWEETIS@comcast.net

Agent Signature Randall Sweetis

None

If approved, this certificate expires one year from the stamped approval date or upon the expiration of Building Permit, whichever date shall be later. A one year extension may be requested, in writing, to the Barnstable Old King's Highway Administrative Assistant at 200 Main Street, Hyannis, MA 02601. This request must be received at least 30 days prior to the date of expiration.

This application is for an exemption of the proposed construction on the grounds that the work:

- ? Will not be visible from a way or public place ? Is within a category declared exempt by the Old King's Highway Regional Historic District Commission
- Other _____

Description of Proposed Work

Will demo EXISTING deck and rebuild
a new deck in SAME location

All wood Deck 1/2 nail
PVC white Rim Joist 1/2 STAIR STRINGER, Steps

Checklist

Application and site plan indicating the location of the proposed change

\$40 Filing fee for sheds and building alterations

\$30 Filing fee - all other projects

For Committee use only

APPROVED

REFERRED for Certificate of Appropriateness

APPROVED BY OKH DESIGNEE, MCCARTHY, ON 12/15/20

Designee Signature

Date

APPROVED BY OKH DESIGNEE, MCCARTHY, ON 12/15/20

Jim Barrows
3845 Main St.
Commerville

EXISTING
DECK TO BE
REMOVED &
RE BUILT

11/20/20

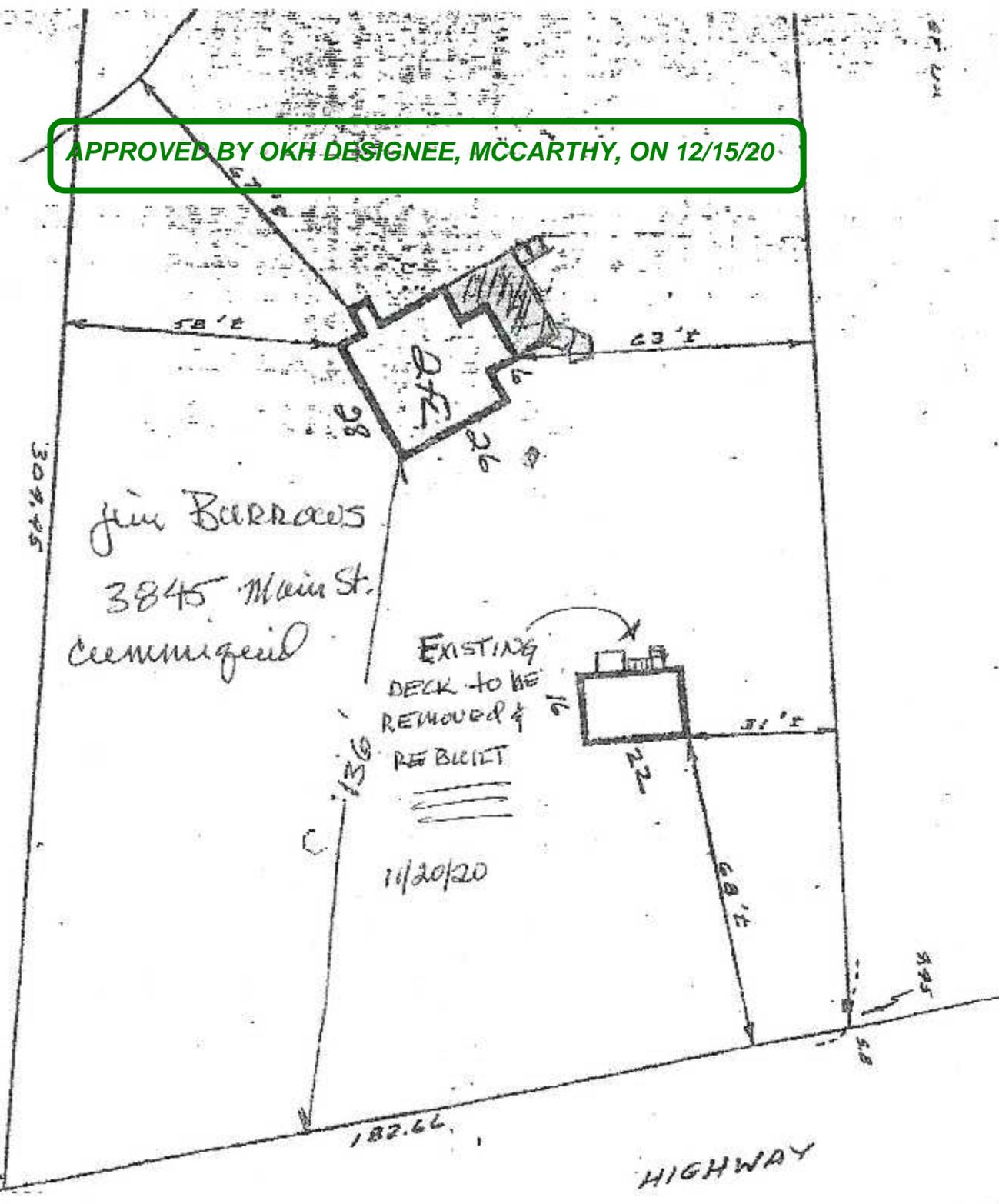
HIGHWAY

STATE

RTE. #6A

RG Sweet's Builders

MAD 335
Parcel 008/001



Legend

Road Names



Map printed on: 12/15/2020



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Application, **MINOR MODIFICATION**

972 CMR Rules and Regulations, Section 1.03(2)
 1:03: General Procedures

(2.) (a.) Only minor changes may be approved by the Committee without the filing of a new application and a new hearing. Minor changes include alterations that can be done without a detrimental impact on the overall appearance of the project such as altering a single window or door change or a minor change of colors. All minor changes by amendment will require the local Committee's or it's designee's approval.

Submit two (2) copies of the application and supporting materials and documentation.

Date 9/30/2021 **Map & Parcel** MAP 334 PAR 023
Homeowner KENNETH E. EUBANKS Phone 508-294-4769
 Street address 293 OAKMONT ROAD Email KEN@18004455443.COM
 Village CUMMAQUID, MA. 02637
 Mailing address P.O. Box 349, CUMMAQUID Signature Kenneth E. Eubanks

Date of Approved Certificate of Appropriateness 7/14/2021

Proposed Minor Modification INSTALL ADDITIONAL SOLAR PANELS ON HOUSE
TO INCREASE THE OFFSET PERCENTAGE FROM
65% TO 100%.

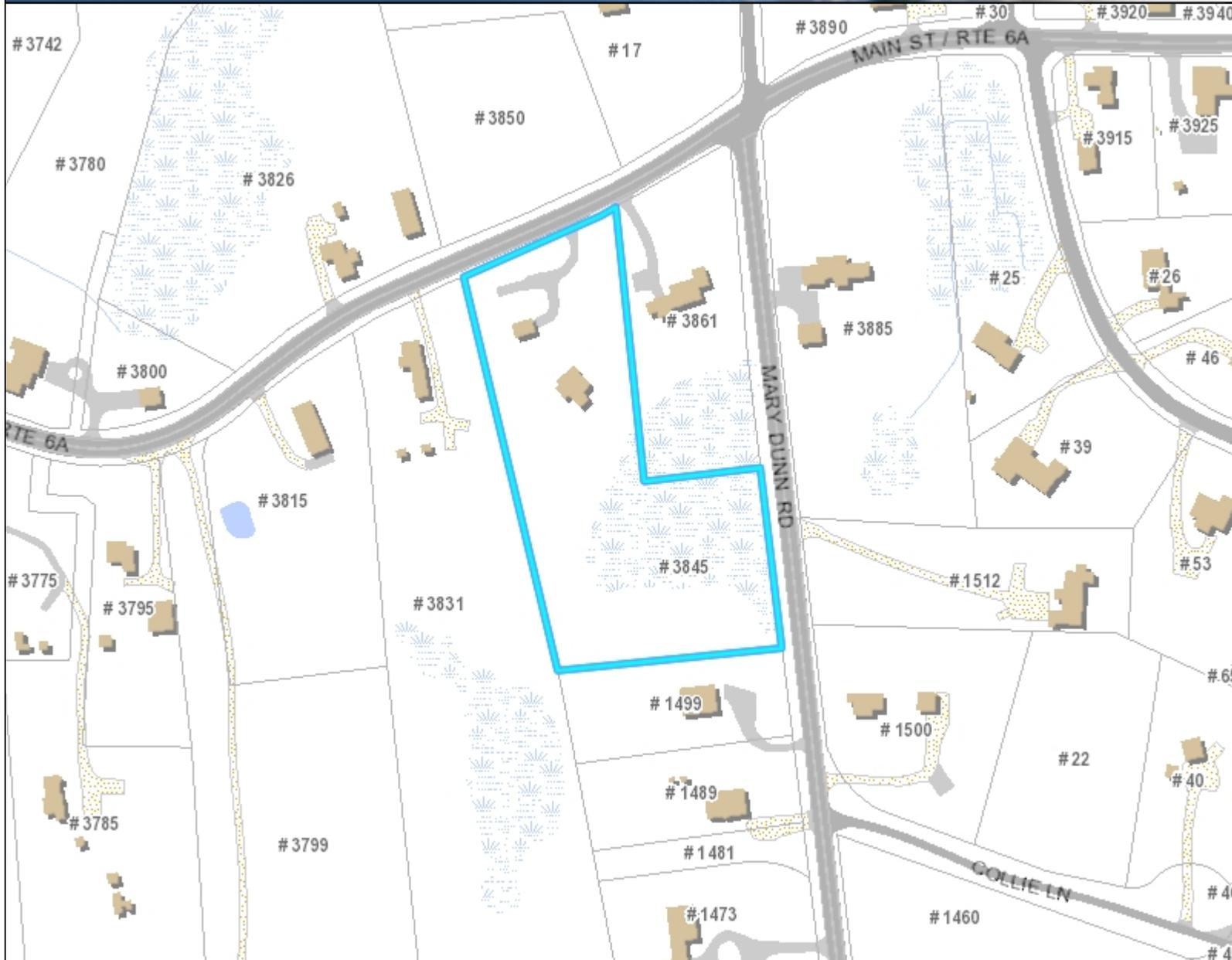
APPROVED DENIED

Signed: _____
 Paul Richard, Chairperson, Barnstable Old King's Highway Historic District Committee

Dated: _____

Chair Notes: _____

cc: Brian Florence, Building Commissioner



Legend

- Parcels
- ▬ Town Boundary
- ⊕ Railroad Tracks
- Buildings
- ▭ Approx. Building
- ▭ Buildings
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- Roads
- ▭ Paved Road
- ▭ Unpaved Road
- ▭ Bridge
- ▭ Paved Median
- Streams
- Marsh
- ▭ Water Bodies

Map printed on: 10/6/2021



Approx. Scale: 1 inch = 167 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 10/6/2021



Approx. Scale: 1 inch = 167 feet



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508-862-4624

gis@town.barnstable.ma.us

ABBREVIATIONS	ELECTRICAL NOTES	JURISDICTION NOTES
<p>A AMPERE AC ALTERNATING CURRENT BLDG BUILDING CONC CONCRETE DC DIRECT CURRENT EGC EQUIPMENT GROUNDING CONDUCTOR (E) EXISTING EMT ELECTRICAL METALLIC TUBING FSB FIRE SET-BACK GALV GALVANIZED GEC GROUNDING ELECTRODE CONDUCTOR GND GROUND HDG HOT DIPPED GALVANIZED I CURRENT Imp CURRENT AT MAX POWER Isc SHORT CIRCUIT CURRENT kVA KILOVOLT AMPERE kW KILOWATT LBW LOAD BEARING WALL MIN MINIMUM (N) NEW NEUT NEUTRAL NTS NOT TO SCALE OC ON CENTER PL PROPERTY LINE POI POINT OF INTERCONNECTION PV PHOTOVOLTAIC SCH SCHEDULE S STAINLESS STEEL STC STANDARD TESTING CONDITIONS TYP TYPICAL UPS UNINTERRUPTIBLE POWER SUPPLY V VOLT Vmp VOLTAGE AT MAX POWER Voc VOLTAGE AT OPEN CIRCUIT W WATT 3R NEMA 3R, RAIN TIGHT</p>	<p>1. THIS SYSTEM IS GRID-INTERTIED VIA A UL-LISTED POWER-CONDITIONING INVERTER. 2. A NATIONALLY - RECOGNIZED TESTING LABORATORY SHALL LIST ALL EQUIPMENT IN COMPLIANCE WITH ART. 110.3. 3. WHERE ALL TERMINALS OF THE DISCONNECTING MEANS MAY BE ENERGIZED IN THE OPEN POSITION, A SIGN WILL BE PROVIDED WARNING OF THE HAZARDS PER ART. 690.17. 4. EACH UNGROUNDED CONDUCTOR OF THE MULTIWIRED BRANCH CIRCUIT WILL BE IDENTIFIED BY PHASE AND SYSTEM PER ART. 210.5. 5. CIRCUITS OVER 250V TO GROUND SHALL COMPLY WITH ART. 250.97, 250.92(B). 6. DC CONDUCTORS EITHER DO NOT ENTER BUILDING OR ARE RUN IN METALLIC RACEWAYS OR ENCLOSURES TO THE FIRST ACCESSIBLE DC DISCONNECTING MEANS PER ART. 690.31(E). 7. ALL WIRES SHALL BE PROVIDED WITH STRAIN RELIEF AT ALL ENTRY INTO BOXES AS REQUIRED BY UL LISTING. 8. MODULE FRAMES SHALL BE GROUNDED AT THE UL - LISTED LOCATION PROVIDED BY THE MANUFACTURER USING UL LISTED GROUNDING HARDWARE. 9. MODULE FRAMES, RAIL, AND POSTS SHALL BE BONDED WITH EQUIPMENT GROUND CONDUCTORS.</p>	

LICENSE	GENERAL NOTES
<p>HIC #168572 ELEC 22812A</p> <p>MODULE GROUNDING METHOD: ZEP SOLAR</p> <p>AHJ: Barnstable Town/City</p> <p>UTILITY: Eversource Energy - South Shore (NSTAR-Commonwealth Electric)</p>	<p>1. ALL WORK TO BE DONE TO THE 9TH EDITION OF THE MA STATE BUILDING CODE. 2. ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2020 NATIONAL ELECTRIC CODE INCLUDING MASSACHUSETTS AMENDMENTS.</p>



INDEX	
Sheet 1	COVER SHEET
Sheet 2	PROPERTY PLAN
Sheet 3	SITE PLAN
Sheet 4	ELEVATIONS INTERIOR
Sheet 5	ELEVATIONS EXTERIOR
Sheet 6	STRUCTURAL VIEWS
Sheet 7	STRUCTURAL VIEWS
Sheet 9	UPLIFT CALCULATIONS
Sheet 9	THREE LINE DIAGRAM
Sheet 10	THREE LINE DIAGRAM CONT.
Sheet 11	PV RENDER
Sheet 12	PV RENDER
Sheet 13	ESS LOCATION
Cutsheets Attached	
REV	BY DATE COMMENTS
REV B	N COX 7/1/21 Layout change, inverter change
REV C	ACS 9/21/21 System size increased
*	* * *
*	* * *
*	* * *

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JOB NUMBER: JB-0264259 00
MOUNTING SYSTEM: ZS Comp V4 w Flashing-Insert
MODULES: (75) Hanwha Q-CELLS # Q.Peak DUO BLK-G6+ 340
INVERTER: Multiple Inverters

CUSTOMER:
Eubanks, Kenneth
293 Oakmont rd
Cummaquid, MA 02637
5082944769

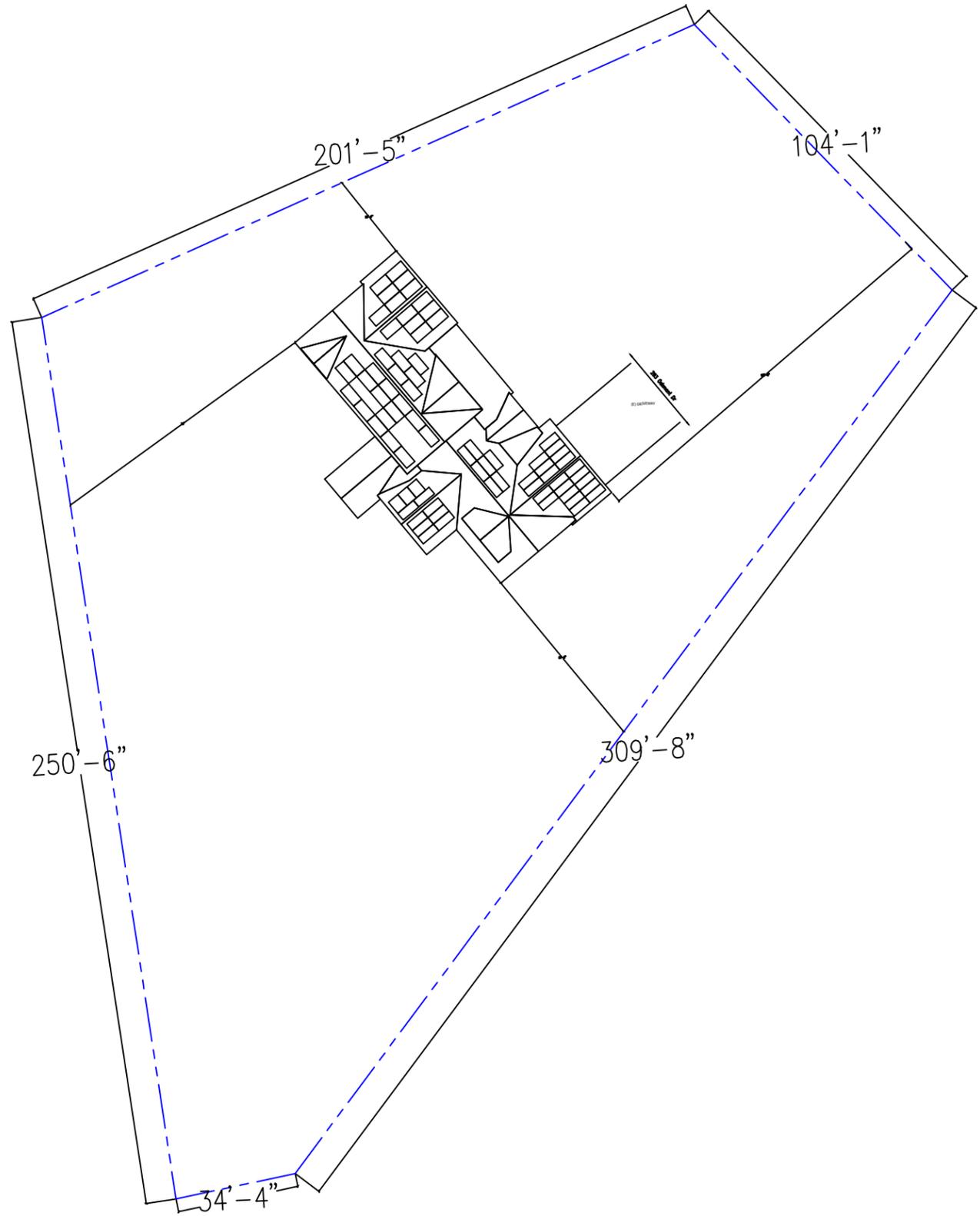
DESCRIPTION:
25.5 KW PV ARRAY
67.5 KWH ENERGY STORAGE SYSTEM

PAGE NAME:
COVER SHEET

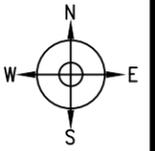
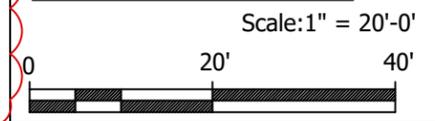
DESIGN:
Aditya Chandrashekhar Sonar

SHEET: 1 REV: C DATE: 9/21/2021





PROPERTY PLAN



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JOB NUMBER: JB-0264259 00

MOUNTING SYSTEM:
ZS Comp V4 w Flashing-Insert

MODULES:
(75) Hanwha Q-CELLS # Q.Peak DUO BLK-G6+ 340

INVERTER:
Multiple Inverters

CUSTOMER:
Eubanks, Kenneth
293 Oakmont rd
Cummaquid, MA 02637

5082944769

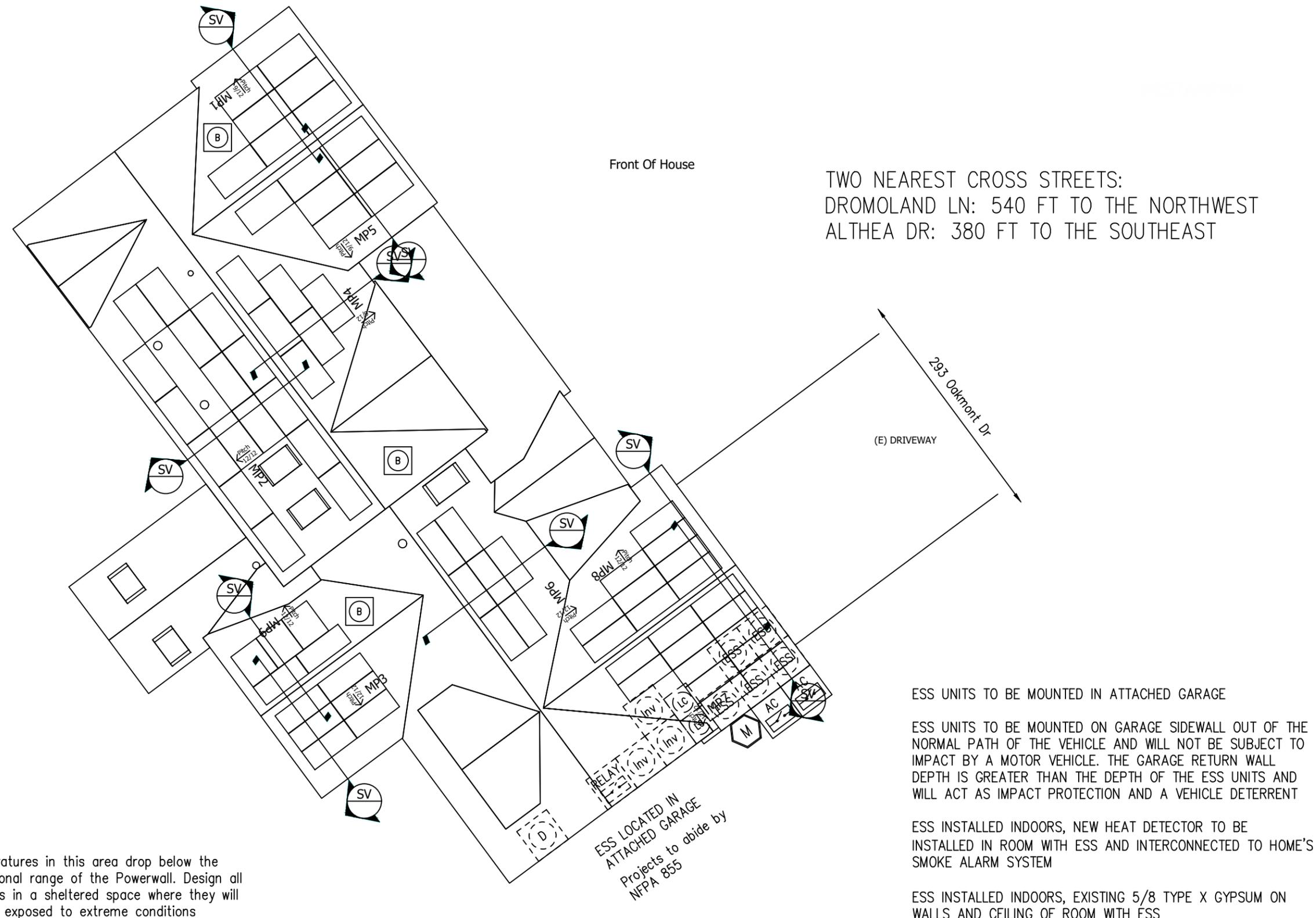
DESCRIPTION:
25.5 KW PV ARRAY
67.5 KWH ENERGY STORAGE SYSTEM

PAGE NAME:
PROPERTY PLAN

DESIGN:
Aditya Chandrashekhar Sonar

SHEET: 2 REV: c DATE: 9/21/2021





TWO NEAREST CROSS STREETS:
 DROMOLAND LN: 540 FT TO THE NORTHWEST
 ALTHEA DR: 380 FT TO THE SOUTHEAST

MP1	PITCH: 38° (9:12) ARRAY PITCH: 38° (9:12) AZIMUTH: 323 ARRAY AZIMUTH: 323 MATERIAL: Comp Shingle STORY: 2 Stories
MP2	PITCH: 45° (12:12) ARRAY PITCH: 45° (12:12) AZIMUTH: 233 ARRAY AZIMUTH: 233 MATERIAL: Comp Shingle STORY: 2 Stories
MP3	PITCH: 45° (12:12) ARRAY PITCH: 45° (12:12) AZIMUTH: 143 ARRAY AZIMUTH: 143 MATERIAL: Comp Shingle STORY: 2 Stories
MP4	PITCH: 25° (6:12) ARRAY PITCH: 25° (6:12) AZIMUTH: 53 ARRAY AZIMUTH: 53 MATERIAL: Comp Shingle STORY: 2 Stories
MP5	PITCH: 38° (9:12) ARRAY PITCH: 38° (9:12) AZIMUTH: 143 ARRAY AZIMUTH: 143 MATERIAL: Comp Shingle STORY: 2 Stories
MP6	PITCH: 45° (12:12) ARRAY PITCH: 45° (12:12) AZIMUTH: 53 ARRAY AZIMUTH: 53 MATERIAL: Comp Shingle STORY: 2 Stories

LEGEND

	(E) UTILITY METER & WARNING LABEL
	INVERTER W/ INTEGRATED DC DISCO & WARNING LABELS
	AUTOMATIC RELAY
	DC DISCONNECT & WARNING LABELS
	AC DISCONNECT & WARNING LABELS
	DC JUNCTION/COMBINER BOX & LABELS
	ENERGY STORAGE SYSTEM FOR STAND ALONE OPERATION
	DISTRIBUTION PANEL & LABELS
	LOAD CENTER & WARNING LABELS
	DEDICATED PV SYSTEM METER
	RAPID SHUTDOWN
	STANDOFF LOCATIONS
	CONDUIT RUN ON EXTERIOR
	CONDUIT RUN ON INTERIOR
	GATE/FENCE
	HEAT PRODUCING VENTS ARE RED
	INTERIOR EQUIPMENT IS DASHED

ESS UNITS TO BE MOUNTED IN ATTACHED GARAGE

ESS UNITS TO BE MOUNTED ON GARAGE SIDEWALL OUT OF THE NORMAL PATH OF THE VEHICLE AND WILL NOT BE SUBJECT TO IMPACT BY A MOTOR VEHICLE. THE GARAGE RETURN WALL DEPTH IS GREATER THAN THE DEPTH OF THE ESS UNITS AND WILL ACT AS IMPACT PROTECTION AND A VEHICLE DETERRENT

ESS INSTALLED INDOORS, NEW HEAT DETECTOR TO BE INSTALLED IN ROOM WITH ESS AND INTERCONNECTED TO HOME'S SMOKE ALARM SYSTEM

ESS INSTALLED INDOORS, EXISTING 5/8 TYPE X GYPSUM ON WALLS AND CEILING OF ROOM WITH ESS

Temperatures in this area drop below the operational range of the Powerwall. Design all systems in a sheltered space where they will not be exposed to extreme conditions

SITE PLAN
 Scale: 1/16" = 1'

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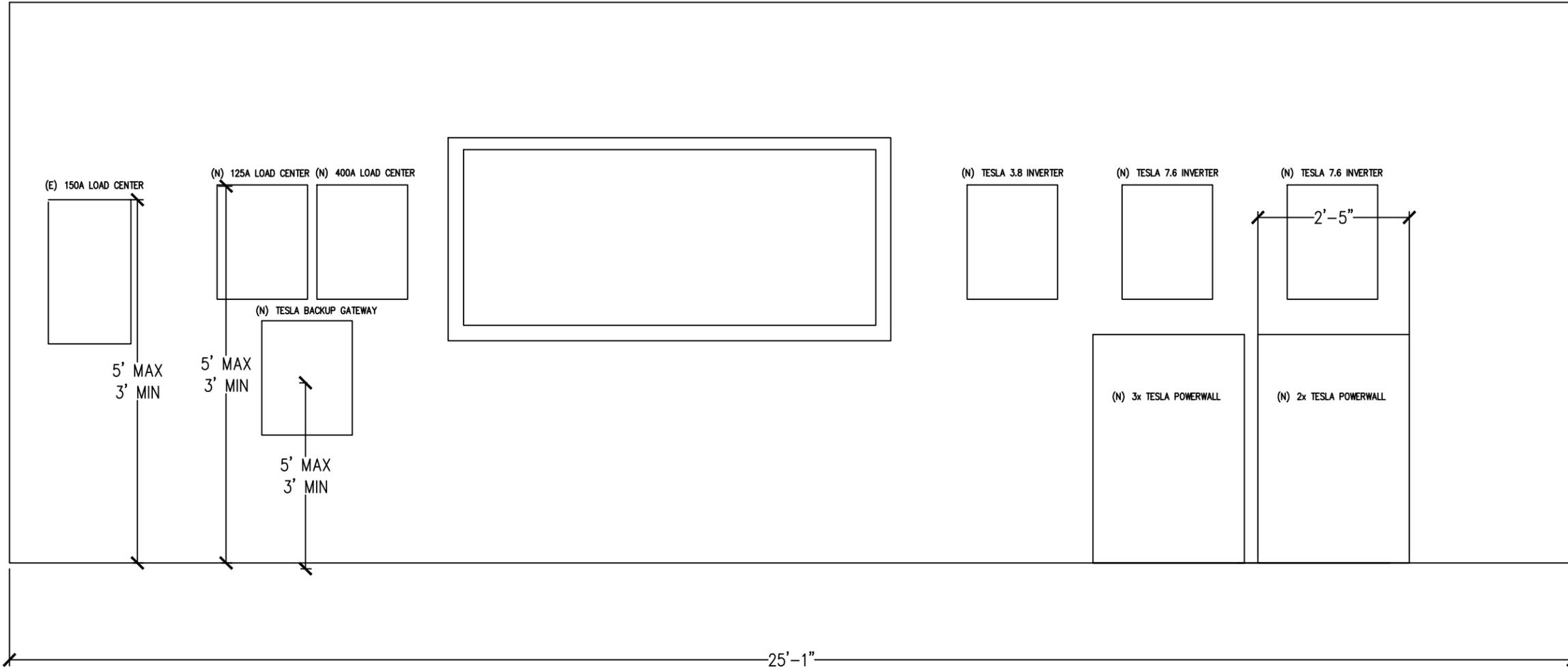
JOB NUMBER: JB-0264259 00
MOUNTING SYSTEM: ZS Comp V4 w Flashing-Insert
MODULES: (75) Hanwha Q-CELLS # Q.Peak DUO BLK-G6+ 340
INVERTER: Multiple Inverters

CUSTOMER: Eubanks, Kenneth 293 Oakmont rd Cummaquid, MA 02637 5082944769

DESCRIPTION: 25.5 KW PV ARRAY 67.5 KWH ENERGY STORAGE SYSTEM
PAGE NAME: SITE PLAN

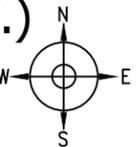
DESIGN: Aditya Chandrashekar Sonar
SHEET: 3
REV: c
DATE: 9/21/2021





ELEVATIONS (INT.)

Scale: 1/12" = 1'



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JOB NUMBER: JB-0264259 00

MOUNTING SYSTEM:
ZS Comp V4 w Flashing-Insert

MODULES:
(75) Hanwha Q-CELLS # Q.Peak DUO BLK-G6+ 340

INVERTER:
Multiple Inverters

CUSTOMER:
Eubanks, Kenneth
293 Oakmont rd
Cummaquid, MA 02637

5082944769

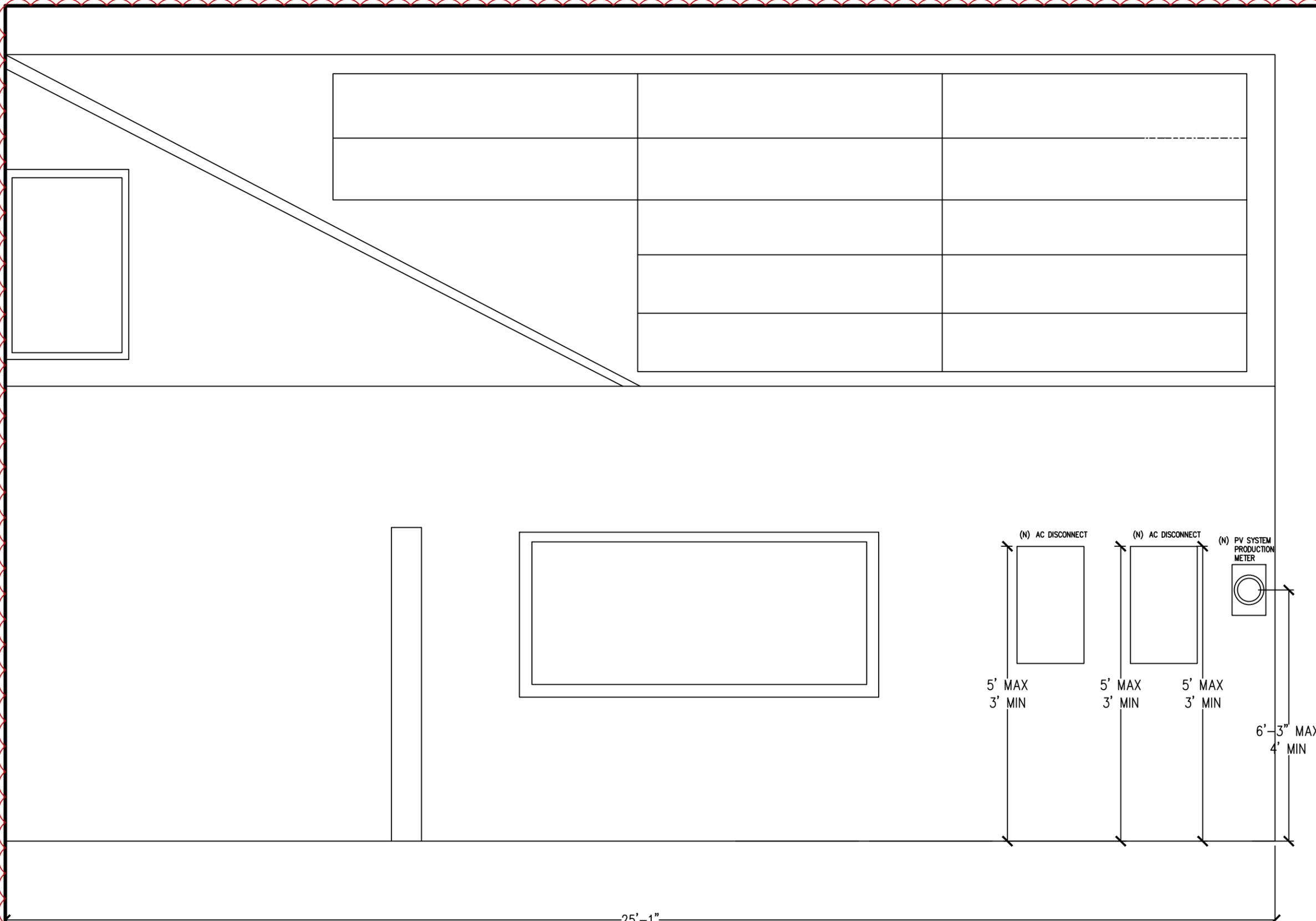
DESCRIPTION:
25.5 KW PV ARRAY
67.5 KWH ENERGY STORAGE SYSTEM C

PAGE NAME:
ELEVATIONS INTERIOR

DESIGN:
Aditya Chandrashekhar Sonar

SHEET: 4 REV: C DATE: 9/21/2021





ELEVATIONS (EXT.)
 Scale: 1/12" = 1'



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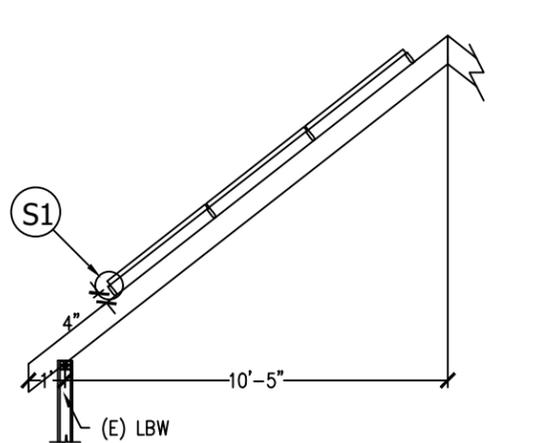
JOB NUMBER: JB-0264259 00
 MOUNTING SYSTEM:
 ZS Comp V4 w Flashing-Insert
 MODULES:
 (75) Hanwha Q-CELLS # Q.Peak DUO BLK-G6+ 340
 INVERTER:
 Multiple Inverters

CUSTOMER:
 Eubanks, Kenneth
 293 Oakmont rd
 Cummaquid, MA 02637
 5082944769

DESCRIPTION:
 25.5 KW PV ARRAY
 67.5 KWH ENERGY STORAGE SYSTEM 
 PAGE NAME:
 ELEVATIONS EXTERIOR

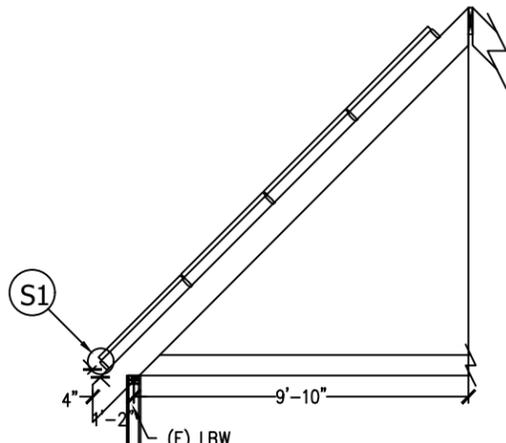
DESIGN:
 Aditya Chandrashekhar Sonar
 SHEET: 5 REV: DATE:
 c 9/21/2021





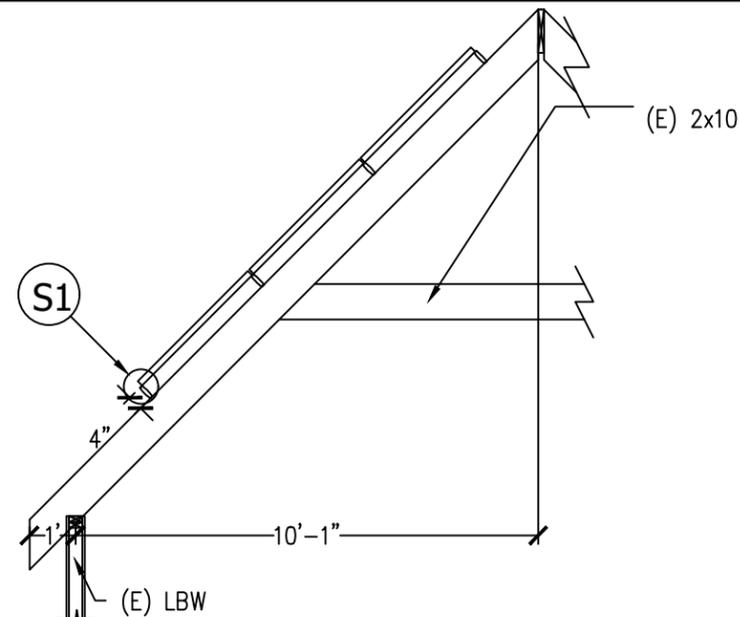
SV SIDE VIEW OF MP1 NTS

MP1	ROOF AZI 323 PITCH 38	STORIES: 2
RAFTER 2x8 @ 16" OC	ARRAY AZI 323 PITCH 38	
	Comp Shingle	



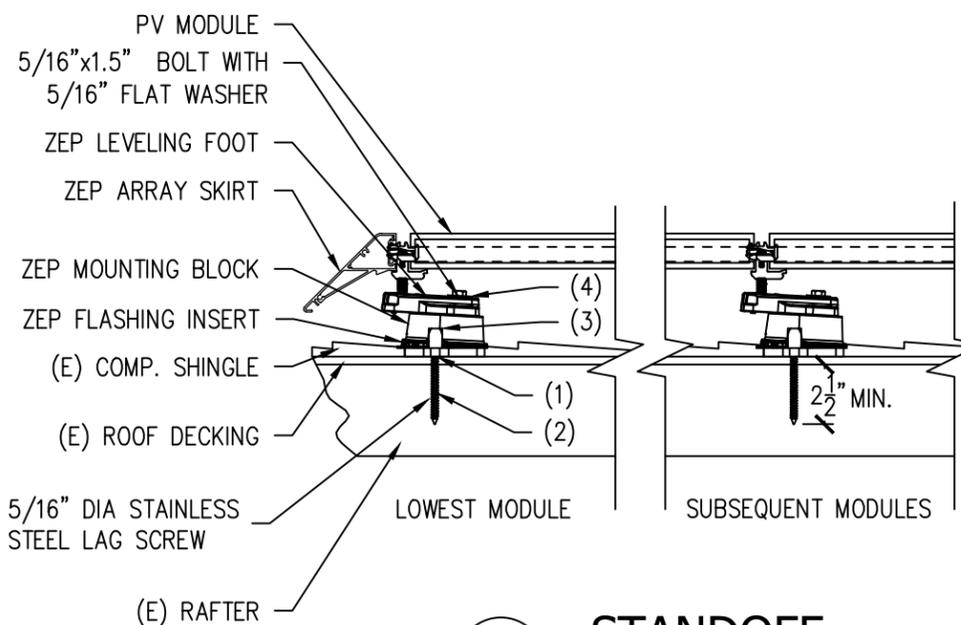
SV SIDE VIEW OF MP2 NTS

MP2	ROOF AZI 233 PITCH 45	STORIES: 2
RAFTER 2x10 @ 16" OC	ARRAY AZI 233 PITCH 45	
C.J. 2x8 @ 16" OC	Comp Shingle	



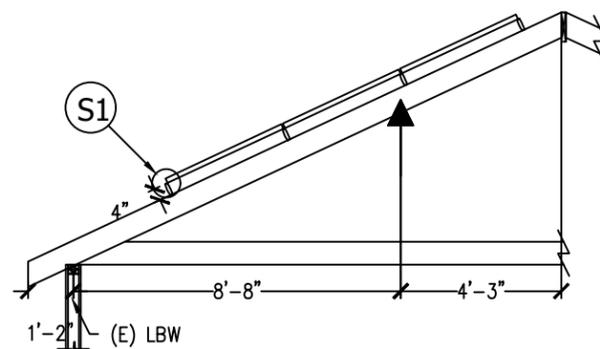
SV SIDE VIEW OF MP3 NTS

MP3	ROOF AZI 143 PITCH 45	STORIES: 2
RAFTER 2x10 @ 16" OC	ARRAY AZI 143 PITCH 45	
	Comp Shingle	



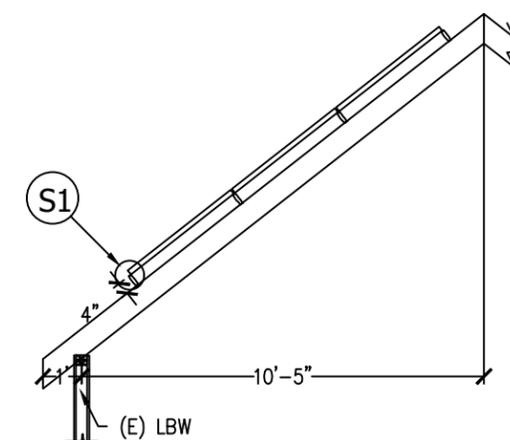
- INSTALLATION ORDER**
- (1) LOCATE RAFTER, MARK HOLE LOCATION, AND DRILL PILOT HOLE.
 - (2) ATTACH FLASHING INSERT TO MOUNTING BLOCK AND ATTACH TO RAFTER USING LAG SCREW.
 - (3) INJECT SEALANT INTO FLASHING INSERT PORT, WHICH SPREADS SEALANT EVENLY OVER THE ROOF PENETRATION.
 - (4) INSTALL LEVELING FOOT ON TOP OF MOUNTING BLOCK & SECURELY FASTEN WITH BOLT.

S1 STANDOFF
Scale: 1 1/2" = 1'



SV SIDE VIEW OF MP4 NTS

MP4	ROOF AZI 53 PITCH 25	STORIES: 2
RAFTER 2x8 @ 16" OC	ARRAY AZI 53 PITCH 25	
C.J. 2x8 @ 16" OC	Comp Shingle	



SV SIDE VIEW OF MP5 NTS

MP5	ROOF AZI 143 PITCH 38	STORIES: 2
RAFTER 2x8 @ 16" OC	ARRAY AZI 143 PITCH 38	
	Comp Shingle	

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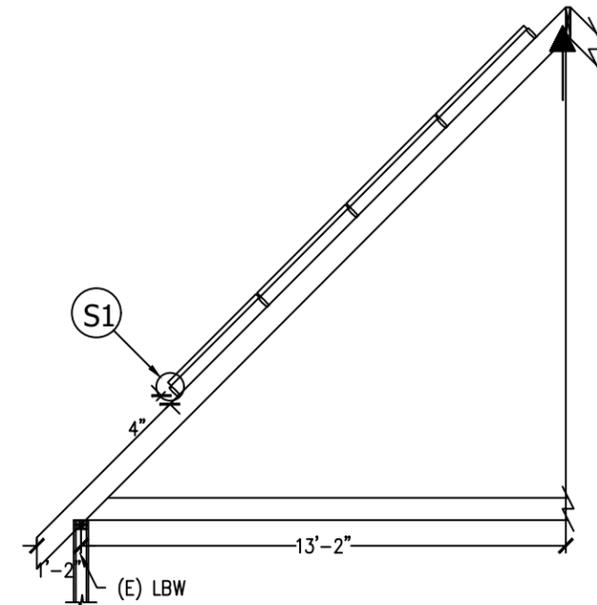
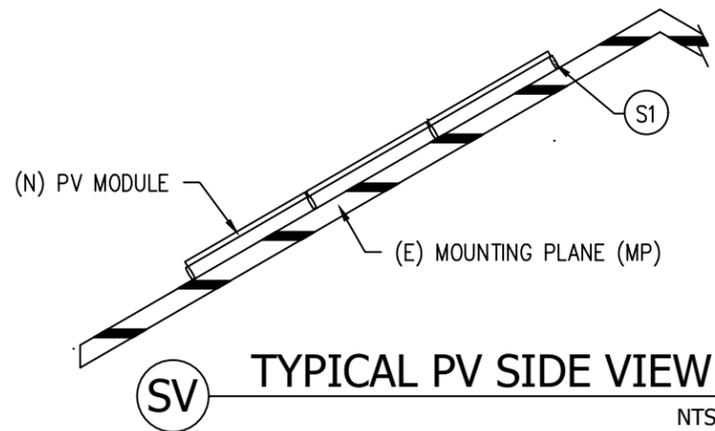
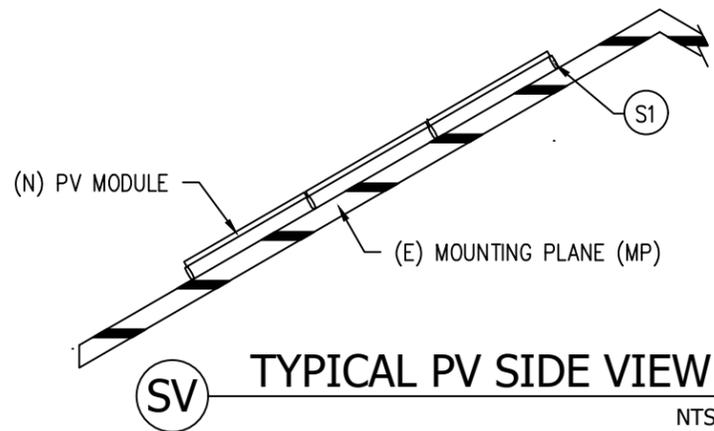
JOB NUMBER: JB-0264259 00
 MOUNTING SYSTEM: ZS Comp V4 w Flashing-Insert
 MODULES: (75) Hanwha Q-CELLS # Q.Peak DUO BLK-G6+ 340
 INVERTER: Multiple Inverters

CUSTOMER: Eubanks, Kenneth
 293 Oakmont rd
 Cummaquid, MA 02637
 5082944769

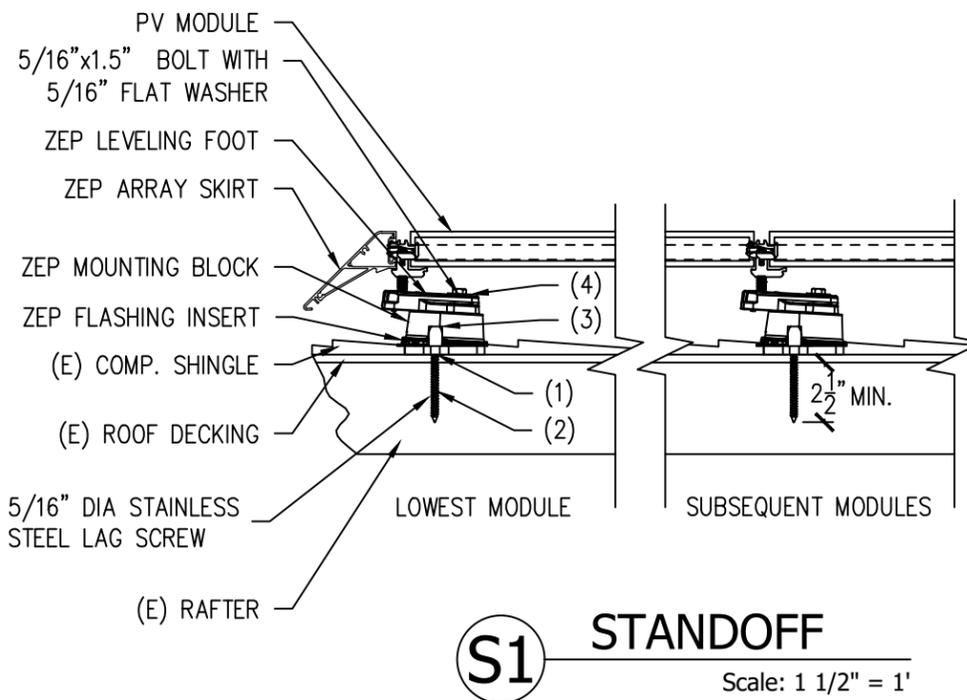
DESCRIPTION: 25.5 KW PV ARRAY
 67.5 KWH ENERGY STORAGE SYSTEM
 PAGE NAME: STRUCTURAL VIEWS

DESIGN: Aditya Chandrashekar Sonar
 SHEET: 6 REV: DATE: c 9/21/2021

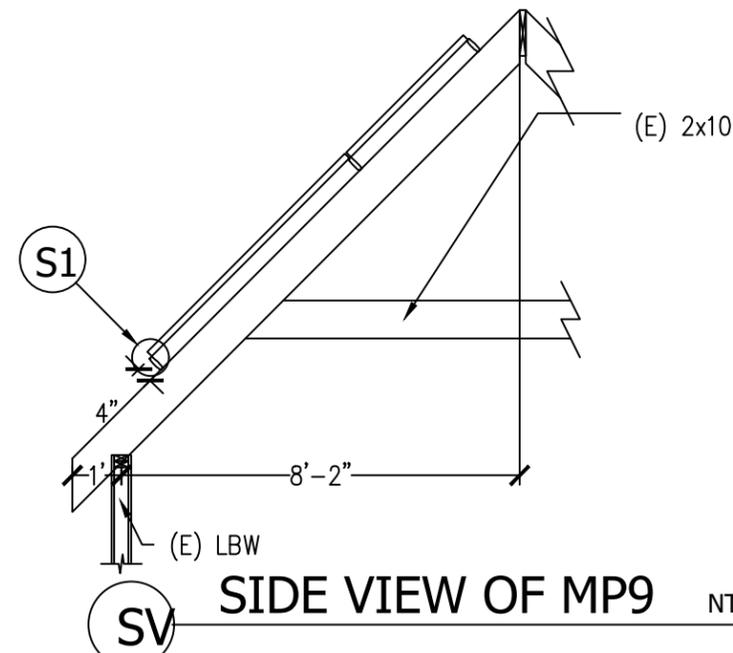




MP8		ROOF AZI 323	PITCH 45	STORIES: 2
RAFTER	2x8 @ 16" OC	ARRAY AZI 323	PITCH 45	
C.J.	2x8 @ 16" OC	Comp Shingle		



- INSTALLATION ORDER**
- (1) LOCATE RAFTER, MARK HOLE LOCATION, AND DRILL PILOT HOLE.
 - (2) ATTACH FLASHING INSERT TO MOUNTING BLOCK AND ATTACH TO RAFTER USING LAG SCREW.
 - (3) INJECT SEALANT INTO FLASHING INSERT PORT, WHICH SPREADS SEALANT EVENLY OVER THE ROOF PENETRATION.
 - (4) INSTALL LEVELING FOOT ON TOP OF MOUNTING BLOCK & SECURELY FASTEN WITH BOLT.



MP9		ROOF AZI 323	PITCH 45	STORIES: 2
RAFTER	2x10 @ 16" OC	ARRAY AZI 323	PITCH 45	
Comp Shingle				

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JOB NUMBER: JB-0264259 00
 MOUNTING SYSTEM: ZS Comp V4 w Flashing-Insert
 MODULES: (75) Hanwha Q-CELLS # Q.Peak DUO BLK-G6+ 340
 INVERTER: Multiple Inverters

CUSTOMER: Eubanks, Kenneth
 293 Oakmont rd
 Cummaquid, MA 02637
 5082944769

DESCRIPTION: 25.5 KW PV ARRAY
 67.5 KWH ENERGY STORAGE SYSTEM
 PAGE NAME: STRUCTURAL VIEWS

DESIGN: Aditya Chandrashekar Sonar
 SHEET: 7 REV: DATE: c 9/21/2021



Jobsite Specific Design Criteria			
Design Code		ASCE 7-10	
Risk Category		II	Table 1.5-1
Ultimate Wind Speed	V-Ult	140	Fig. 1609A
Exposure Category		C	Section 26.7
Ground Snow Load	pg	30	Table 7-1
Edge Zone Width	a	8.7 ft	Fig. 30.4-2A to 30.4-2C

MP Specific Design Information									
MP Name	MP1	MP2	MP3	MP4	MP5	MP6	MP7	MP8	MP9
Roofing	Comp Shingle								
Standoff	ZS Comp V4 w Flashing-Insert								
Pitch	38	45	45	25	38	45	45	45	45
SL/RLL: PV	13.3	10.4	10.4	18.8	13.3	10.4	10.4	10.4	10.4
SL/RLL: Non-PV	24.6	19.2	19.2	25.0	24.6	19.2	19.2	19.2	19.2

Standoff Spacing and Layout									
MP Name	MP1	MP2	MP3	MP4	MP5	MP6	MP7	MP8	MP9
Landscape X-Spacing	64	64	64	64	64	64	64	64	64
Landscape X-Cantilever	24	24	24	24	24	24	24	24	24
Landscape Y-Spacing	41	41	41	41	41	41	41	41	41
Landscape Y-Cantilever	-	-	-	-	-	-	-	-	-
Portrait X-Spacing	32	32	32	48	32	32	32	32	32
Portrait X-Cantilever	15	15	15	16	15	15	15	15	15
Portrait Y-Spacing	69	69	69	69	69	69	69	69	69
Portrait Y-Cantilever	-	-	-	-	-	-	-	-	-
Layout	Staggered								

X and Y are maximums that are always relative to the structure framing that supports the PV. X is across rafters and Y is along rafters.

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MOUNTING SYSTEM:
ZS Comp V4 w Flashing-Insert
MODULES:
(75) Hanwha Q-CELLS # Q.Peak DUO BLK-G6+ 340
INVERTER:
Multiple Inverters

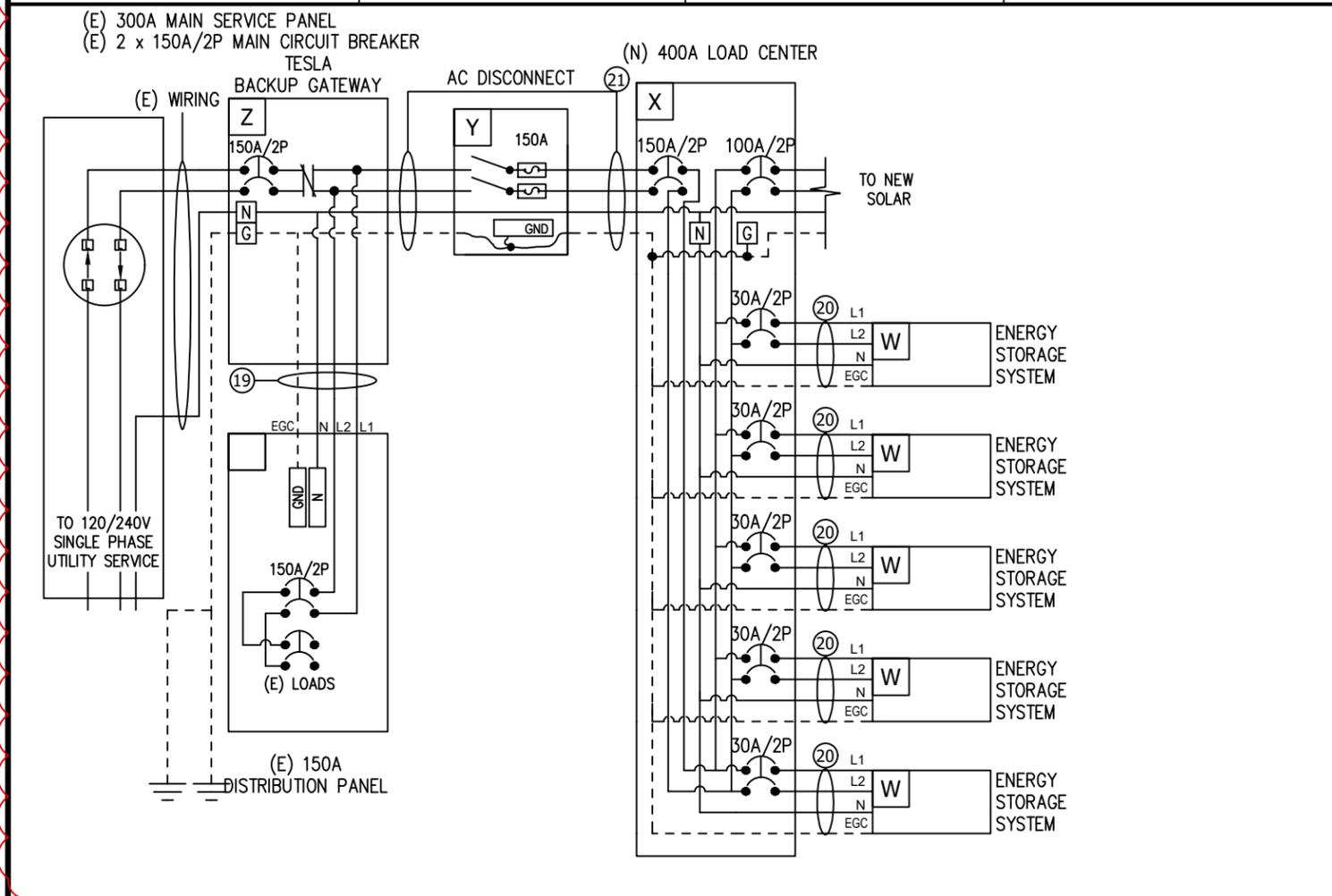
CUSTOMER:
Eubanks, Kenneth
293 Oakmont rd
Cummaquid, MA 02637
5082944769

DESCRIPTION:
25.5 KW PV ARRAY
67.5 KWH ENERGY STORAGE SYSTEM
PAGE NAME:
UPLIFT CALCULATIONS

DESIGN:
Aditya Chandrashekar Sonar
SHEET: 8 REV: c DATE: 9/21/2021



GROUND SPECS BOND (N) AWG #6 TO (N) DOUBLE GROUND ROD AT PANEL WITH IRREVERSIBLE CRIMP	MAIN PANEL SPECS Panel Number: Meter Number: 7117301 Underground Service Entrance	GENERAL NOTES *			LICENSE HIC #168572 ELEC 22812A
--	---	---------------------------	--	--	--



POI	(2) Ground Rod 5/8" x 8', Copper		
Z	(1) Tesla # 1232100-00-E Back-up Gateway 2.0 NA for AC PW 2.0 (1) Eaton # CSR2150N Breaker, 150A, 2P, 120/240V, 25 kAIC, Type CSR	19 (3) AWG #1/0, THWN-2, Black (1) AWG #6, THWN-2, Green EGC (1) Conduit 2" PVC; Schedule 80	AC
Y	(1) CUTLER-HAMMER #DS16FK Class R Fuse Kit (2) FERRAZ SHAWMUT # TR150R Fuse; 150A, 250V, Class RK5 (1) CUTLER-HAMMER # DG200NK Ground/Neutral Kit; 200A General, Heavy Duty (DG, DH), NEMA 1, 3R (1) CUTLER-HAMMER # DG224NRK Disconnect; 200A, 240Vac, Fusible, NEMA 3R	20 (1) AWG #10, THWN-2, Black (1) AWG #10, THWN-2, Red (1) AWG #10, THWN-2, White (1) AWG #10, THWN-2, Green (3) AWG #1/0, THWN-2, Black - (1) Conduit Kit; 1" EMT	
X	(1) EATON # BR4242L400R Load Center; 400A, 120/240V, NEMA 3R (1) CUTLER-HAMMER # BR2100 Breaker; 100A/2P, 2 Spaces (5) CUTLER-HAMMER # BR230 Breaker; 30A/2P, 2 Spaces (1) SQUARE D #HOM4RK2LA Retaining Kit; 150A-225A Convertible LCs, Series S01 & S02	21 (1) AWG #6, THWN-2, Green EGC (1) Conduit 2" PVC; Schedule 80	
W	(5) 3012170-05-B ASY, AC POWERWALL 2.1, 5KW, 13.5KWH, M48		

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---	--	--	--	--	--

GENERAL NOTES

Inv 1: DC Ungrounded
 Inv 2: DC Ungrounded
 Inv 3: DC Ungrounded

INVERTER SPECS

- INV 1 - (1) 7.6 kW Tesla Inc 1538000-00-E (240V)
- INV 2 - (1) 7.6 kW Tesla Inc 1538000-00-E (240V)
- INV 3 - (1) 3.8 kW Tesla Inc 1534000-00-E (240V)

MODULE SPECS

- (75) Hanwha Q-CELLS # Q.Peak DUO BLK-G6+ 340
 PV Module; 340W, 318.1 PTC, 40MM, Black Fr, MC4, ZEP, 1000V
 Voc: 40.66 Vpmax: 33.94
 Isc AND Imp ARE SHOWN IN THE DC STRINGS IDENTIFIER

LICENSE

HIC #168572
 ELEC 22812A

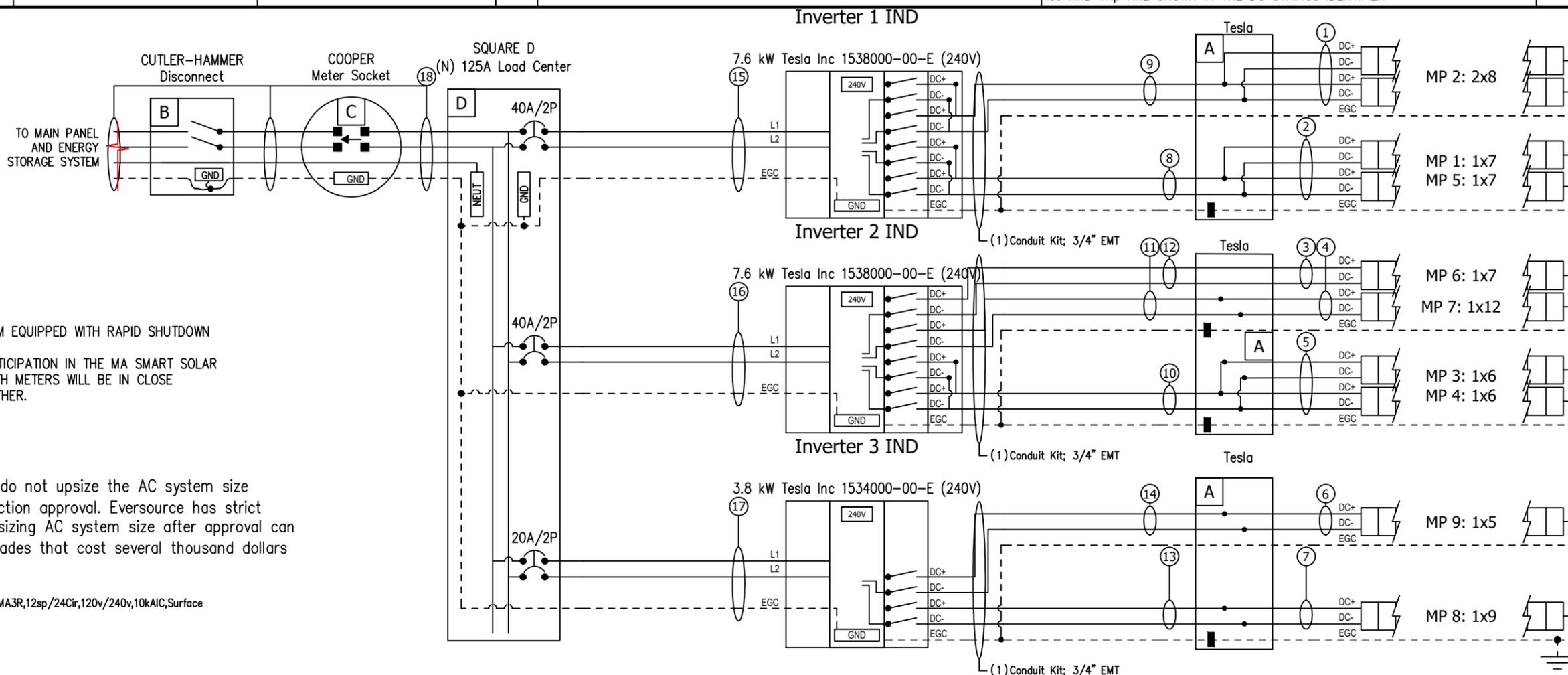


PHOTO VOLTAIC SYSTEM EQUIPPED WITH RAPID SHUTDOWN
 PV METER IS FOR PARTICIPATION IN THE MA SMART SOLAR
 REBATE PROGRAM. BOTH METERS WILL BE IN CLOSE
 PROXIMITY OF EACH OTHER.

For any DCT/post-design swaps do not upsize the AC system size
 (inverter size) without interconnection approval. Eversource has strict
 transformer requirements and up-sizing AC system size after approval can
 result in delays/transformer upgrades that cost several thousand dollars

- D** (1) SQUARE D #HOM1224L125PRB Load Center; 125A, Convertible, NEMA 3R, 12sp/24Cir, 120v/240v, 10kAIC, Surface
 (2) SQUARE D #HOM240 Breaker; 40A/2P, 2 Spaces
 (1) SQUARE D #HOM220 Breaker; 20A/2P, 2 Spaces
 Voc* = MAX VOC AT MIN TEMP

- B** (1) CUTLER-HAMMER # DG323URB Disconnect; 100A, 240Vac, Non-Fusible, NEMA 3R
 (1) CUTLER-HAMMER # DG100NB Ground/Neutral Kit; 60-100A, General Duty (DG)
- C** (1) COOPER # B-Line Meter Socket 011 Meter Socket; 125A, 4-14AWG, Ring Type
 (1) AW CAP; B-Line Meter Socket Accessory
- 18** (1) AWG #3, THWN-2, Black
 (1) AWG #3, THWN-2, Red
 (1) AWG #8, THWN-2, Green EGC Vmp = 240 VAC Imp=80 AAC
 (1) AWG #3, THWN-2, White NEUTRAL (1) Conduit Kit; 1" EMT
- 15** (1) AWG #8, THWN-2, Black
 (1) AWG #8, THWN-2, Red
 (1) AWG #8, THWN-2, Green EGC Vmp = 240 VAC Imp=32 AAC
 (1) Conduit Kit; 3/4" EMT
- 16** (1) AWG #8, THWN-2, Black
 (1) AWG #8, THWN-2, Red
 (1) AWG #10, THWN-2, Green EGC Vmp = 240 VAC Imp=32 AAC
 (1) Conduit Kit; 3/4" EMT
- 17** (1) AWG #10, THWN-2, Black
 (1) AWG #10, THWN-2, Red
 (1) AWG #8, THWN-2, Green EGC Vmp = 240 VAC Imp=16 AAC
 (1) Conduit Kit; 3/4" EMT

- 8** (1) AWG #8, THWN-2, Black Voc* = 321.51 VDC Isc = 21.04 ADC
 (1) AWG #8, THWN-2, Red Vmp = 237.58VDC Imp= 20.04 ADC
 (1) AWG #10, THHN/THWN-2, Green EGC (1) Conduit Kit; 3/4" EMT
- 9** (1) AWG #8, THWN-2, Black Voc* = 367.44VDC Isc = 21.04 ADC
 (1) AWG #8, THWN-2, Red Vmp = 271.52 VDC Imp= 20.04 ADC
 (1) AWG #10, THHN/THWN-2, Green EGC (1) Conduit Kit; 3/4" EMT
- 10** (1) AWG #8, THWN-2, Black Voc* = 275.58VDC Isc = 21.04 ADC
 (1) AWG #8, THWN-2, Red Vmp = 203.64VDC Imp= 20.04 ADC
 (1) AWG #10, THHN/THWN-2, Green EGC (1) Conduit Kit; 3/4" EMT
- 11** (1) AWG #10, THWN-2, Black Voc* = 551.15 VDC Isc = 10.52 ADC
 (1) AWG #10, THWN-2, Red Vmp = 407.28VDC Imp= 10.02 ADC
 (1) AWG #10, THHN/THWN-2, Green EGC (1) Conduit Kit; 3/4" EMT
- 12** (1) AWG #10, THWN-2, Black Voc* = 321.51 VDC Isc = 10.52 ADC
 (1) AWG #10, THWN-2, Red Vmp = 237.58VDC Imp= 10.02 ADC
 (1) AWG #10, THHN/THWN-2, Green EGC (1) Conduit Kit; 3/4" EMT
- 13** (1) AWG #10, THWN-2, Black Voc* = 413.37 VDC Isc = 10.52 ADC
 (1) AWG #10, THWN-2, Red Vmp = 305.46VDC Imp= 10.02 ADC
 (1) AWG #10, THHN/THWN-2, Green EGC (1) Conduit Kit; 3/4" EMT
- 14** (1) AWG #10, THWN-2, Black Voc* = 229.65VDC Isc = 10.52 ADC
 (1) AWG #10, THWN-2, Red Vmp = 169.7 VDC Imp= 10.02 ADC
 (1) AWG #10, THHN/THWN-2, Green EGC (1) Conduit Kit; 3/4" EMT
- 4** (2) PV Wire, AWG 10, Black Voc* = 551.15 VDC Isc = 10.52 ADC
 (1) AWG #6, Solid Bare Copper EGC Vmp = 407.28VDC Imp= 10.02 ADC
- 5** (4) PV Wire, AWG 10, Black Voc* = 275.58VDC Isc = 10.52 ADC
 (1) AWG #6, Solid Bare Copper EGC Vmp = 203.64VDC Imp= 10.02 ADC
- 6** (2) PV Wire, AWG 10, Black Voc* = 229.65VDC Isc = 10.52 ADC
 (1) AWG #6, Solid Bare Copper EGC Vmp = 169.7 VDC Imp= 10.02 ADC
- 7** (2) PV Wire, AWG 10, Black Voc* = 413.37 VDC Isc = 10.52 ADC
 (1) AWG #6, Solid Bare Copper EGC Vmp = 305.46VDC Imp= 10.02 ADC

- GD** Please see MCI wiring detail page for more information
- A** (3) Tesla # 4J; 4 STRING JUNCTION BOX UNFUSED, GROUNDED, Black - Diag DIN Rail
- PV** (28) 1550379-00-D MCI, TESLA, 600V, 13A
- Gnd** (1) AWG #6, Solid Bare Copper
 (1) Ground Rod; 5/8" x 8', Copper
- (N) ARRAY GROUND PER 690.47(D). NOTE: PER EXCEPTION NO. 2, ADDITIONAL ELECTRODE MAY NOT BE REQUIRED DEPENDING ON LOCATION OF (E) ELECTRODE
- 1** (4) PV Wire, AWG 10, Black Voc* = 367.44VDC Isc = 10.52 ADC
 (1) AWG #6, Solid Bare Copper EGC Vmp = 271.52 VDC Imp= 10.02 ADC
- 2** (4) PV Wire, AWG 10, Black Voc* = 321.51 VDC Isc = 10.52 ADC
 (1) AWG #6, Solid Bare Copper EGC Vmp = 237.58VDC Imp= 10.02 ADC
- 3** (2) PV Wire, AWG 10, Black Voc* = 321.51 VDC Isc = 10.52 ADC
 (1) AWG #6, Solid Bare Copper EGC Vmp = 237.58VDC Imp= 10.02 ADC

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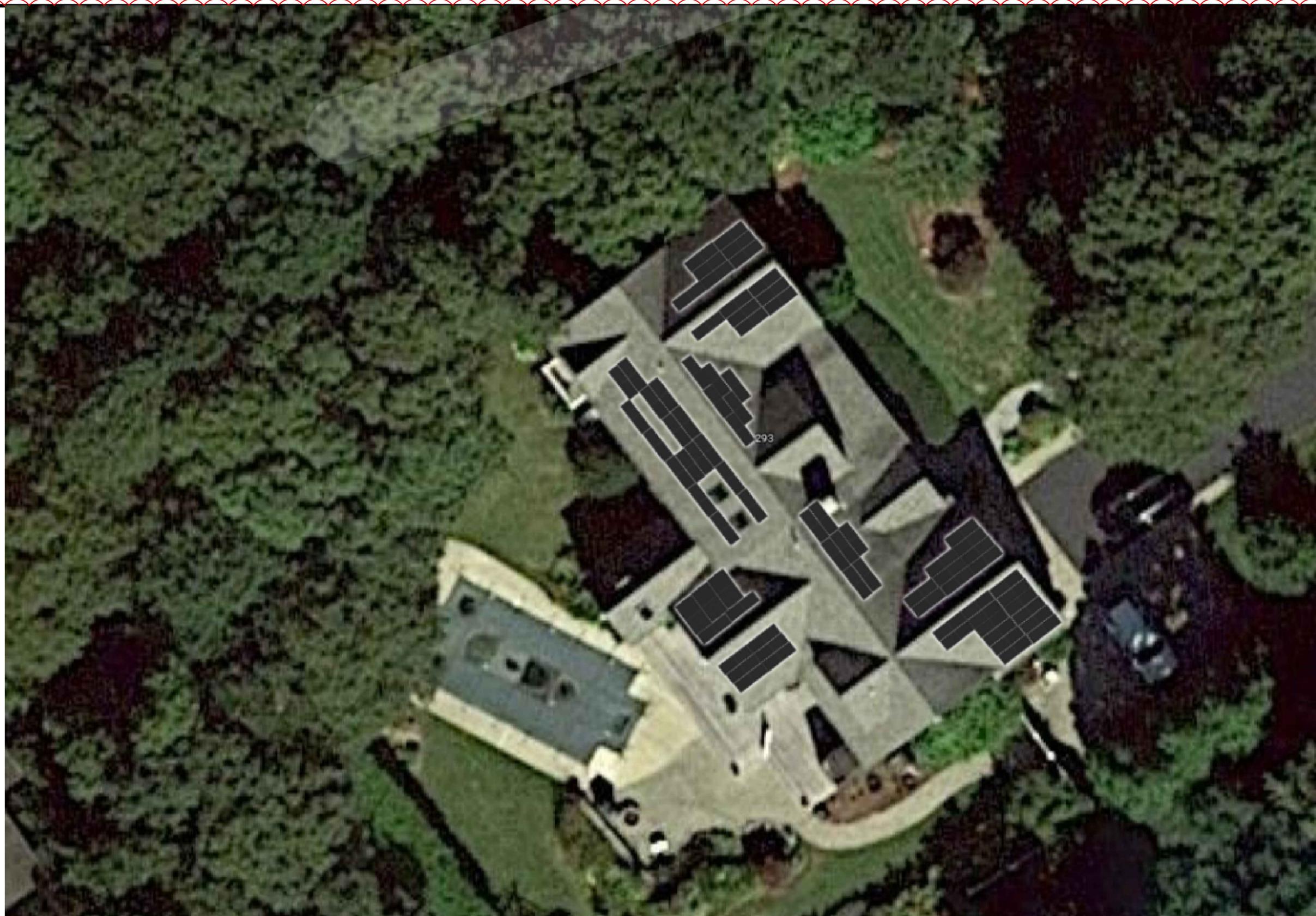
JOB NUMBER: JB-0264259 00
 MOUNTING SYSTEM: ZS Comp V4 w Flashing-Insert
 MODULES: (75) Hanwha Q-CELLS # Q.Peak DUO BLK-G6+ 340
 INVERTER: Multiple Inverters

CUSTOMER: Eubanks, Kenneth
 293 Oakmont rd
 Cummaquid, MA 02637
 5082944769

DESCRIPTION: 25.5 KW PV ARRAY
 67.5 KWH ENERGY STORAGE SYSTEM
 PAGE NAME: THREE LINE DIAGRAM CONT.

DESIGN: Aditya Chandrashekar Sonar
 SHEET: 10 REV: DATE: c 9/21/2021





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JOB NUMBER: JB-0264259 00

MOUNTING SYSTEM:
ZS Comp V4 w Flashing-Insert

MODULES:
(75) Hanwha Q-CELLS # Q.Peak DUO BLK-G6+ 340

INVERTER:
Multiple Inverters

CUSTOMER:
Eubanks, Kenneth
293 Oakmont rd
Cummaquid, MA 02637

5082944769

DESCRIPTION:
25.5 KW PV ARRAY
67.5 KWH ENERGY STORAGE SYSTEM c

PAGE NAME:
PV RENDER

DESIGN:
Aditya Chandrashekhar Sonar

SHEET: 11 REV: c DATE: 9/21/2021

TESLA

VIEW FROM THE SOUTH-EAST



VIEW FROM THE SOUTH-WEST



VIEW FROM THE SOUTH



NO PV MODULES VISIBLE FROM THE STREETS
DUE TO TREE COVERAGE ON ALL SIDES OF THE HOUSE

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JOB NUMBER: JB-0264259 00

MOUNTING SYSTEM:
ZS Comp V4 w Flashing-Insert

MODULES:
(75) Hanwha Q-CELLS # Q.Peak DUO BLK-G6+ 340

INVERTER:
Multiple Inverters

CUSTOMER:
Eubanks, Kenneth
293 Oakmont rd
Cummaquid, MA 02637

5082944769

DESCRIPTION:
25.5 KW PV ARRAY
67.5 KWH ENERGY STORAGE SYSTEM

PAGE NAME:
PV RENDER

DESIGN:
Aditya Chandrashekar Sonar

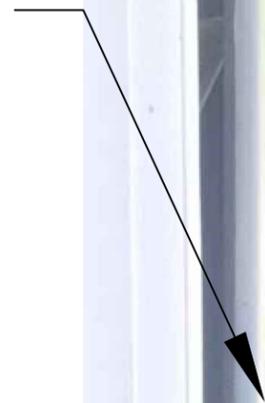
SHEET: 12 REV: c DATE: 9/21/2021

TESLA



CUSTOMER WILL BE CLEARING STORAGE INSIDE THE GARAGE FOR ESS INSTALLATION

ESS LOCATION



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JOB NUMBER: JB-0264259 00

MOUNTING SYSTEM:
ZS Comp V4 w Flashing-Insert

MODULES:
(75) Hanwha Q-CELLS # Q.Peak DUO BLK-G6+ 340

INVERTER:
Multiple Inverters

CUSTOMER:
Eubanks, Kenneth
293 Oakmont rd
Cummaquid, MA 02637

5082944769

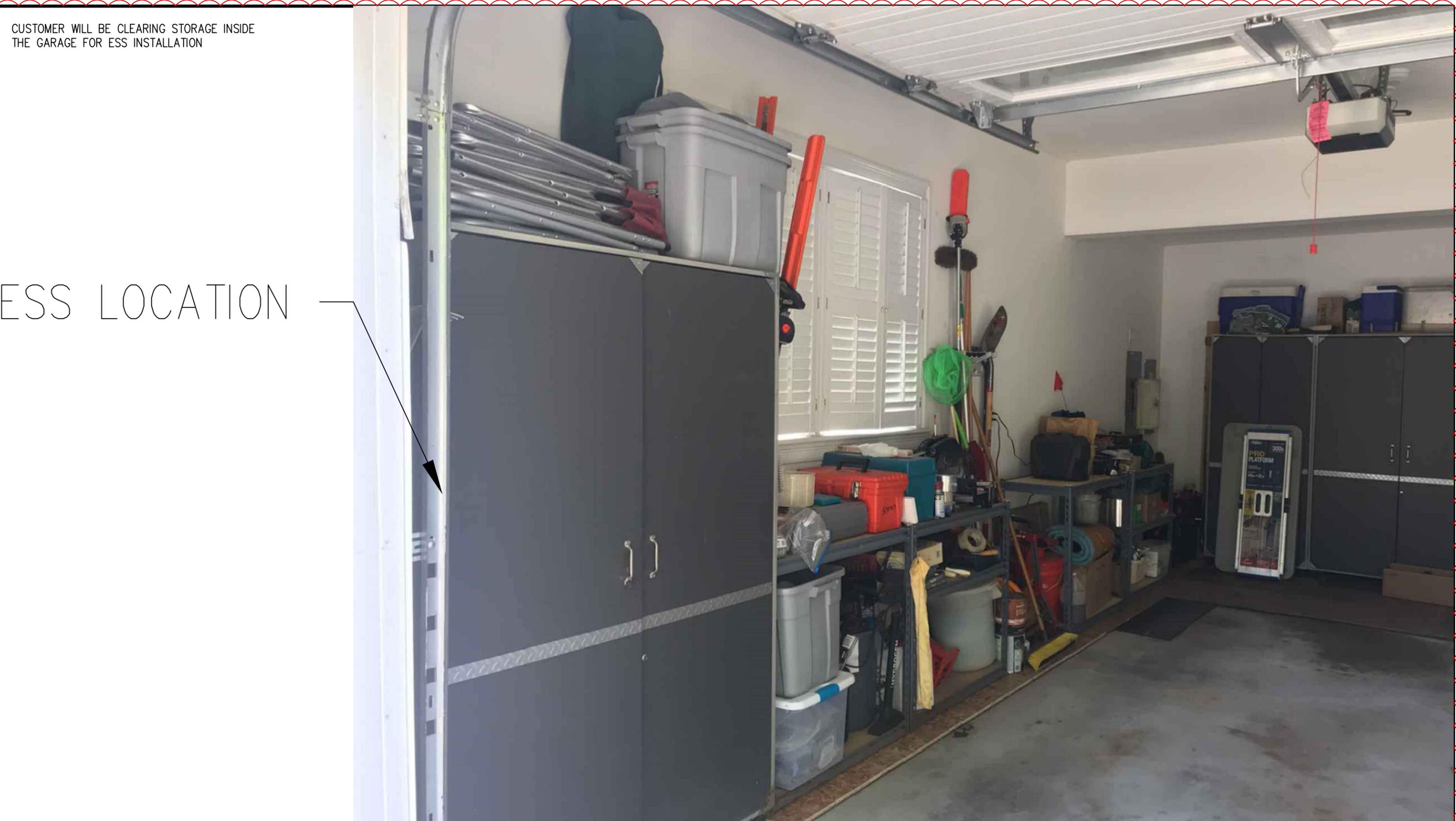
DESCRIPTION:
25.5 KW PV ARRAY
67.5 KWH ENERGY STORAGE SYSTEM

PAGE NAME:
ESS LOCATION PHOTOS

DESIGN:
Aditya Chandrashekhar Sonar

SHEET: 13 REV: c DATE: 9/21/2021

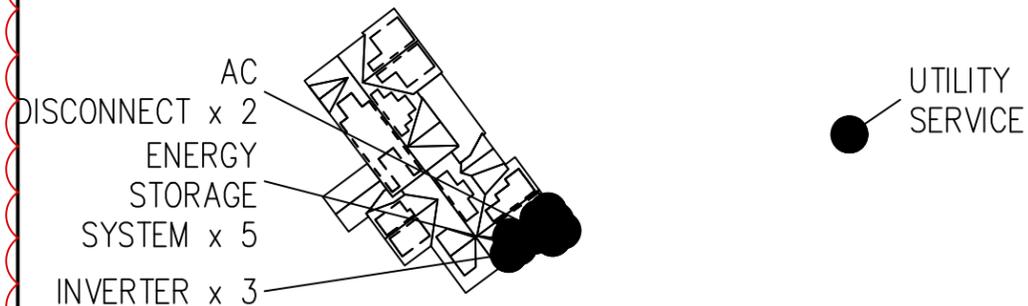
TESLA



SOLAR PV SYSTEM EQUIPPED WITH RAPID SHUTDOWN

TURN RAPID SHUTDOWN SWITCH TO THE "OFF"
POSITION TO SHUT DOWN PV SYSTEM AND REDUCE
SHOCK HAZARD IN THE ARRAY

- Address: 293 Oakmont rd



OPERATING VOLTAGE = 240V

JB-0264259-00



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JOB NUMBER: JB-0264259 00

MOUNTING SYSTEM:
ZS Comp V4 w Flashing-Insert

MODULES:
(75) Hanwha Q-CELLS # Q.Peak DUO BLK-G6+ 340

INVERTER:
Multiple Inverters

CUSTOMER:
Eubanks, Kenneth
293 Oakmont rd
Cummaquid, MA 02637

5082944769

DESCRIPTION:
25.5 KW PV ARRAY
67.5 KWH ENERGY STORAGE SYSTEM

PAGE NAME:
SITE PLAN PLACARD

DESIGN:
Aditya Chandrashekhhar Sonar

SHEET: 14 REV: c DATE: 9/21/2021

TESLA

WARNING: PHOTOVOLTAIC POWER SOURCE

Label Location:
(C)(CB)(JB)
Per Code:
NEC 690.31.G.3

PHOTOVOLTAIC DC
DISCONNECT

Label Location:
(DC) (INV)
Per Code:
NEC 690.13.B

WARNING

ELECTRIC SHOCK HAZARD
DO NOT TOUCH TERMINALS
TERMINALS ON BOTH LINE AND
LOAD SIDES MAY BE ENERGIZED
IN THE OPEN POSITION

Label Location:
(AC)(POI)
Per Code:
NEC 690.13.B

WARNING

ELECTRIC SHOCK HAZARD
THE DC CONDUCTORS OF THIS
PHOTOVOLTAIC SYSTEM ARE
UNGROUNDDED AND
MAY BE ENERGIZED

Label Location:
(DC) (INV)

MAXIMUM VOLTAGE
MAXIMUM CIRCUIT CURRENT
MAX RATED OUTPUT CURRENT
OF THE CHARGE CONTROLLER
OR DC-TO-DC CONVERTER
(IF INSTALLED)

Label Location:
(DC) (INV)
Per Code:
NEC 690.53

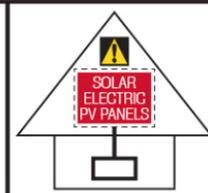
PHOTOVOLTAIC SYSTEM
EQUIPPED WITH RAPID
SHUTDOWN

Label Location:
(INV)
Per Code:
NEC 690.56.C.3

SOLAR PV SYSTEM
EQUIPPED WITH RAPID
SHUTDOWN

Label Location:
ABB/Delta Solivia Inverter
Per Code:
690.56(C)(1)(b)

TURN RAPID
SHUTDOWN SWITCH
TO THE "OFF"
POSITION TO SHUT
DOWN CONDUCTORS
OUTSIDE THE ARRAY.
CONDUCTORS WITHIN
THE ARRAY REMAIN
ENERGIZED IN SUNLIGHT



WARNING
ELECTRIC SHOCK HAZARD
IF A GROUND FAULT IS INDICATED
NORMALLY GROUNDED
CONDUCTORS MAY BE
UNGROUNDDED AND ENERGIZED

Label Location:
(DC) (INV)
Per Code:
690.41.B

WARNING

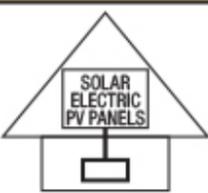
INVERTER OUTPUT
CONNECTION
DO NOT RELOCATE
THIS OVERCURRENT
DEVICE

Label Location:
(POI)
Per Code:
NEC 705.12.B.2.3.b

SOLAR PV SYSTEM
EQUIPPED WITH RAPID
SHUTDOWN

Label Location:
SolarEdge and,Delta M-Series and,Telsa Inverter
Per Code:
690.56(C)(1)(a)

TURN RAPID
SHUTDOWN
SWITCH TO THE
"OFF" POSITION TO
SHUT DOWN PV
SYSTEM AND REDUCE
SHOCK HAZARD
IN THE ARRAY.



WARNING
ELECTRICAL SHOCK HAZARD
DO NOT TOUCH TERMINALS
TERMINALS ON BOTH LINE AND
LOAD SIDES MAY BE ENERGIZED
IN THE OPEN POSITION
DC VOLTAGE IS
ALWAYS PRESENT WHEN
SOLAR MODULES ARE
EXPOSED TO SUNLIGHT

Label Location:
(DC) (CB)
Per Code:
CEC 690.13.B

CAUTION

PHOTOVOLTAIC SYSTEM
CIRCUIT IS BACKFED

Label Location:
(D) (POI)
Per Code:
NEC 690.64.B.4

CAUTION
DUAL POWER SOURCE
SECOND SOURCE IS
PHOTOVOLTAIC SYSTEM

Label Location:
(POI)
Per Code:
NEC 705.12.B.3

PHOTOVOLTAIC AC
DISCONNECT

Label Location:
(AC) (POI)
Per Code:
NEC 690.13.B

PHOTOVOLTAIC POINT OF
INTERCONNECTION
WARNING: ELECTRIC SHOCK
HAZARD. DO NOT TOUCH
TERMINALS. TERMINALS ON
BOTH THE LINE AND LOAD SIDE
MAY BE ENERGIZED IN THE OPEN
POSITION. FOR SERVICE
DE-ENERGIZE BOTH SOURCE
AND MAIN BREAKER.
PV POWER SOURCE

Label Location:
(POI)
Per Code:
CEC 690.13.B

MAXIMUM AC
OPERATING CURRENT A
MAXIMUM AC
OPERATING VOLTAGE V

Label Location:
(AC) (POI)
Per Code:
NEC 690.54

MAXIMUM AC
OPERATING CURRENT A
MAXIMUM AC
OPERATING VOLTAGE V

(AC): AC Disconnect
(C): Conduit
(CB): Combiner Box
(D): Distribution Panel
(DC): DC Disconnect
(IC): Interior Run Conduit
(INV): Inverter With Integrated DC Disconnect
(LC): Load Center
(M): Utility Meter
(POI): Point of Interconnection

BACKUP LOAD CENTER

Label Location:
(BLC)
Per Code:
NEC 408.4

CAUTION
TRI POWER SOURCE
SECOND SOURCE IS PHOTOVOLTAIC SYSTEM
THIRD SOURCE IS ENERGY STORAGE SYSTEM

Label Location:
(MSP)
Per Code:
NEC 705.12(B)(3)

CAUTION
DO NOT ADD NEW LOADS

Label Location:
(BLC)
Per Code:
NEC 220

WARNING

THIS EQUIPMENT FED BY
MULTIPLE SOURCES. TOTAL
RATING OF ALL OVER CURRENT
DEVICES, EXCLUDING MAIN
SUPPLY OVERCURRENT DEVICE,
SHALL NOT EXCEED AMPACITY
OF BUSBAR.

Label Location:
(MSP)
Per Code:
NEC 705.12.B.2.3.c

CAUTION
THIS PANEL HAS SPLICED FEED-
THROUGH CONDUCTORS.
LOCATION OF DISCONNECT AT ENERGY
STORAGE BACKUP LOAD PANEL

Label Location:
(MSP)
Per Code:
NEC 312.8.A(3)

NOMINAL ESS VOLTAGE: 120/240V
**MAX AVAILABLE SHORT-
CIRCUIT FROM ESS:** 32A
**ARC FAULT CLEARING
TIME FROM ESS:** 67ms
**DATE OF
CALCULATION:**

Label Location:
(MSP)
Per Code:
Per 706.7(D) label to be marked in field

CAUTION
DUAL POWER SOURCE
SECOND SOURCE IS
ENERGY STORAGE SYSTEM

Label Location:
(MSP)
Per Code:
NEC 705.12(B)(3)

ENERGY STORAGE SYSTEM ON SITE
LOCATED WITHIN LINE OF SIGHT

Label Location:
(MSP)
Per Code:

ENERGY STORAGE SYSTEM ON SITE
LOCATED ON ADJACENT WALL

Label Location:
(MSP)
Per Code:

ENERGY STORAGE SYSTEM ON SITE
LOCATED ON OPPOSITE WALL

Label Location:
(MSP)
Per Code:

ENERGY STORAGE SYSTEM ON SITE
LOCATED INSIDE

Label Location:
(MSP)
Per Code:

(AC): AC Disconnect
(BLC): Backup Load Center
(MSP): Main Service Panel

Label Set

POWERWALL

Tesla Powerwall is a fully-integrated AC battery system for residential or light commercial use. Its rechargeable lithium-ion battery pack provides energy storage for solar self-consumption, time-based control, and backup.

Powerwall's electrical interface provides a simple connection to any home or building. Its revolutionary compact design achieves market-leading energy density and is easy to install, enabling owners to quickly realize the benefits of reliable, clean power.



PERFORMANCE SPECIFICATIONS

AC Voltage (Nominal)	120/240 V
Feed-In Type	Split Phase
Grid Frequency	60 Hz
Total Energy ¹	14 kWh
Usable Energy ¹	13.5 kWh
Real Power, max continuous	5 kW (charge and discharge)
Real Power, peak (10s, off-grid/backup)	7 kW (charge and discharge)
Apparent Power, max continuous	5.8 kVA (charge and discharge)
Apparent Power, peak (10s, off-grid/backup)	7.2 kVA (charge and discharge)
Load Start Capability	106 A LRA for each Powerwall
Maximum Supply Fault Current	10 kA
Maximum Output Fault Current	32 A
Overcurrent Protection Device	30 A
Imbalance for Split-Phase Loads	100%
Power Factor Output Range	+/- 1.0 adjustable
Power Factor Range (full-rated power)	+/- 0.85
Internal Battery DC Voltage	50 V
Round Trip Efficiency ^{1,2}	90%
Warranty	10 years

¹Values provided for 25°C (77°F), 3.3 kW charge/discharge power.

²AC to battery to AC, at beginning of life.

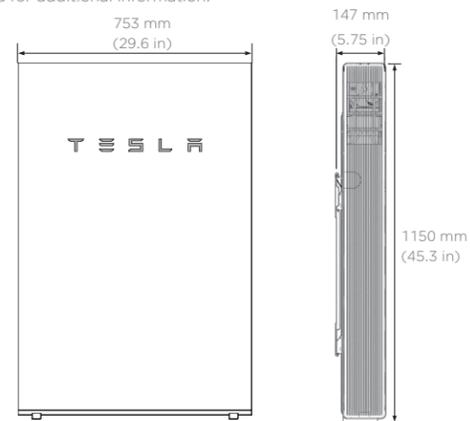
COMPLIANCE INFORMATION

Certifications	UL 1642, UL 1741, UL 1973, UL 9540, IEEE 1547, UN 38.3
Grid Connection	Worldwide Compatibility
Emissions	FCC Part 15 Class B, ICES 003
Environmental	RoHS Directive 2011/65/EU
Seismic	AC156, IEEE 693-2005 (high)

MECHANICAL SPECIFICATIONS

Dimensions ³	1150 mm x 753 mm x 147 mm (45.3 in x 29.6 in x 5.75 in)
Weight ³	114 kg (251.3 lbs)
Mounting options	Floor or wall mount

³Dimensions and weight differ slightly if manufactured before March 2019. Contact Tesla for additional information.

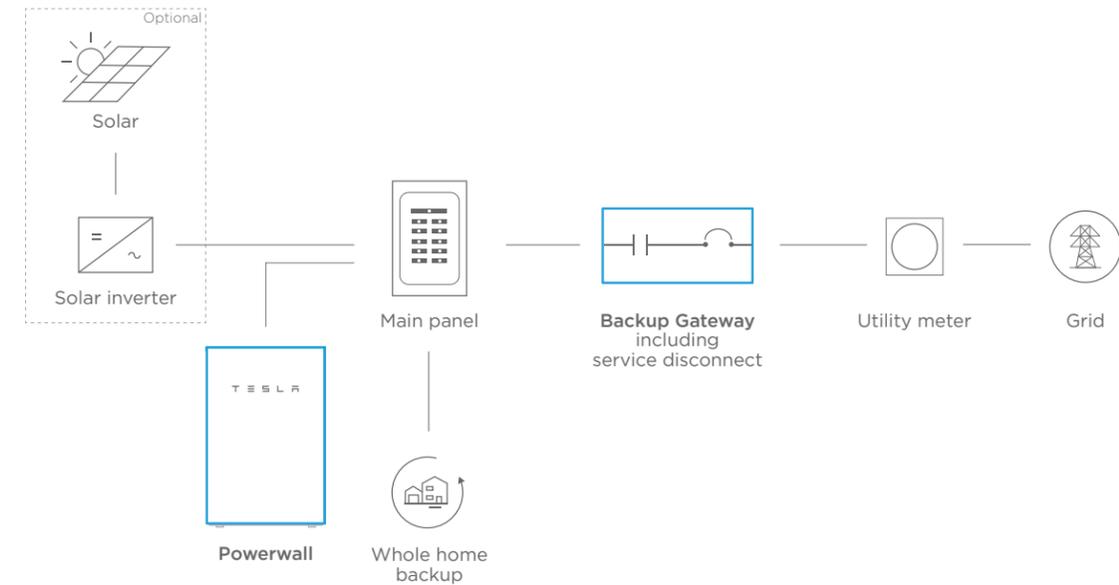


ENVIRONMENTAL SPECIFICATIONS

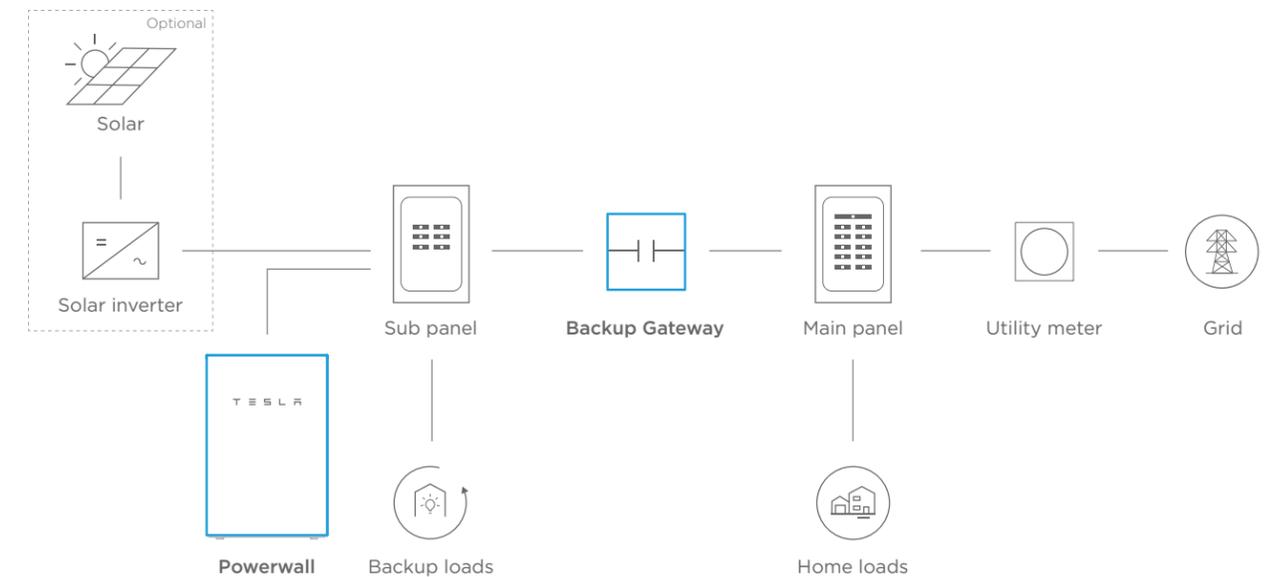
Operating Temperature	-20°C to 50°C (-4°F to 122°F)
Recommended Temperature	0°C to 30°C (32°F to 86°F)
Operating Humidity (RH)	Up to 100%, condensing
Storage Conditions	-20°C to 30°C (-4°F to 86°F) Up to 95% RH, non-condensing State of Energy (SoE): 25% initial
Maximum Elevation	3000 m (9843 ft)
Environment	Indoor and outdoor rated
Enclosure Type	NEMA 3R
Ingress Rating	IP67 (Battery & Power Electronics) IP56 (Wiring Compartment)
Wet Location Rating	Yes
Noise Level @ 1m	< 40 dBA at 30°C (86°F)

TYPICAL SYSTEM LAYOUTS

WHOLE HOME BACKUP



PARTIAL HOME BACKUP



POWERWALL

Backup Gateway 2

The Backup Gateway 2 for Tesla Powerwall provides energy management and monitoring for solar self-consumption, time-based control, and backup.

The Backup Gateway 2 controls connection to the grid, automatically detecting outages and providing a seamless transition to backup power. When equipped with a main circuit breaker, the Backup Gateway 2 can be installed at the service entrance. When the optional internal panelboard is installed, the Backup Gateway 2 can also function as a load center.

The Backup Gateway 2 communicates directly with Powerwall, allowing you to monitor energy use and manage backup energy reserves from any mobile device with the Tesla app.



PERFORMANCE SPECIFICATIONS

AC Voltage (Nominal)	120/240V
Feed-In Type	Split Phase
Grid Frequency	60 Hz
Current Rating	200 A
Maximum Input Short Circuit Current	10 kA ¹
Overcurrent Protection Device	100-200A; Service Entrance Rated ¹
Overvoltage Category	Category IV
AC Meter	Revenue accurate (+/- 0.2 %)
Primary Connectivity	Ethernet, Wi-Fi
Secondary Connectivity	Cellular (3G, LTE/4G) ²
User Interface	Tesla App
Operating Modes	Support for solar self-consumption, time-based control, backup, and off-grid
Backup Transition	Automatic disconnect for seamless backup
Modularity	Supports up to 10 AC-coupled Powerwalls
Optional Internal Panelboard	200A 6-space / 12 circuit Eaton BR Circuit Breakers
Warranty	10 years

¹ When protected by Class J fuses, Backup Gateway 2 is suitable for use in circuits capable of delivering not more than 22kA symmetrical amperes.

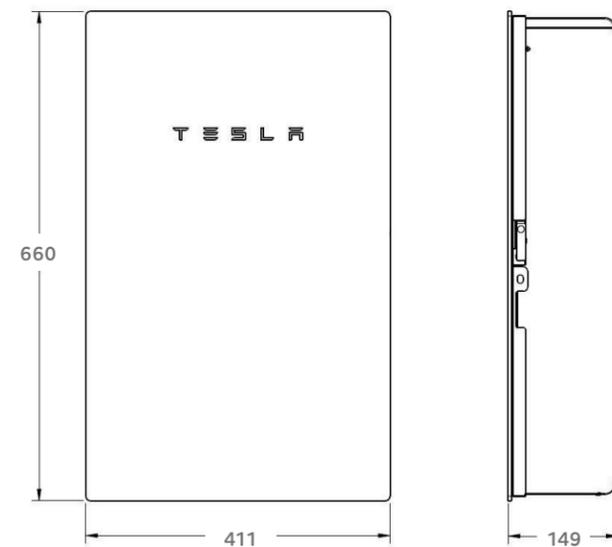
² The customer is expected to provide internet connectivity for Backup Gateway 2; cellular should not be used as the primary mode of connectivity. Cellular connectivity subject to network operator service coverage and signal strength.

COMPLIANCE INFORMATION

Certifications	UL 67, UL 869A, UL 916, UL 1741 PCS CSA 22.2 0.19, CSA 22.2 205
Emissions	FCC Part 15, ICES 003

MECHANICAL SPECIFICATIONS

Dimensions	660 mm x 411 mm x 149 mm (26 in x 16 in x 6 in)
Weight	20.4 kg (45 lb)
Mounting options	Wall mount, Semi-flush mount



ENVIRONMENTAL SPECIFICATIONS

Operating Temperature	-20°C to 50°C (-4°F to 122°F)
Operating Humidity (RH)	Up to 100%, condensing
Maximum Elevation	3000 m (9843 ft)
Environment	Indoor and outdoor rated
Enclosure Type	NEMA 3R

powered by
Q.ANTUM DUO



Q.PEAK DUO BLK-G6+ / SC

330-345

ENDURING HIGH PERFORMANCE

ZEP COMPATIBLE™

EUPD RESEARCH
TOP BRAND PV
MODULES
EUROPE
2019

Q CELLS
YIELD SECURITY
ANTI-PID TECHNOLOGY (APT)
HOT-SPOT PROTECT (HSP)
TRACEABLE QUALITY (TRAQ™)
ANTI-LID TECHNOLOGY (ALT)

25
YEAR
Product and Performance Warranty
Q CELLS

- Q.ANTUM TECHNOLOGY: LOW LEVELIZED COST OF ELECTRICITY**
Higher yield per surface area, lower BOS costs, higher power classes, and an efficiency rate of up to 19.5%.
- INNOVATIVE ALL-WEATHER TECHNOLOGY**
Optimal yields, whatever the weather with excellent low-light and temperature behavior.
- ENDURING HIGH PERFORMANCE**
Long-term yield security with Anti LID and Anti PID Technology¹, Hot-Spot Protect and Traceable Quality Tra.Q™.
- ZEP COMPATIBLE™ FRAME DESIGN**
High-tech black Zep Compatible™ frame, for improved aesthetics, easy installation and increased safety.
- A RELIABLE INVESTMENT**
Inclusive 25-year product warranty and 25-year linear performance warranty².
- STATE OF THE ART MODULE TECHNOLOGY**
Q.ANTUM DUO combines cutting edge cell separation and innovative wiring with Q.ANTUM Technology.

¹ APT test conditions according to IEC/TS 62804-1:2015, method B (-1500V, 168h)
² See data sheet on rear for further information

THE IDEAL SOLUTION FOR:

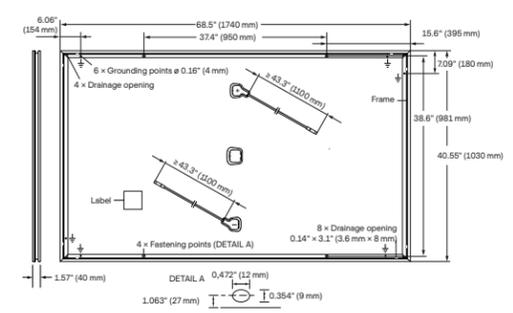


Engineered in Germany



MECHANICAL SPECIFICATION

Format	68.5 × 40.6 × 1.57 in (including frame) (1740 × 1030 × 40 mm)
Weight	47.4 lbs (21.5 kg)
Front Cover	0.13 in (3.2 mm) thermally pre-stressed glass with anti-reflection technology
Back Cover	Composite film
Frame	Black anodized aluminum
Cell	6 × 20 monocrystalline Q.ANTUM solar half cells
Junction Box	2.09-3.98 × 1.26-2.36 × 0.59-0.71 in (53-101 × 32-60 × 15-18 mm), Protection class IP67, with bypass diodes
Cable	4 mm ² Solar cable; (+) ≥ 43.3 in (1100 mm), (-) ≥ 43.3 in (1100 mm)
Connector	Stäubli MC4; IP68

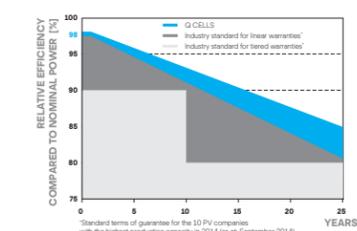


ELECTRICAL CHARACTERISTICS

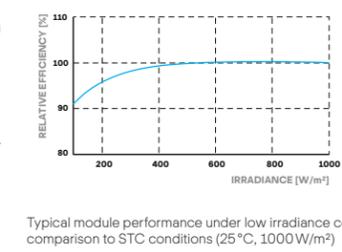
POWER CLASS		330	335	340	345	
MINIMUM PERFORMANCE AT STANDARD TEST CONDITIONS, STC ¹ (POWER TOLERANCE ±5 W / -0 W)						
Minimum	Power at MPP ¹	P _{MPP} [W]	330	335	340	345
	Short Circuit Current ¹	I _{SC} [A]	10.41	10.47	10.52	10.58
	Open Circuit Voltage ¹	V _{OC} [V]	40.15	40.41	40.66	40.92
	Current at MPP	I _{MPP} [A]	9.91	9.97	10.02	10.07
	Voltage at MPP	V _{MPP} [V]	33.29	33.62	33.94	34.25
	Efficiency ¹	η [%]	≥18.4	≥18.7	≥19.0	≥19.3
MINIMUM PERFORMANCE AT NORMAL OPERATING CONDITIONS, NMOT ²						
Minimum	Power at MPP	P _{MPP} [W]	247.0	250.7	254.5	258.2
	Short Circuit Current	I _{SC} [A]	8.39	8.43	8.48	8.52
	Open Circuit Voltage	V _{OC} [V]	37.86	38.10	38.34	38.59
	Current at MPP	I _{MPP} [A]	7.80	7.84	7.89	7.93
	Voltage at MPP	V _{MPP} [V]	31.66	31.97	32.27	32.57

¹ Measurement tolerances P_{MPP} ± 3%; I_{SC}; V_{OC} ± 5% at STC: 1000 W/m², 25 ± 2 °C, AM 1.5 according to IEC 60904-3 · 2800 W/m², NMOT, spectrum AM 1.5

Q CELLS PERFORMANCE WARRANTY



PERFORMANCE AT LOW IRRADIANCE



TEMPERATURE COEFFICIENTS

Temperature Coefficient of I _{SC}	α [%/K]	+0.04	Temperature Coefficient of V _{OC}	β [%/K]	-0.27
Temperature Coefficient of P _{MPP}	γ [%/K]	-0.36	Normal Module Operating Temperature	NMOT [°F]	109 ± 5.4 (43 ± 3 °C)

PROPERTIES FOR SYSTEM DESIGN

Maximum System Voltage V _{sys}	[V]	1000 (IEC) / 1000 (UL)	Protection Class	II
Maximum Series Fuse Rating	[A DC]	20	Fire Rating based on ANSI / UL 1703	C (IEC) / TYPE 2 (UL)
Max. Design Load, Push / Pull (UL) ³	[lbs / ft ²]	50 (2400 Pa) / 50 (2400 Pa)	Permitted Module Temperature on Continuous Duty	-40 °F up to +185 °F (-40 °C up to +85 °C)
Max. Test Load, Push / Pull (UL) ³	[lbs / ft ²]	75 (3600 Pa) / 75 (3600 Pa)		

³ See Installation Manual

QUALIFICATIONS AND CERTIFICATES

UL 1703, CE-compliant, IEC 61215:2016, IEC 61730:2016, Application Class II, U.S. Patent No. 9,893,215 (solar cells)



Note: Installation instructions must be followed. See the installation and operating manual or contact our technical service department for further information on approved installation and use of this product.

Hanwha Q CELLS America Inc.
400 Spectrum Center Drive, Suite 1400, Irvine, CA 92618, USA | TEL +1 949 748 59 96 | EMAIL inquiry@us.q-cells.com | WEB www.q-cells.us

Specifications subject to technical changes © Q CELLS Q.PEAK DUO BLK-G6+ / SC_330-345_2019-11_Rev01_NA

MCI WIRING DETAIL

GENERAL NOTES

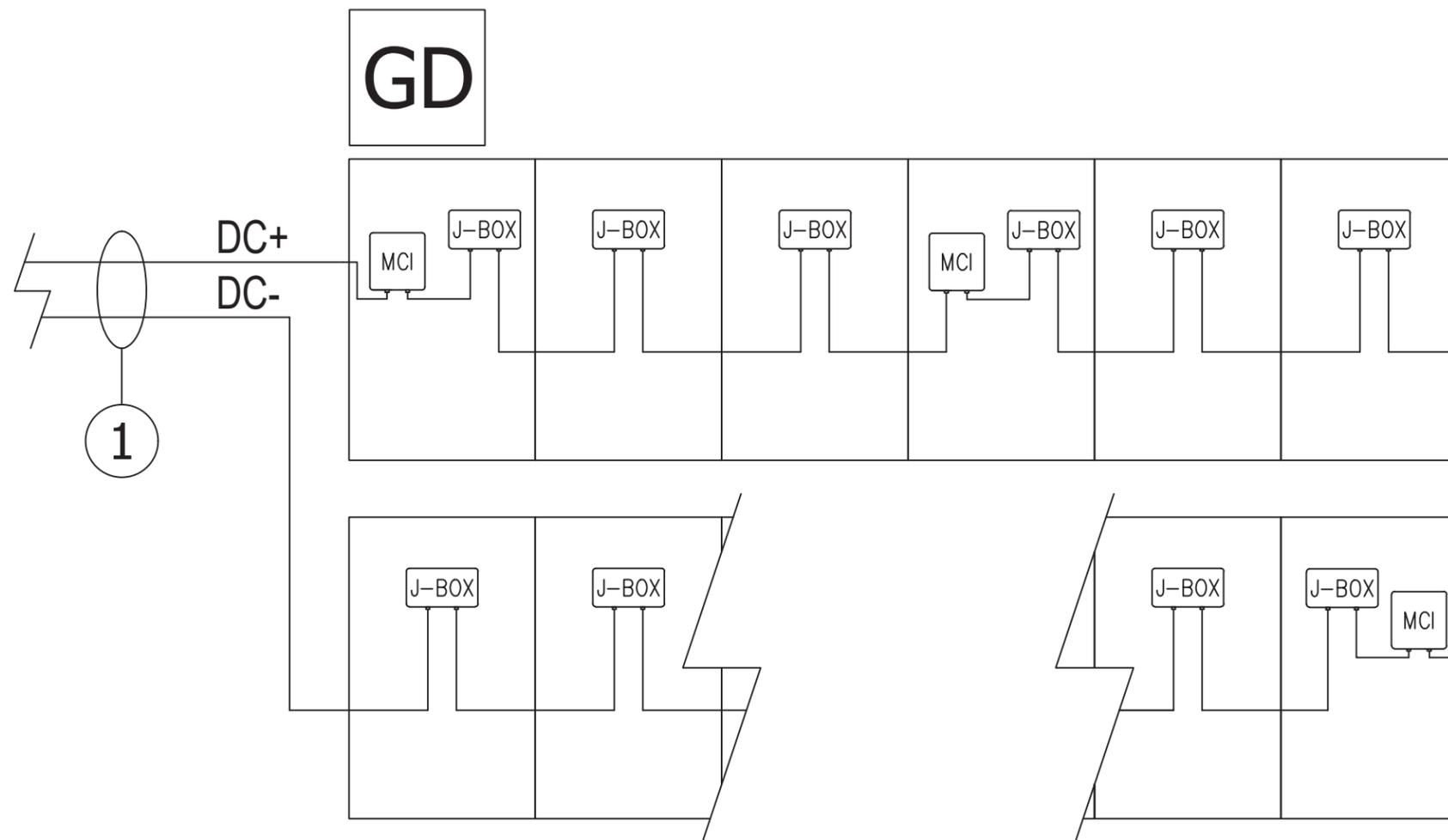
- DRAWING OF STANDARD MCI WIRING DETAIL FOR ANY GIVEN STRING LENGTH
- IF INITIATED, RAPID SHUTDOWN OCCURS WITHIN 30 SECONDS OF ACTIVATION AND LIMITS VOLTAGE ON THE ROOF TO NO GREATER THAN 165V (690.12.B.2.1)
- MID CIRCUIT INTERRUPTER (MCI) IS A UL 1741 PVRSE CERTIFIED RAPID SHUTDOWN DEVICE (RSD)

RETROFIT PV MODULES

- MCIS ARE LOCATED AT ROOF LEVEL, JUST UNDER THE PV MODULES IN ACCORDANCE WITH 690.12 REQUIREMENTS
- THE QUANTITY OF MCIS PER STRING IS DETERMINED BY STRING LENGTH
 - NUMBER OF MODULES BETWEEN MCI UNITS = 0-3
 - MAXIMUM NUMBER OF MODULES PER MCI UNIT = 3
 - MINIMUM NUMBER MCI UNITS = MODULE COUNT/3

*Exception: Tesla (Longi) modules installed in locations where the max Voc for 3 modules at low design temperature exceeds 165V shall be limited to 2 modules between MCIs.

PLEASE REFER TO MCI CUTSHEET AND PVRSA INSERT FOR MORE INFORMATION



① (2)AWG, PV Wire, 600V, Black

DC

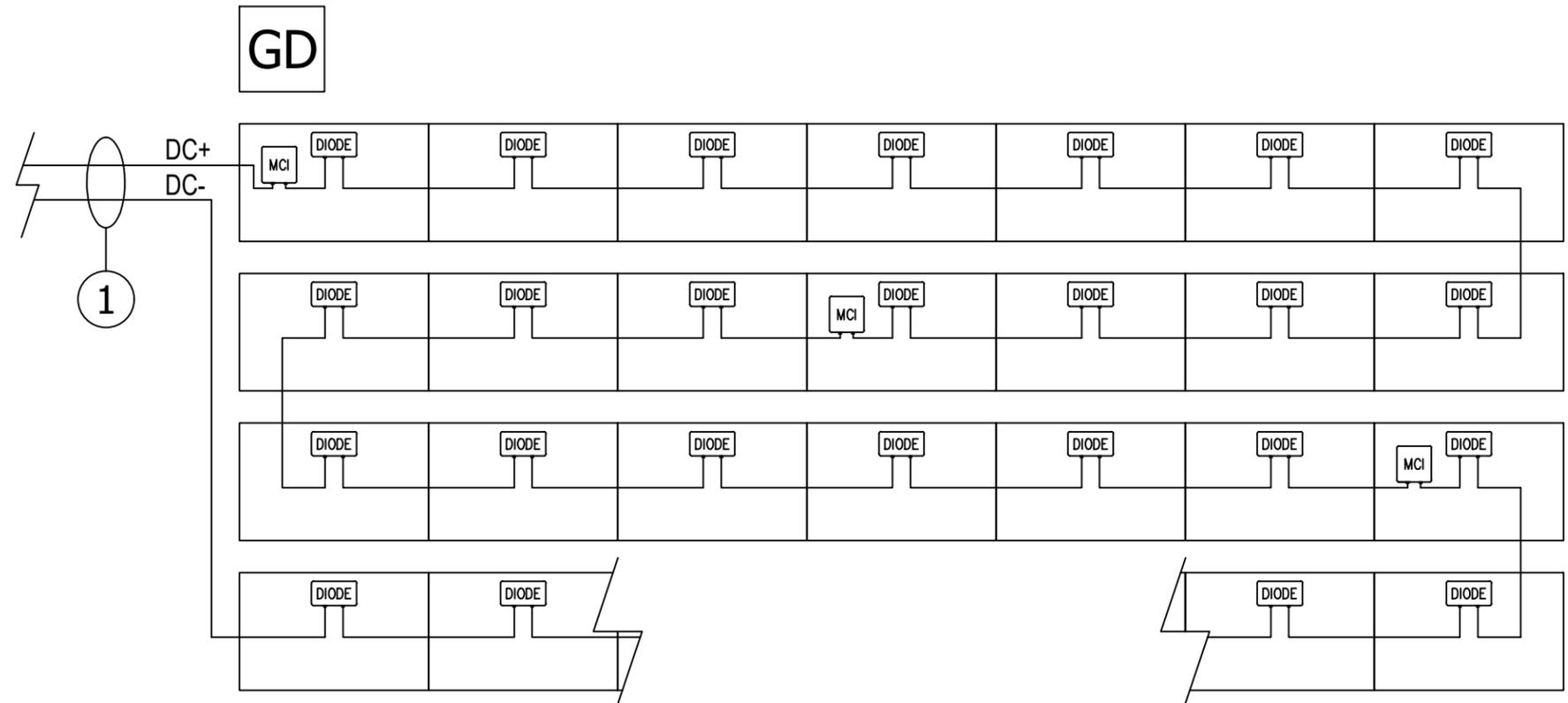
MCI WIRING DETAIL

GENERAL NOTES

- DRAWING OF STANDARD MCI WIRING DETAIL FOR ANY GIVEN STRING LENGTH
- IF INITIATED, RAPID SHUTDOWN OCCURS WITHIN 30 SECONDS OF ACTIVATION AND LIMITS VOLTAGE ON THE ROOF TO NO GREATER THAN 165V (690.12.B.2.1)
- MID CIRCUIT INTERRUPTER (MCI) IS A UL 1741 PVRSE CERTIFIED RAPID SHUTDOWN DEVICE (RSD)

SOLAR ROOF TILES

- MCIS ARE LOCATED AT DECK LEVEL, JUST UNDER THE TILES IN ACCORDANCE WITH 690.12 REQUIREMENTS
- THE QUANTITY OF MCIS PER STRING IS DETERMINED BY STRING LENGTH
 - NUMBER OF TILES BETWEEN MCI UNITS = 0-10
 - MAXIMUM NUMBER OF TILES PER MCI UNIT = 10
 - MINIMUM NUMBER MCI UNITS = TILE COUNT/10



PLEASE REFER TO MCI CUTSHEET AND PVRSA INSERT FOR MORE INFORMATION

① (2) AWG, PV Wire, 600V, Black

DC



TESLA

SOLAR INVERTER

3.8 kW | 7.6 kW

Tesla Solar Inverter completes the Tesla home solar system, converting DC power from solar to AC power for home consumption. Tesla's renowned expertise in power electronics has been combined with robust safety features and a simple installation process to produce an outstanding solar inverter that is compatible with both Solar Roof and traditional solar panels. Once installed, homeowners use the Tesla mobile app to manage their solar system and monitor energy consumption, resulting in a truly unique ecosystem experience.

KEY FEATURES

- Built on Powerwall 2 technology for exceptional efficiency and reliability
- Wi-Fi, Ethernet, and cellular connectivity with easy over-the-air updates
- Designed to integrate with Tesla Powerwall and Tesla App
- 3.8 kW and 7.6 kW models available

SOLAR INVERTER

Tesla Solar Inverter provides DC to AC conversion and integrates with the Tesla ecosystem, including Solar Panels, Solar Roof, Powerwall, and vehicle charging, to provide a seamless sustainable energy experience.

KEY FEATURES

- Integrated rapid shutdown, arc fault, and ground fault protection
- No neutral wire simplifies installation
- 2x the standard number of MPPTs for high production on complex roofs



ELECTRICAL SPECIFICATIONS

MODEL NUMBER	1534000-xx-y	1538000-xx-y
OUTPUT (AC)	3.8 kW	7.6 kW
Nominal Power	3,800 W	7,600 W
Maximum Apparent Power	3,328 VA at 208 V 3,840 VA at 240 V	6,656 VA at 208 V 7,680 VA at 240 V
Maximum Continuous Current	16 A	32 A
Breaker (Overcurrent Protection)	20 A	40 A
Nominal Power Factor	1 - 0.9 (leading / lagging)	
THD (at Nominal Power)	<5%	
INPUT (DC)		
MPPT	2	4
Input Connectors per MPPT	1-2	1-2-1-2
Maximum Input Voltage	600 VDC	
DC Input Voltage Range	60 - 550 VDC	
DC MPPT Voltage Range	60 - 480 VDC ¹	
Maximum Current per MPPT (I _{mp})	13 A	
Maximum Short Circuit Current per MPPT (I _{sc})	15 A	

PERFORMANCE SPECIFICATIONS

Peak Efficiency	98% at 208 V 98.1% at 240 V	98.4% at 208 V 98.6% at 240 V
CEC Efficiency	97.5% at 208 V 97.5% at 240 V	97.5% at 208 V 98.0% at 240 V
Allowable DC/AC Ratio	1.7	
Customer Interface	Tesla Mobile App	
Internet Connectivity	Wi-Fi (2.4 GHz, 802.11 b/g/n), Ethernet, Cellular (LTE/4G) ²	
AC Remote Metering Support	Wi-Fi (2.4 GHz, 802.11 b/g/n), RS-485	
Protections	Integrated arc fault circuit interrupter (AFCI), Rapid Shutdown	
Supported Grid Types	60 Hz, 240 V Split Phase 60 Hz, 208 V Wye	

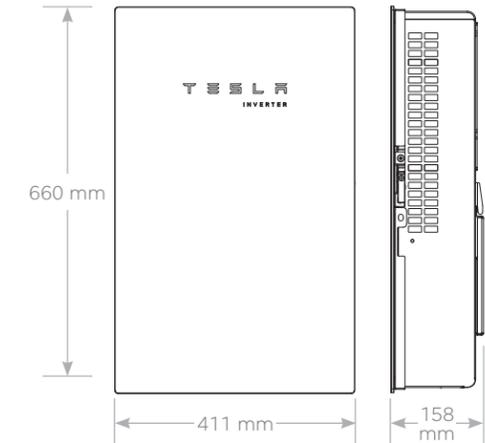
¹ Maximum current.

² Cellular connectivity subject to network operator service coverage and signal strength.

MECHANICAL SPECIFICATIONS

Dimensions	660 mm x 411 mm x 158 mm (26 in x 16 in x 6 in)
Weight	52 lb ³
Mounting options	Wall mount (bracket)

³ Door and bracket can be removed for a mounting weight of 37 lb.



ENVIRONMENTAL SPECIFICATIONS

Operating Temperature	-30°C to 45°C (-22°F to 113°F) ⁴
Operating Humidity (RH)	Up to 100%, condensing
Storage Temperature	-30°C to 70°C (-22°F to 158°F)
Maximum Elevation	3000 m (9843 ft)
Environment	Indoor and outdoor rated
Enclosure Rating	Type 3R
Ingress Rating	IP55 (Wiring compartment)
Pollution Rating	PD2 for power electronics and terminal wiring compartment, PD3 for all other components
Operating Noise @ 1 m	< 40 db(A) nominal, < 50 db(A) maximum

⁴ For the 7.6 kW Solar Inverter, performance may be de-rated to 6.2 kW at 240 V or 5.37 kW at 208 V when operating at temperatures greater than 45°C.

COMPLIANCE INFORMATION

Grid Certifications	UL 1741, UL 1741 SA, IEEE 1547, IEEE 1547.1
Safety Certifications	UL 1741 PVRSS, UL 1699B, UL 1998 (US), UL 3741
Emissions	EN 61000-6-3 (Residential), FCC 47CFR15.109 (a)

SOLAR SHUTDOWN DEVICE

The Tesla Solar Shutdown Device is part of the PV system rapid shutdown (RSD) function in accordance with Article 690 of the applicable NEC. When paired with the Tesla Solar Inverter, solar array shutdown is initiated by any loss of AC power.



ELECTRICAL SPECIFICATIONS

Nominal Input DC Current Rating (I_{MP})	12 A
Maximum Input Short Circuit Current (I_{SC})	15 A
Maximum System Voltage	600 V DC

RSD MODULE PERFORMANCE

Maximum Number of Devices per String	5
Control	Power Line Excitation
Passive State	Normally open
Maximum Power Consumption	7 W
Warranty	25 years

COMPLIANCE INFORMATION

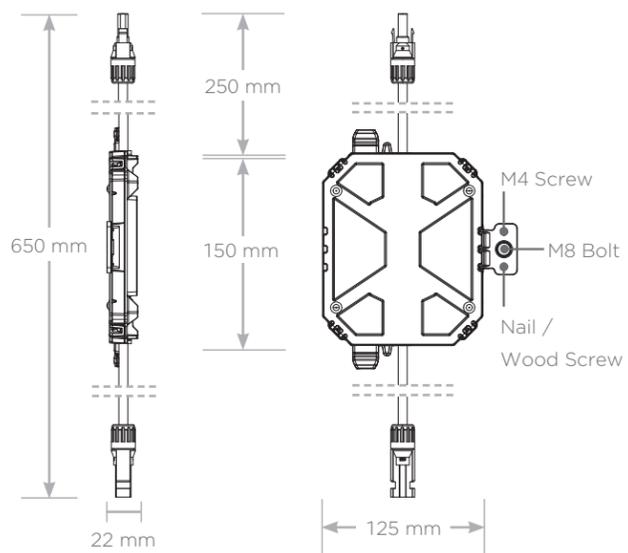
Certifications	UL 1741 PVRSE, UL 3741, PVRSA (Photovoltaic Rapid Shutdown Array)
RSD Initiation Method	PV System AC Breaker or Switch
Compatible Equipment	See Compatibility Table below

ENVIRONMENTAL SPECIFICATIONS

Ambient Temperature	-40°C to 50°C (-40°F to 122°F)
Storage Temperature	-30°C to 70°C (-22°F to 158°F)
Enclosure Rating	NEMA 4 / IP65

MECHANICAL SPECIFICATIONS

Electrical Connections	MC4 Connector
Housing	Plastic
Dimensions	125 mm x 150 mm x 22 mm (5 in x 6 in x 1 in)
Weight	350 g (0.77 lb)
Mounting Options	ZEP Home Run Clip M4 Screw (#10) M8 Bolt (5/16") Nail / Wood screw



UL 3741 PV HAZARD CONTROL (AND PVRSA) COMPATIBILITY

Tesla Solar Roof and Tesla/Zep ZS Arrays using the following modules are certified to UL 3741 and UL 1741 PVRSA when installed with the Tesla Solar Inverter and Solar Shutdown Devices. See the Tesla Solar Inverter Installation Manual for detailed instructions and for guidance on installing Tesla Solar Inverter and Solar Shutdown Devices with other modules.

Brand	Model	Required Solar Shutdown Devices
Tesla	Solar Roof V3	1 Solar Shutdown Device per 10 modules
Tesla	Tesla TxxxS (where xxx = 405 to 450 W, increments of 5)	1 Solar Shutdown Device per 3 modules ¹
Hanwha	Q.PEAK DUO BLK-G5	1 Solar Shutdown Device per 3 modules
Hanwha	Q.PEAK DUO BLK-G6+	1 Solar Shutdown Device per 3 modules

¹**Exception:** Tesla solar modules installed in locations where the max Voc for three modules at low design temperatures exceeds 165 V shall be limited to two modules between MCIs.

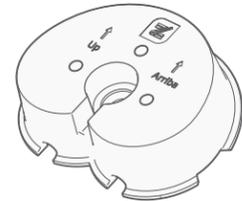
ROOFING SYSTEM SPECIFICATIONS



DESCRIPTION	PV mounting solution for composition shingle roofs.
	Works with all Zep Compatible Modules.
	Auto bonding UL-listed hardware creates structural and electrical bond.
SPECIFICATIONS	Designed for pitched roofs.
	Installs in portrait and landscape orientations.
	Engineered for spans up to 72" and cantilevers up to 24".
	ZS Comp has a UL 1703 Class "A" Fire Rating when installed using modules from any manufacturer certified as "Type 1" or "Type 2".
	Attachment method UL listed to UL 2582 for Wind Driven Rain.
	ZS Comp supports 50 psf (2400 Pa) front and up to 72 psf (3450 Pa) rear side design load rating for Portrait module orientation per UL 2703.
	ZS Comp supports 50 psf (2400 Pa) front side and up to 72 psf (3450 Pa) rear side design load rating for Landscape module orientation.
	Engineered for compliance with ASCE 7-05, 7-10, and 7-16 wind load requirements.
	Zep wire management products listed to UL 1565 for wire positioning devices.
ZS Comp grounding products are listed to UL 2703 and UL 467.	
ZS Comp bonding products are listed to UL 2703.	

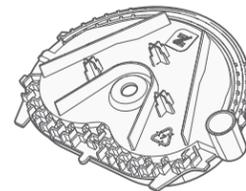
MOUNTING BLOCK

Listed to UL 2703
Part #850-1633



FLASHING INSERT

Listed to UL 2703 and UL 2582 for Wind Driven Rain
Part #850-1628



CAPTURED WASHER LAG

Part #850-1631-002 and #850-1631-004



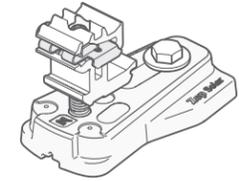
GROUND ZEP

Listed to UL 2703
Part #850-1511



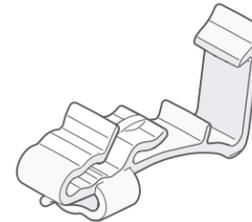
LEVELING FOOT

Listed to UL 2703
Part #850-1397



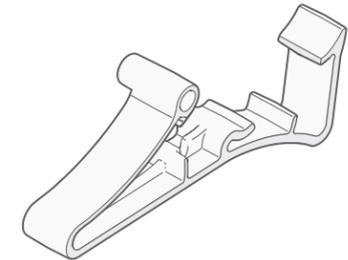
DC WIRE CLIP

Listed to UL 1565
Part #850-1509



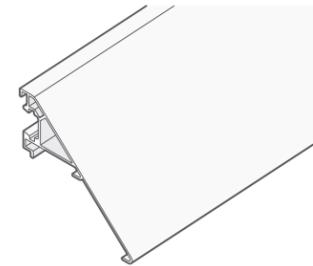
HOME RUN CLIP

Listed to UL 1565
Part #850-1510



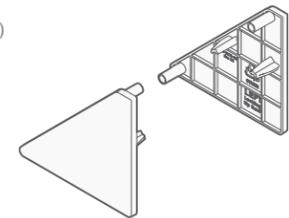
ARRAY SKIRT

Listed to UL 2703
Part #850-1608



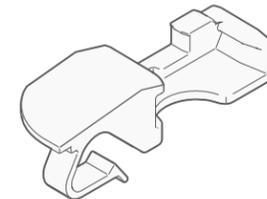
END CAP

Listed to UL 2703
Part #850-1586 (Left)
Part #850-1588 (Right)



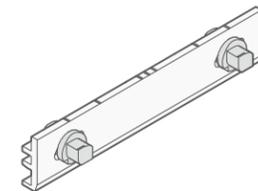
SKIRT GRIP

Listed to UL 2703
Part #850-1606



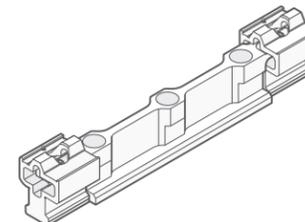
INTERLOCK

Listed to UL 2703
Part #850-1613



HYBRID INTERLOCK

Listed to UL 2703
Part #850-1281



WARNING: To Reduce the Risk of Injury, read all instructions

PV Hazard Control System: Solarglass Roof PVHCS				
UL 3741 Report Date 8-12-21				
PV Rapid Shutdown Array, UL 1741 Category QIIR, Report Date: 2021-06-11 (Rev 8-10-21)				
PV Hazard Control Equipment and Components				
Function	Manufacturer	Model No.	Firmware Versions and Checksums	Certification Standard
PVRSE Mid Circuit Interrupter (MCI)	Tesla	MCI-1 1550379 ²	N/A	UL 1741 PVRSE
Inverter	Tesla	7.6 kW: 1538000 ² 3.8 kW: 1534000 ²	V4, CEA4F802 V4, FF7BE4E1	UL 1741, 1998 PVRSS/PVRSE
PV Module	Tesla	SR60T1, SR72T1	N/A	UL 61730
Diode Harness	Tesla	SRDTH	N/A	UL 9703
PV Wire Jumper(s)	Tesla	SR-BJ2X SR-BJ3X SR-BJ4X SR-BJMini	N/A	UL 9703
Pass-Through Box	Tesla	SRPTB-4	N/A	UL 1741
PVHCS Initiator ¹ (See installation requirements below)	Non-Specific	N/A	N/A	N/A
¹ Dedicated PV system AC circuit breaker or AC disconnect switch, labeled per NEC 690.12 requirements. ² Applies to variations of this part number with suffix of two numbers and one letter. Note: PVHCS installation requirements may reduce the effective equipment and component ratings below the individual equipment and component PVRSE ratings in order to achieve PVHCS shock hazard reduction requirements.				
PVHCS Installation Requirements				
Max System Voltage			600 Vdc	
PVHC Maximum Circuit Voltage (Array Internal Voltage After Actuation)			165 Vdc (cold weather open circuit)	
Max Series-Connected Panels between MCIs:			10	
Other Installation Instructions:				
1. An MCI must be connected to one end of each series string or mounting plane sub-array string.				
2. Verification that MCIs are installed with 10 or fewer modules between MCIs shall be documented for inspection, by voltage measurement logs and/or as-built string layout diagrams.				
3. The dedicated PV system AC circuit breaker or PV system AC disconnect switch shall serve as the PVHCS initiator and shall be sized and installed in accordance with NEC requirements. The specific part shall be identified on the as-built system drawings.				



Certification Mark of UL on the installation instructions is the only method provided by UL to identify products manufactured under its Certification and Follow-Up Service. The Certification Mark for these products includes the UL symbol, the words "CERTIFIED" and "SAFETY," the geographic identifier(s), and a file number."

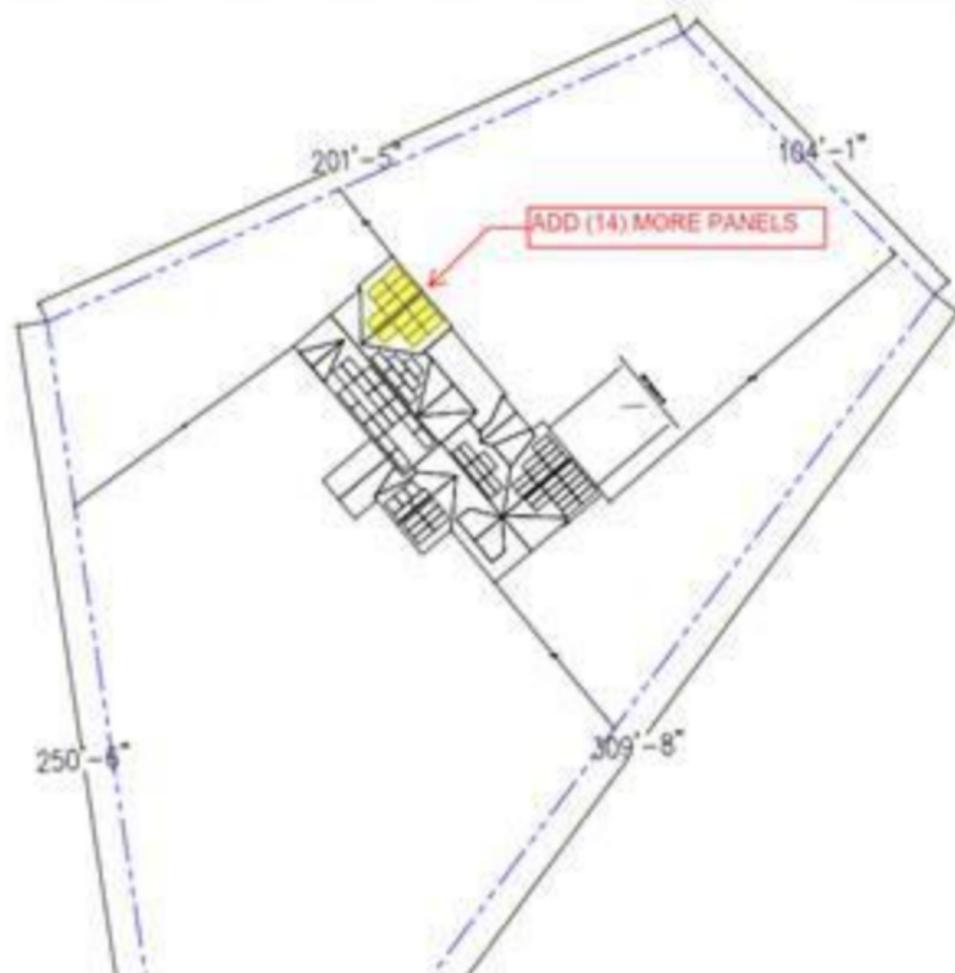
WARNING: To Reduce the Risk of Injury, read all instructions

PV Hazard Control System: ZS PVHCS				
(Applicable to ZS Comp, ZS Span, ZS Ramp, and ZS Seam)				
UL 3741 Report Date 8-12-21				
PV Rapid Shutdown Array, UL 1741 Category QIIR, Report Date: 2021-06-11 (Rev 8-10-21)				
PV Hazard Control Equipment and Components				
Function	Manufacturer	Model No.	Firmware Versions and Checksums	Certification Standard
PVRSE Mid Circuit Interrupter (MCI)	Tesla	MCI-1 1550379 ²	N/A	UL 1741 PVRSE
Inverter	Tesla	7.6 kW: 1538000 ² 3.8 kW: 1534000 ²	V4, CEA4F802 V4, FF7BE4E1	UL 1741, 1998 PVRSS/PVRSE
PV Module	Hanwha/ Q-CELLS Tesla (Longi)	Q.PEAK DUO BLK-G5/SC310-320 Q.PEAK DUO BLK G6+/SC330-345 Tesla TxxxS (where xxx = 405 to 450, increments of 5)	N/A	UL 1703 UL 61730
Interlock	Tesla	ZEP 850-1613-001 ZEP 850-1388-001 ZEP 850-1281-001	N/A	UL 2703
Ground Zep	Tesla	ZEP 850-1511-001 ZEP 850-1172-002	N/A	UL 467 UL 2703
DC Wire Clip	Tesla	ZEP 850-1509-001 ZEP 850-1448-001	N/A	UL 1565
Homerun Wire Clip	Tesla	ZEP 850-1510-001		UL 1565
PVHCS Initiator ¹ (See installation requirements below)	Non-Specific	N/A	N/A	N/A
¹ Dedicated PV system AC circuit breaker or AC disconnect switch, labeled per NEC 690.12 requirements. ² Applies to variations of this part number with suffix of two numbers and one letter. Note: PVHCS installation requirements may reduce the effective equipment and component ratings below the individual equipment and component PVRSE ratings in order to achieve PVHCS shock hazard reduction requirements.				
PVHCS Installation Requirements				
Max System Voltage			600 Vdc	
PVHC Maximum Circuit Voltage (Cold weather array internal voltage after actuation)			165 Vdc	
Max Series-Connected Modules Between MCIs:			3*	
*Exception: Tesla (Longi) modules installed in locations where the max Voc for 3 modules at low design temperature exceeds 165V shall be limited to 2 modules between MCIs.				
Other Installation Instructions:				
1. An MCI must be connected to one end of each series string or sub-array string.				
2. Verification that MCIs are installed with 3 or fewer modules between MCIs shall be documented for inspection, by voltage measurement logs and/or as-built string layout diagrams.				
3. The dedicated PV system AC circuit breaker or PV system AC disconnect switch shall serve as the PVHCS initiator and shall be sized and installed in accordance with NEC requirements. The specific part shall be identified on the as-built system drawings.				



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PROPOSED



APPROVED 7/14/2021

