



Town of Barnstable  
Old King's Highway Historic District Committee

367 Main Street, Hyannis, MA 02601

P 508.862.4791 [Web link](#)

## AGENDA

**Wednesday, August 25, 2021, 6:30pm**

The Old King's Highway Historic District Committee will be held by remote participation; see instructions below.

1. Real-time access: Applicants, their representatives and individuals required or entitled (*public comment*) to appear before the Old King's Highway Historic District Committee may participate through accessing the link or telephone number provided below:

**Link: Join Zoom Meeting <https://zoom.us/j/97154720328>**

**Phone: 1- 888-475-4499 and entering Meeting ID: 971 5472 0328**

2. Following the meeting, a recording will be televised via Channel 18 and may be viewed via the Channel 18 website at <http://streaming85.townofbarnstable.us/CablecastPublicSite/>

3. Documentary exhibits and/or visual presentations should be submitted in advance of the meeting to [Kaitlyn.maldonado@town.barnstable.ma.us](mailto:Kaitlyn.maldonado@town.barnstable.ma.us) so that they may be displayed for remote public access viewing.

4. Members of the public wishing to review plans and applications prior to the meeting are instructed to contact Assistant Director, Kate Maldonado, by calling 508.862.4791 or by emailing [Kaitlyn.maldonado@town.barnstable.ma.us](mailto:Kaitlyn.maldonado@town.barnstable.ma.us)

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**To all persons deemed interested or affected by the Town of Barnstable's Old King's Highway Historic District Act under Section 9 of Chapter 470, Acts of 1973 as amended. You are hereby notified that a hearing will be held on the following applications:**

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### **CONTINUED APPLICATIONS**

None at this time

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### **APPLICATIONS**

**Phipps, Bradley & Anita, 29 Tillage Lane, West Barnstable, Map 136 Parcel 003/000, built 1960**

Demolish the existing three bedroom cottage and build a new three bedroom residence.

**Mueller, Eric, 1996 Main Street, West Barnstable, Map 217, Parcel 016, Henry Salo House #1, built 1915, contributing structure in the Old King's Highway Historic District**

Add an addition to the existing house.

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### **MINOR MODIFICATION**

None at this time

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## **EXTENSIONS**

**137 Maushop** has requested a one year extension of the Certificate of Appropriateness for the proposed pool and pool house which was approved on August 29, 2018, and subsequently extended until August 26, 2021; request to extend expiration date to August 25, 2022.

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## **OTHER** *Matters not reasonably anticipated by Chair*

None at this time

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## **APPROVAL OF MINUTES**

August 11, 2021

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## **NEXT MEETING DATES**

September 8, 2021 & September 22, 2021

Please Note: The list of matters, are those reasonably anticipated by the chair, which may be discussed at the meeting. Not all items listed may be discussed and other items not listed may also be brought up for discussion to the extent permitted by law. It is possible that if it so votes, the Committee may go into executive session. The Committee may also act on items in an order other than they appear on this agenda. \* Public files are available for viewing during normal business hours at the Old King's Highway Historic District office located at 200 Main Street, Hyannis, MA. Please coordinate with staff to arrange an appointment to view files.



**CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies**

**Foundation** Type: (Max. 12" exposed) (material - brick/cement, other) Cement

**Siding Type:** Clapboard  shingle  other 30 yr architectural  
Material: red cedar  white cedar  other Hardie brand Color: Gray and white

**Chimney** Material: n/a Color: \_\_\_\_\_

**Roof Material:** (make & style) CertainTeed 30yr architectural+ metal awning Color: Black

**Roof Pitch(s):** (7/12 minimum) 12 pitch (specify on plans for new buildings, major additions)

**Window and door trim material:** wood \_\_\_\_\_ other material, specify Vinyl and azec trim

Size of cornerboards 1x6 size of casings (1 X 4 min.) 1x6 color White

Rakes 1st member 1x8 2<sup>nd</sup> member 1x4 Depth of overhang 8 inches

**Window:** (make/model) Andersen material Vinyl color Black  
(Provide window schedule on plan for new buildings, major additions)

**Window grills** (please check all that apply):  
true divided lights  exterior glued grills  grills between glass  removable interior  None

**Door** style and make: Craftsman material Vinyl Color: Black

**Garage Door,** Style Overhead Size of opening 8x9 ft Material Metal Color White

**Shutter** Type/Style/Material: n/a Color: \_\_\_\_\_

**Gutter** Type/Material: 4 in metal aluminum Color: White

**Deck** material: wood \_\_\_\_\_ other material, specify Composite w/ vinyl rail Color: White

**Skylight,** type/make/model/: Andersen PT frame material Vinyl Color: White Size: 2x3 ft

**Sign** size: n/a Type/Materials: \_\_\_\_\_ Color: \_\_\_\_\_

**Fence** Type (max 6' ) Style n/a material: \_\_\_\_\_ Color: \_\_\_\_\_

**Retaining wall:** Material: tbd

**Lighting,** freestanding Lampost existing on building tbd illuminating sign n/a

**OTHER INFORMATION:** \_\_\_\_\_

**THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED**

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

**Signed:** (plan preparer) \_\_\_\_\_ Print Name \_\_\_\_\_

**Town of Barnstable, Old Kings Highway Historic District Committee**

**CHECKLIST -- CERTIFICATE OF APPROPRIATENESS**

*Please check the applicable categories; This check list must be completed and submitted with your application.*

**1. ALTERATIONS (new paint color, changes to siding, roof shingles, windows or door etc.)**

- Application for Certificate of Appropriateness**, 5 copies.
- Spec Sheet**, 4 copies; brochures and color samples.
- Plans of building elevations/photographs, 5 copies, **ONLY** if there is a change to the location and size of the window (s) or door (s)

**2. MINOR ADDITIONS e.g. decks, shed (over 120 sq. feet)**

- Application for Certificate of Appropriateness**, 5 copies.
- Spec Sheet**, 5 copies; brochures and color samples.
- Site Plan**, 5 copies, **ONLY** if there is a change to the building footprint.  
A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, **UNLESS** the porch, deck, pool, or shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted, see requirements as applicable, see 4. Site Plan, below.
- Photographs** of all building elevation affected by any proposed alterations.
- Plans:** 5 copies plus 1 at reduced scale to fit 8.5 x 11 or 11 x 17 paper  
Company brochure of manufacturer's shed **OR** to-scale sketch of affected structure or building elevations.

**3. STRUCTURES, NEW/ALTERED (fences, new stonewalls or changes to, retaining walls, pools etc)**

- Application for Certificate of Appropriateness**
- Spec Sheet**, brochures or diagram.
- Site plan**, see Instructions 2. Site Plan, above.
- Photographs** of any existing structure that will be affected by change.

**4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING**

- Application for Certificate of Appropriateness** (5 copies).
- Spec Sheet**, 5 copies, brochures and samples of colors.
- Site Plan**, 5 copies, at an appropriate scale. & 5 copies of site plans at reduced scaled to fit 8.5”X11 or 11X17 paper  
**Site Plans shall contain the following:**
  - Name of applicant, street location, map and parcel.
  - Name of architect, engineer or surveyor; original stamp and signature; date of plan and revision dates.
  - North arrow, written and drawn scale.
  - Changes to existing grades shown with one-foot contours.
  - Proposed and existing footprint of the building and/or structures, and distance to lot lines.
  - Proposed driveway location.
  - Proposed limits of clearing for building(s), accessory structure(s), driveway and septic system.
  - Retaining walls or accessory structures (e.g. pool, tennis court, cabanas, barn, garage etc.)
- Building Elevations:**
  - 5 copies of plans at a scale of 1/4” = 1 foot; a written and drawn scale.
  - 5 copies of plans at a reduced scale to fit 8.5”x 11 or 11 x 17 paper.

**4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - CONTINUED**

**Plans shall include the following:**

- Name of applicant, street location, map and parcel.
- Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.
- A written and bar drawn scale
- Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- Window schedule on plans.

**Landscaping plan**, 5 copies drawn on a certified perimeter plan containing the following information:

- o Name of applicant, street address, assessor’s map and parcel number.

Name address and telephone number of the plan preparer, plan date, & dates of revisions

- The location of existing and proposed buildings and structures, and lot lines.
- Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
- Existing buffer areas to remain.
- Location and species of trees outside of buffer areas greater than 12” caliper to be retained or removed.
- The location, number, size and name of proposed new trees and plants.
- Driveway, parking areas, walkways, and patios indicating materials to be used.
- Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
- All proposed exterior lighting and signs.

**Sketch or photos of adjacent properties**, (1 copy only)

A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.

**Photographs of all sides of existing buildings** to remain, or being added to .

**Please complete the following:**

**Existing building, foot print:**

Building 1 1023 sq. ft. Building 2 \_\_\_\_\_

**Existing Building, gross floor area, including area of finished basement:**

Building 1 1615 sq. ft. Building 2 \_\_\_\_\_

**New building or addition, foot print:**

Building 1 2875 sq. ft. Building 2 \_\_\_\_\_

**New Building or addition, gross floor area, including area of finished basement:**

Building 1 3675 sq. ft. Building 2 \_\_\_\_\_

**5. SIGNS**

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

**6. SOLAR PANELS**

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

**7. FEES**

- Filing fee** according to schedule, made payable to the Town of Barnstable
- Legal ad fee \$19.84** check made payable to the Town of Barnstable for the required legal ad notification  
*Note the filing fee and legal ad fees need to be on separate checks. We apologize in advance for any inconvenience this may cause.*
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King’s Highway Office

**SIGNED** (plan preparer) \_\_\_\_\_ Print \_\_\_\_\_

Date: 7/26/21 Tel. Phone no’s: \_\_\_\_\_  
Email \_\_\_\_\_

**NOTE:** *The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS*

**ATTENDANCE AT MEETINGS:** *If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED*

**APPEAL PERIOD**

**APPROVED PLANS**

**PLAN PICK UP**

**There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk.** This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King’s Highway Committee. Plans approved by the Old King’s Highway Historic District Committee may be picked up at Planning & Development Department, 200 Main Street, Hyannis, after expiration of the 14 day “wait” period. If the 14<sup>th</sup> day falls on a Saturday, your plans will be available the afternoon of the following business day.

**DENIALS**

Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway Regional Historic District Commission.

**BUILDING PERMITS, OTHER AGENCY CONTACTS**

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.

*All certificates issued will expire one year from the date of issue, or upon the expiration date of any building permit issued for the work, whichever expiration date shall be later. The committee may renew any certificate for one additional year, providing the request for such renewal is received at least 30 days prior to the expiration date.*

**QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787**



Town of Barnstable, Planning & Development Department  
**Old King's Highway Historic District Committee**  
 200 Main Street, Hyannis, Massachusetts 02601  
 Phone 508.862.4787 Email [erin.logan@town.barnstable.ma.us](mailto:erin.logan@town.barnstable.ma.us)

**APPLICATION, CERTIFICATE OF APPROPRIATENESS FOR  
 DEMOLITION OR RELOCATION OF A BUILDING OR STRUCTURE  
 (including partial demolitions of buildings, structures; outbuildings, stonewalls, etc.)**

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date: 7/26/21 Address of Proposed work: Assessors Map and lot # 136 003  
 House # 29 Street Tillage Lane Village: West Barnstable

Demolition of:  house  part of house  Garage  barn  stable  commercial  stone wall  other

**Description of Proposed Work:** Demolish 3 bedroom 1960 cottage

If application is for removal to a different location, state where: na

**Please complete the following information:**

Square footage of footprint of building(s) to be demolished: Building 1: 1615 2: \_\_\_\_\_

Square footage of total floor area of building(s) to be demolished: Building 1: 1023 2: \_\_\_\_\_

**Owner:**

Owner (please print): Bradley Phipps Tel #: 508-277-7399

Owner's mailing address: 661 Main St Medfield, MA 02052

Signature of Owner: \_\_\_\_\_

*Note: All applications must be signed by the owner, or evidence of authority to act for the owner submitted*

**Contractor:**

Agent/Contractor (please print): John Claffey Tel #: 508-533-5031

Address: CLAFCO Builders Corp PO Box 1 Medway, MA 02053

Signature of Contractor/Agent: \_\_\_\_\_

**For Committee Use Only**



This Certificate is hereby **APPROVED/DENIED** Date: \_\_\_\_\_

Committee Members Signatures: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Conditions of approval: \_\_\_\_\_

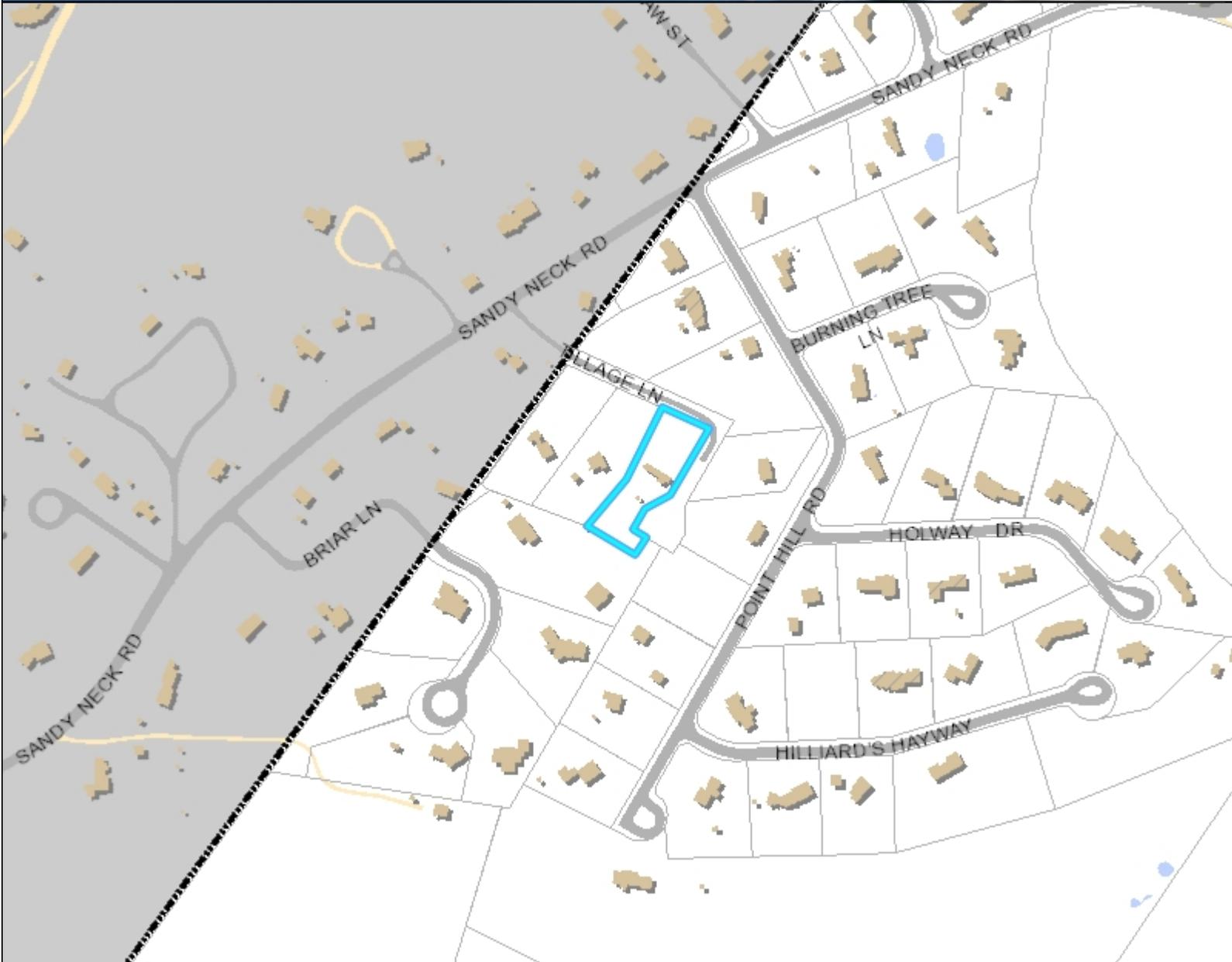
APPLICATION, CERTIFICATE OF APPROPRIATENESS FOR  
**DEMOLITION OR RELOCATION** OF A BUILDING OR STRUCTURE  
(including partial demolitions of buildings, structures; outbuildings, stonewalls, etc.)

**Check list**

- ✓ Application for Certificate of Appropriateness for Demolition or Removal, 4 copies
- ✓ Site plan, 4 copies,
- ✓ Photographs of all elevations of building(s), outbuilding(s) or stone walls being demolished.
- ✓ \$120 application fee, made payable to the Town of Barnstable
- ✓ \$19.84 Legal Ad fee, made payable to the Town of Barnstable
- ✓ **Kindly note the filing fee and legal ad fee need to be on separate checks**
- ✓ 1st Class Postage Stamps (contact OKH Admin for count) 5

*Note: A separate Certificate of Appropriateness is required for a relocation of a building or structure within the Barnstable Old Kings Highway Historic District.*

*All certificates issued will expire one year from the date of issue, or upon the expiration date of any building permit issued for the work, whichever expiration date shall be later. The committee may renew any certificate for one additional year, providing the request for such renewal is received at least 30 days prior to the expiration date.*



### Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Parking Lots
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
  - ▨ Bridge
  - Paved Median
- Water Bodies

Map printed on: 8/18/2021



Approx. Scale: 1 inch = 333 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, and may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

### Legend

Road Names



Map printed on: 8/18/2021



Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

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CertainFeed

# LANDMARK Designer Shingles

- Weathered Wood
- Birchwood
- Leather Blend
- Burnt Sienna
- Hunter Green
- Charcoal Black
- Moss Black
- Colonial Gray
- Teakwood
- Cottage Red
- Tuscan Slate

EXTERIOR COLOR CHARTS  
Exterior Color Charts

- White
- Cream
- Sandstone
- Terracotta
- Forest Green
- Dark Bronze
- Black

Andersen 

**IMPORTANT** Color chips are affected by the type and amount of light in which they're viewed, as well as the age of the chip. There may be slight differences between the color or sheen of the chip and the actual color of the product specified.

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## JamesHardie

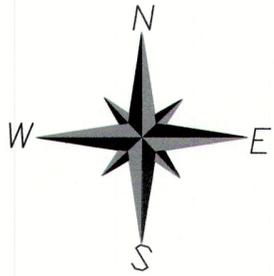
### Made For What Matters



## Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 136003

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

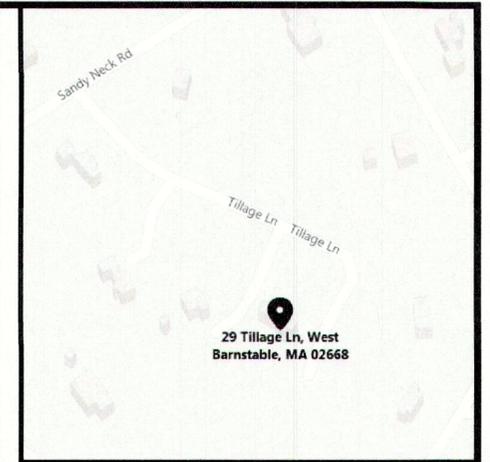
Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
136002	WHITE, PAUL M & DONNA M		P O BOX 717		WEST BARNSTABLE	MA	02668-0717
136003	PHIPPS, ANITA L & ESTATE OF WILLIAM L	PHIPPS, BRADLEY W & BETSY J	2313 WASHINGTON ST		HOLLISTON	MA	01746
136004	ANTONICELLI, ARLENE R & MURPHY, SHARON K		10312 KENSINGTON PKWY		KENSINGTON	MD	20895
136018	COOKE, MICHAEL P & ELYSIA E	%BBD GRIFFIN AVE LLC	99 CRESCENT AVENUE		CHELSEA	MA	02150
136019	TYNI, DONALD E & KATHLEEN J TRS	TYNI FAMILY REALTY TRUST	91 POINT HILL ROAD		WEST BARNSTABLE	MA	02668
136054001	BESS, JOEL F		12 BRIAR LN		WEST BARNSTABLE	MA	02668



# ZONING

RF  
 MINIMUM YARDS: FRONT 30' SIDE 15' REAR 15'

THE LOCUS IS LOCATED IN FLOOD ZONE X  
 AS SHOWN ON FIRM MAP 25001C0532J  
 DATED 7/16/14



LOCUS MAP

## DEED REFERENCE

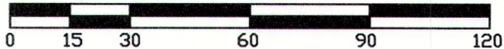
BARNSTABLE COUNTY  
 DEED BOOK 9691 PAGE 297

## PLAN REFERENCE

BARNSTABLE COUNTY  
 PLAN BOOK 209 PAGE 149



SCALE : 1" = 30'



THE BUILDING LOCATION SHOWN IS BASED ON AN INSTRUMENT SURVEY.

*Richard Servant*  
 PROFESSIONAL LAND SURVEYOR  
 REV. 5-26-21

Drawn For : Brad and Betsy Phipps

**CERTIFIED LOCATION PLAN**  
**SHOWING EXISTING & PROPOSED HOUSE**  
 29 TILLAGE LANE  
 WEST BARNSTABLE, MA  
 PARCEL 136-003

### Revisions

No.	Date	Description
1	5-26-21	added proposed grading

Drawn By : NW/LT

Checked By : RVS

Scale : 1"=30'

Date : 4/7/2021

Job No. : 8933

Plan No. : 8933\_CLP

**STENBECK & TAYLOR, INC.**  
 Registered Professional Engineers and Land Surveyors

Since 1951



844 Webster Street  
 Suite 3  
 Marshfield, Ma. 02050  
 781-834-8591  
 Fax: 781-837-8238  
 www.stenbeckandtaylor.com

PROGRESS PRINT-NOT FOR CONSTRUCTION

SEE SHEET A1 FOR DRAWING INDEX

IF PRINTED ON 11X17, ALL SCALE IS HALF.

CONTRACTOR TO VERIFY ALL DIMENSIONS AND SETBACKS PRIOR TO CONSTRUCTION

# PHIPPS RESIDENCE

29 TILLAGE LANE  
BARNSTABLE, MA 02668

**OWNER:**

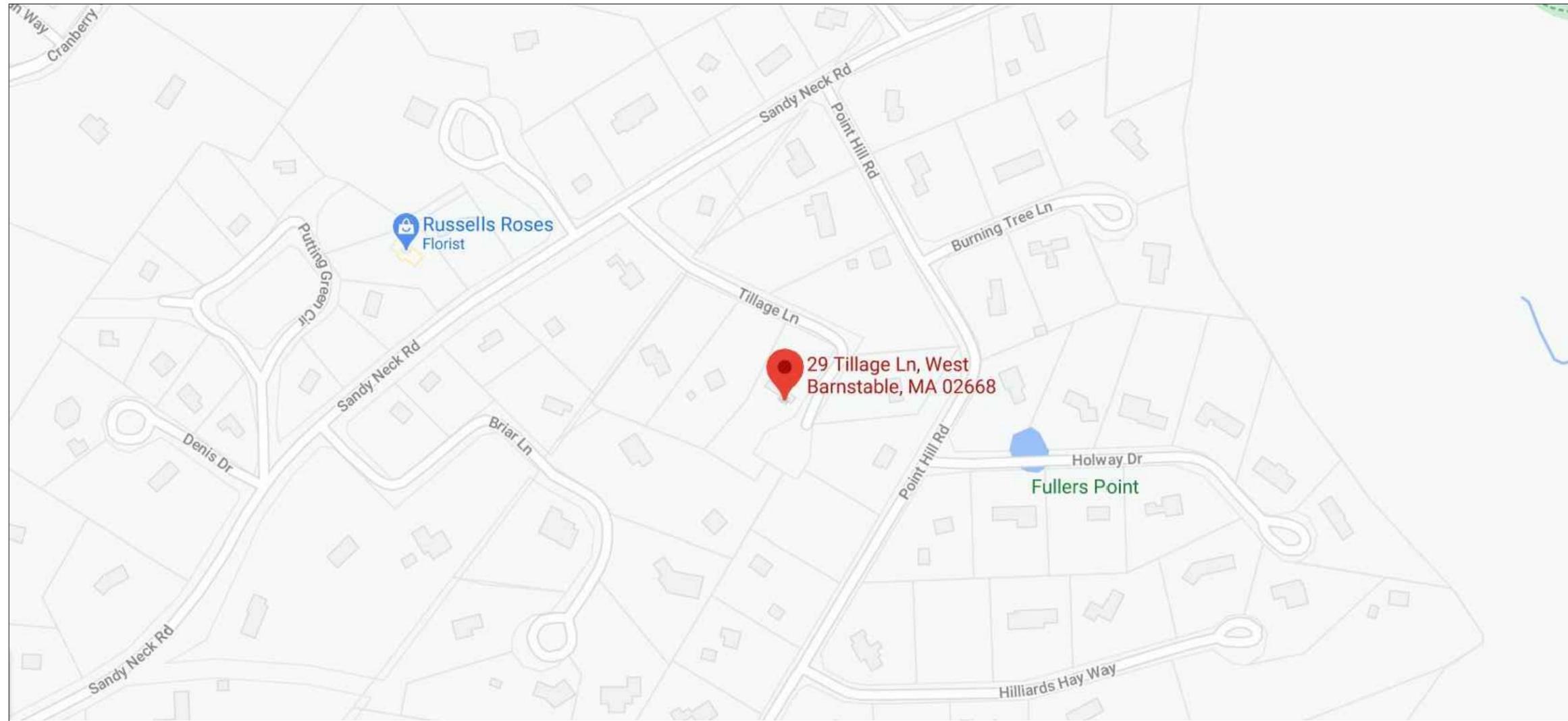
BRAD & BETSY PHIPPS  
29 TILLAGE LANE  
BARNSTABLE, MA 02668  
CELL:  
EMAIL:

**DESIGNER:**

ROCKWOOD DESIGN, INC.  
1020 PLAIN STREET - SUITE 320  
MARSHFIELD, MA 02050  
PHONE: (781)-837-3140  
FAX: (781)-837-3126  
EMAIL: PHIL@ROCKWOODDESIGN.COM  
WEBSITE: WWW.ROCKWOODDESIGN.COM

**STRUCTURAL ENGINEER:**

PROGRESS PRINT-NOT FOR CONSTRUCTION

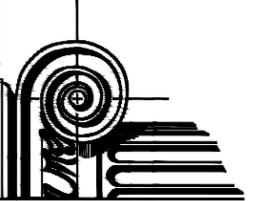


LOCUS MAP

PERMIT SET - 7/15/2021

**Rockwood Design, Inc.**

1020 Plain Street - Suite 320  
Marshfield, MA 02050  
Phone: (781)-837-3140  
Fax: (781)-837-3126  
Email: phil@rockwooddesign.com  
Website: www.rockwooddesign.com



PROGRESS PRINT-NOT FOR CONSTRUCTION

ANY DEVIATION FROM THESE PLANS  
REQUIRING ROCKWOOD DESIGN INC.  
TO ACQUIRE STRUCTURAL REDESIGN FOR  
BUILDING DEPARTMENT SIGN-OFFS WILL BE  
BILLED TO CLIENT ON AN HOURLY BASIS.

SEE SHEET A1 FOR DRAWING INDEX  
IF PRINTED ON 11X17, ALL SCALE IS HALF.  
PLEASE REFER TO ENGINEERING PACKET  
FOR ALL STRUCTURAL DETAILS

GENERAL NOTES:

- GENERAL CONTRACTOR TO CONFORM TO ALL LOCAL AND STATE BUILDING CODE REQUIREMENTS.
- GENERAL CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWINGS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE ENGINEER IS RESPONSIBLE ONLY FOR INFORMATION SHOWN ON THE CERTIFIED ENGINEER'S DRAWINGS. THE DESIGN AND LAYOUT OF ALL OTHER INFORMATION IS THE RESPONSIBILITY OF OTHERS AND MUST CONFORM TO THE MASSACHUSETTS BUILDING CODE REQUIREMENTS. REFER TO STRUCTURAL ENGINEERING BY OTHERS FOR CERTIFIED BEAM CALCULATIONS AND CERTIFIED WIND DESIGN DETAILS.
- ALL HEATING, PIPING, INSULATION, ELECTRICAL, FIREPROOFING AND OTHER REQUIREMENTS ARE THE RESPONSIBILITIES OF OTHERS.
- NOTIFY THE ENGINEER OF ANY ARCHITECTURAL MODIFICATIONS OR DIMENSION CHANGES THAT MAY AFFECT THE STRUCTURAL DESIGN.

STRUCTURAL STEEL NOTES:

- ALL STEEL BEAMS SHALL BE NEW STEEL CONFORMING TO THE A.I.S.C. SPECIFICATIONS FOR DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AND A.S.T.M. GRADE 50. ALL CAP AND BASE PLATES AND OTHER MISCELLANEOUS STEEL MAY BE A.S.T.M. GRADE A36.
- ALL SCHEDULE 40 PIPE SHALL BE NEW STEEL CONFORMING TO THE A.I.S.C. SPECIFICATIONS FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AND A.S.T.M. SPECIFICATION A53, TYPE "E" OR "S", GRADE "B", WITH A MINIMUM YIELD STRESS OF 35 K.S.I.
- ALL SHOP AND FIELD WELDS SHOWN SHALL BE MADE BY APPROVED CERTIFIED WELDERS AND SHALL CONFORM TO THE A.I.S.C. CODE FOR BUILDINGS. ALL WELDS SHALL DEVELOP THE FULL STRENGTH OF THE MATERIAL BEING WELDED. USE EXX 10 ELECTRODES.
- NO PERMANENT CONNECTIONS SHOULD BE MADE UP UNTIL THE STRUCTURE HAS BEEN PROPERLY ALIGNED. PROVIDE TEMPORARY BRACING AS REQUIRED.
- STEEL FABRICATOR IS RESPONSIBLE FOR FINAL LENGTHS, CONNECTION DETAILS AND DESIGN IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST EDITION OF THE A.I.S.C. DETAILING MANUAL. SUBMIT SHOP DRAWINGS WITH ALL DETAILS TO THE GENERAL CONTRACTOR PRIOR TO FABRICATION.
- USE 1/2" MINIMUM CAP PLATE AND BASE PLATES (6X6 MINIMUM) FULLY WELDED ALL AROUND AT COLUMNS WITH 3/16" FILLET WELD, OR AS OTHERWISE SPECIFIED ON THE DRAWINGS. ALL STEEL COLUMN EXTERIOR BASE PLATE SHALL BE BOLTED TO THE CONCRETE FOUNDATIONS WITH 4-5/8" DIAMETER ANCHOR BOLTS.
- ALL STEEL SHALL HAVE TWO COATS OF RUST-INHIBITOR PRIMER PAINT. TOUCH UP ALL WELDS, SCRATCHES OR SCRAPES IN PAINT AFTER ERECTION.
- STEEL BEAM MAY BE SPICED AT STEEL COLUMN CAP PLATE WITH A MAXIMUM GAP BETWEEN BEAMS OF 1/4". USE 1/4" TIE PLATE WELDED TO WEBS.
- FRAME JOISTS TO TOP OF BEAM ON A 2X8 TOP NAILER THRU-BOLTED WITH 1/2" DIAMETER BOLTS STAGGERED AT 24" O.C. JOISTS TO BE ANCHORED TO THE TOP NAILER WITH SIMPSON H4 HURRICANE CLIPS. FLUSH FRAME JOISTS TO THE FULL DEPTH WEB BLOCKING FASTENED TO THE BEAM WITH 1/2" DIAMETER THRU-BOLTS AT 24" O.C. STAGGERED TOP AND BOTTOM.

FRAMING NOTES:

- ALL FRAMING LUMBER SHALL BE S.P.F. (SPRUCE-PINE-FIR) GRADE N/N2 OR APPROVED EQUAL (UNLESS OTHERWISE SPECIFIED) AND SHALL MEET THE REQUIREMENTS OF THE AMERICAN FOREST AND PAPER ASSOCIATION. THE MINIMUM ALLOWABLE BENDING STRESS (FB) SHALL BE 875 P.S.I. THE MINIMUM ALLOWABLE COMPRESSION STRESS (FC) SHALL BE 425 P.S.I. THE MINIMUM ALLOWABLE MODULUS OF ELASTICITY (E) SHALL BE 1,400,000 P.S.I. OTHER FRAMING MATERIAL FOR INTERIOR NON-LOAD BEARING STUDS MAY BE SUBSTITUTED ONLY UPON APPROVAL OF THE ENGINEER.
- ALL PRESSURE TREATED (CCA TREATED) DIMENSIONAL FRAMING LUMBER SHALL BE SOUTHERN YELLOW PINE GRADE NO. 2. THE MINIMUM ALLOWABLE BENDING STRESS (FB) SHALL BE 1,050 P.S.I. THE MINIMUM ALLOWABLE COMPRESSION STRESS (FC) SHALL BE 565 P.S.I. THE MINIMUM ALLOWABLE MODULUS OF ELASTICITY (E) SHALL BE 1,600,000 P.S.I.
- ALL LVL'S TO BE MANUFACTURED BY TRUS JOIST, GEORGIA PACIFIC OR APPROVED EQUAL. THE MINIMUM ALLOWABLE BENDING STRESS (FB) SHALL BE 2,900 P.S.I. THE MINIMUM ALLOWABLE COMPRESSION STRESS (FC) PERPENDICULAR TO THE GRAIN SHALL BE 150 P.S.I. THE MINIMUM ALLOWABLE MODULUS OF ELASTICITY (E) SHALL BE 2,000,000 P.S.I. ALL PARALAM'S EXPOSED TO THE WEATHER SHALL BE PRESSURE TREATED (CCA TREATED). INSTALL MICROLAM'S AND PARALAM'S IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. PARALLAM (LAM) POSTS SHALL HAVE AN ALLOWABLE COMPRESSION STRESS 2900 PSI AND A MODULUS OF ELASTICITY OF 2,000,000 P.S.I.
- USE 3/4" TONGUE AND GROOVE STRUCTURAL GRADE FIT PLYWOOD FLOOR SHEATHING, 5/8" EXTERIOR STRUCTURAL GRADE FIR (C.D.X) PLYWOOD ROOF SHEATHING AND 1/2" EXTERIOR STRUCTURAL GRADE FIR (C.D.X) AT WALLS. ALL JOINTS SHALL BE BLOCKED WITH LUMBER OR OTHER APPROVED SUPPORTS.
- ALL EXTERIOR AND INTERIOR STUD WALLS TO BE 2X4 MINIMUM @ 16" O.C. UNLESS NOTED OTHERWISE.
- PROVIDE ADEQUATE WALL RESISTANCE TO RAKING BY DIAGONAL CORNER WIND BRACING ANCHORED TO SILL PLATES.
- PROVIDE SOLID BLOCKING BETWEEN FLOOR JOISTS AND/OR DOUBLE ALL JOISTS UNDER EACH PARTITION.
- USE FULLY NAILED METAL CONNECTORS (TECO, SIMPSON OR EQUAL), JOIST OR BEAM HANGERS WHEN JOISTS OR BEAMS FRAME INTO OTHER JOISTS OR BEAMS. PROVIDE METAL POST CAPS AND BASES FOR ALL POSTS.
- FOR NONBEARING ROUGH WINDOW OPENINGS AND INTERIOR DOOR OPENINGS UP TO 3 FEET, USE 2-2X6 HEADER BEAMS. FROM 3 FEET TO 5 FEET, USE 2-2X8 HEADER BEAMS AND FROM 5 FEET TO 7 FEET, USE 2-2X10 HEADER BEAMS AND USE LVL'S FOR SPANS EXCEEDING 1 FEET, EXCEPT AS NOTED OTHERWISE ON THE PLANS OR SPECIFICATIONS. USE TRIPLES FOR 2X6 WALLS. IF LVL'S ARE SPECIFIED ON THE PLANS, PROVIDE DOUBLE JACK STUD SUPPORTS OR AS OTHERWISE SPECIFIED ON THE PLAN.
- ALL FRAMING TO BE INSTALLED IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE REQUIREMENTS AND GENERAL FRAMING PRACTICE AS DETAILED IN THE "ARCHITECTURAL GRAPHICS STANDARDS", BY RAMBEY & SLEEPER.
- ALL PLYWOOD FLOOR SHEATHING SHALL BE GLUED TO SUPPORTING WOOD FRAMING MEMBERS USING AMERICAN PLYWOOD ASSOCIATION (A.P.A.) GLUED FLOOR SYSTEM. WOOD GLUE TO BE CONTECH, INC. PL400 SUBFLOOR CONSTRUCTION ADHESIVE, OR APPROVED EQUAL.
- ALL WALL STUDS TO ALIGN WITH FLOOR JOISTS AND ROOF RAFTERS.
- THE CROSS WALLS AND TIE BEAMS ARE TO PROVIDE THE LATERAL RESTRAINT FOR THE BUILDINGS AND SHOULD BE SECURELY ATTACHED AT EACH END AND/OR TO THE EXTERIOR WALLS.
- BUILT-UP BEAMS (3 PIECES MAXIMUM) USING CONVENTIONAL FRAMING LUMBER SHALL BE FULLY SPIKED TOGETHER WITH 2-10D NAILS AT 8" O.C. AND LVL'S WITH 2-16D NAILS (TOP AND BOTTOM) AT 8" O.C. OR AS OTHERWISE NOTED ON THE DRAWINGS, OR AS RECOMMENDED BY THE MANUFACTURER.
- ALL NAILS, FASTENERS AND CONCRETE EXPOSED TO THE WEATHER SHALL BE HOT-DIP GALVANIZED.
- ALL LUMBER THAT COMES IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

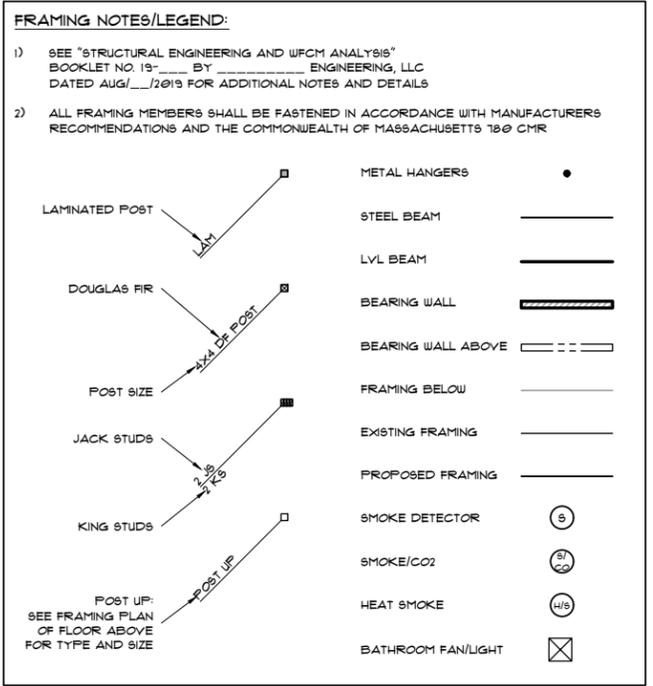
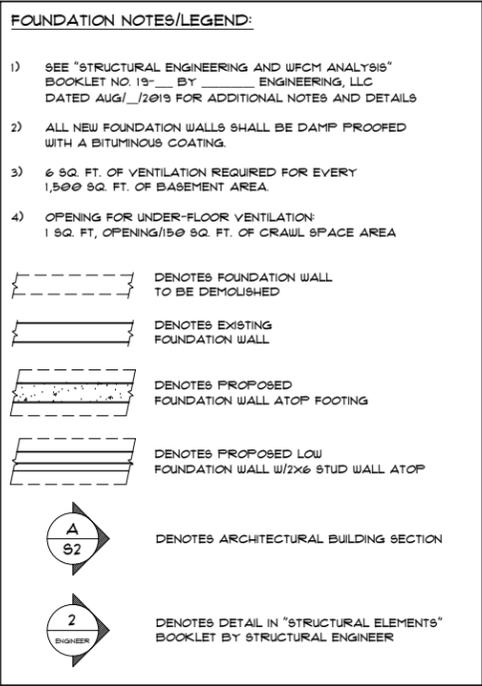
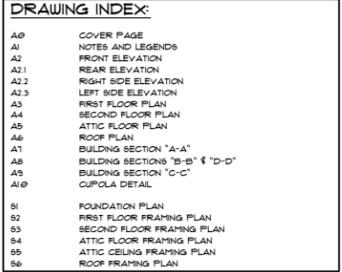
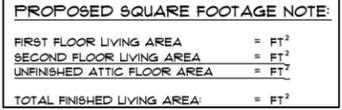
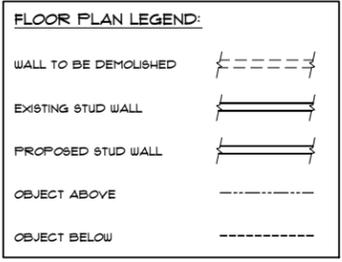
FOUNDATION & CONCRETE NOTES:

- SPREAD FOOTINGS SHALL BEAR LEVEL ON UNDISTURBED SOIL HAVING AN ALLOWABLE BEARING CAPACITY OF TWO TONS PER SQUARE FOOT.
- IF BEARING MATERIALS WITH A LOWER BEARING CAPACITY THAN TWO TONS PER SQUARE FOOT ARE ENCOUNTERED AT THE SPECIFIED ELEVATIONS, THE UNDERLYING UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL TO BE APPROVED BY THE ENGINEER/ARCHITECT.
- THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE VALIDITY OF SUBSURFACE CONDITIONS.
- NO FOUNDATION SHALL BE PLACED IN WATER OR ON FROZEN GROUND.
- FOOTINGS SHALL BE PROTECTED AGAINST FROST UNTIL PROJECT IS COMPLETED.
- BACKFILL UNDER ANY PORTION OF THE FOOTINGS AND SLABS SHALL BE COMPACTED IN 6" LIFTS OF 95% COMPACTED GRAVEL AS APPROVED BY THE ENGINEER.
- CONCRETE WORK SHALL CONFORM TO THE LATEST AMERICAN CONCRETE INSTITUTE CODE FOR "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS".
- CONCRETE FOUNDATION WALLS AND FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I. AT 28 DAYS AND 3,500 P.S.I. FOR SLABS, WITH A SLUMP OF NO MORE THAN 4" AND AIR ENTRAINMENT OF 4-6%. THE USE OF CALCIUM CHLORIDE IS NOT PERMITTED. PROVIDE PROPER CONCRETE PROTECTION FOR HEAT IN COLD WEATHER AND MAINTAIN PROPER CURING PROCEDURES IN ACCORDANCE WITH THE A.C.I.
- STEEL REINFORCEMENT SHALL CONFORM TO A.S.T.M. 605, GRADE 60.
- ALL CONCRETE SLABS ON THE GROUND SHALL BE REINFORCED WITH 6X6-10/10 (MIN) WELDED WIRE FABRIC PLACED AT MID-DEPTH, OR AS OTHERWISE SHOWN ON THE DRAWINGS. WELDED WIRE FABRIC REINFORCEMENT SHALL CONFORM TO A.S.T.M. A185, AND SHALL LAP 6" MINIMUM OR ONE SPACE, WHICHEVER IS LARGER, AND SHALL BE WIRED TOGETHER. PROVIDE SUFFICIENT CHAIR OR SUPPORT BARS AS NECESSARY TO POSITION WELDED WIRE FABRIC.
- WHERE CONTINUOUS BARS ARE CALLED FOR THEY SHALL BE RUN CONTINUOUSLY AROUND CORNERS AND LAPPED AT NECESSARY SPICES OR HOOKED AT DISCONTINUOUS ENDS. LAPS SHALL BE 40 BAR DIAMETERS, UNLESS OTHERWISE SHOWN.
- NOTIFY BUILDING DEPARTMENT FOR INSPECTION OF COMPLETED INSTALLATION OF REINFORCEMENT AT LEAST 24 HOURS PRIOR TO SCHEDULED PLACEMENT OF CONCRETE.
- PLACEMENT OF CONCRETE POURS FOR FOUNDATION WALLS SHOULD HAVE A VERTICAL 2"x4" KEY WITH CONTINUOUS REINFORCING (40 BAR DIAMETER MINIMUM) THRU THE CONSTRUCTION JOINT.
- ALL REINFORCING BARS SHALL BE COLD BENT IN ACCORDANCE TO THE PROPER RADI ESTABLISHED BY THE AMERICAN CONCRETE INSTITUTE. UNDER NO CONDITIONS SHALL HEAT BE APPLIED TO THE BARS TO OBTAIN BENDS.
- THE USE OF CONTROL JOINTS IN THE SLAB IS RECOMMENDED TO CONTROL CRACKING. SAW CUT TO A DEPTH ONE HALF INCH NOT TO EXCEED 10 FEET BY 10 FEET.
- DAMP PROOF ALL FOUNDATION WALLS BELOW GRADE, OTHER THAN FROST WALLS.

(WINDOWS SHOWN FOR ESTIMATING AND PERMITTING ONLY  
FINAL ORDER TO BE VERIFIED AND APPROVED BY OWNER)

WINDOW SCHEDULE						
QUANTITY	ID LETTER	MANUFACT.	MODEL	TYPE	ROUGH OPENING	COMMENTS
8	A	ANDERSEN	TW 2032	DOUBLE HUNG	2'-2 1/8" W X 3'-4 1/8" H	
1	B	ANDERSEN	TW 2646-2	MULLED DOUBLE HUNG	SEE SUPPLIER	
1	C	ANDERSEN	TW 2646-3	MULLED DOUBLE HUNG	SEE SUPPLIER	
4	D	ANDERSEN	TW 2846-3	MULLED DOUBLE HUNG	SEE SUPPLIER	
3	E	ANDERSEN	TW 2646	DOUBLE HUNG	2'-8 1/8" W X 4'-8 1/8" H	
3	F	ANDERSEN	TW 21046	DOUBLE HUNG	3'-0 1/8" W X 4'-8 1/8" H	
2	G	ANDERSEN	TW 2846	DOUBLE HUNG	2'-10 1/8" W X 4'-8 1/8" H	
2	H	ANDERSEN	AR 251	AWNING	2'-4 1/8" W X 4'-5 1/2" H	
2	J	ANDERSEN	TW 2642	DOUBLE HUNG	2'-8 1/8" W X 4'-4 1/8" H	
2	K	ANDERSEN	TW 2442-2	MULLED DOUBLE HUNG	SEE SUPPLIER	
TOTAL						28

EXTERIOR DOOR SCHEDULE						
QUANTITY	ID LETTER	MANUFACT.	MODEL	TYPE	ROUGH OPENING	COMMENTS
1	1	BY OWNER	6'-0" X 7'-0" W/ 12" SD LTS	HINGED INSUWING	SEE SUPPLIER	
3	2	BY OWNER	2'-8" X 7'-0"	HINGED INSUWING	SEE SUPPLIER	
2	3	ANDERSEN	FUG 6068 L	GLIDING PATIO DOOR	6'-0" W X 6'-8" H	
2	4	BY OWNER	9'-0" X 8'-0"	OVERHEAD DOOR	SEE SUPPLIER	
1	5	ANDERSEN	FWH 5068 APLR	FRENCH DOOR	4'-11 1/4" W X 6'-1 1/2" H	
TOTAL						9



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PROJECT: Betsy & Brad Phipps  
 29 TILLAGE LANE  
 BARNSTABLE MA, 02668

Rockwood Design, Inc.  
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 Fax: (781)-837-3126  
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 Website: www.rockwooddesign.com

DATE: 7/15/2021  
 DRAWN BY: KAS & JT  
 CHECKED BY:  
 SCALE: AS SHOWN

TITLE: NOTES AND LEGENDS

DESCRIPTION: [Blank]

REVISION: [Blank]

DATE: [Blank]

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SEE SHEET A1 FOR DRAWING INDEX  
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FRONT ELEVATION  
SCALE: 1/4"=1'-0"

REVISION	DATE	DESCRIPTION

TITLE  
ELEVATIONS

PROJECT:  
BETSY & BRAD PHIPPS  
29 TILLAGE LANE  
BARNSTABLE MA, 02668

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**A2**  
OF A8

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OF A8

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A2.2  
OF A8

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REVISION	DATE	DESCRIPTION

TITLE	ELEVATIONS
PROJECT:	BETSY & BRAD PHIPPS 29 TILLAGE LANE BARNSTABLE MA, 02668
DATE	11/15/2021
DRAWN BY:	KAS & JT
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SCALE	AS SHOWN

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OF A8

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SEE SHEET A1 FOR DRAWING INDEX

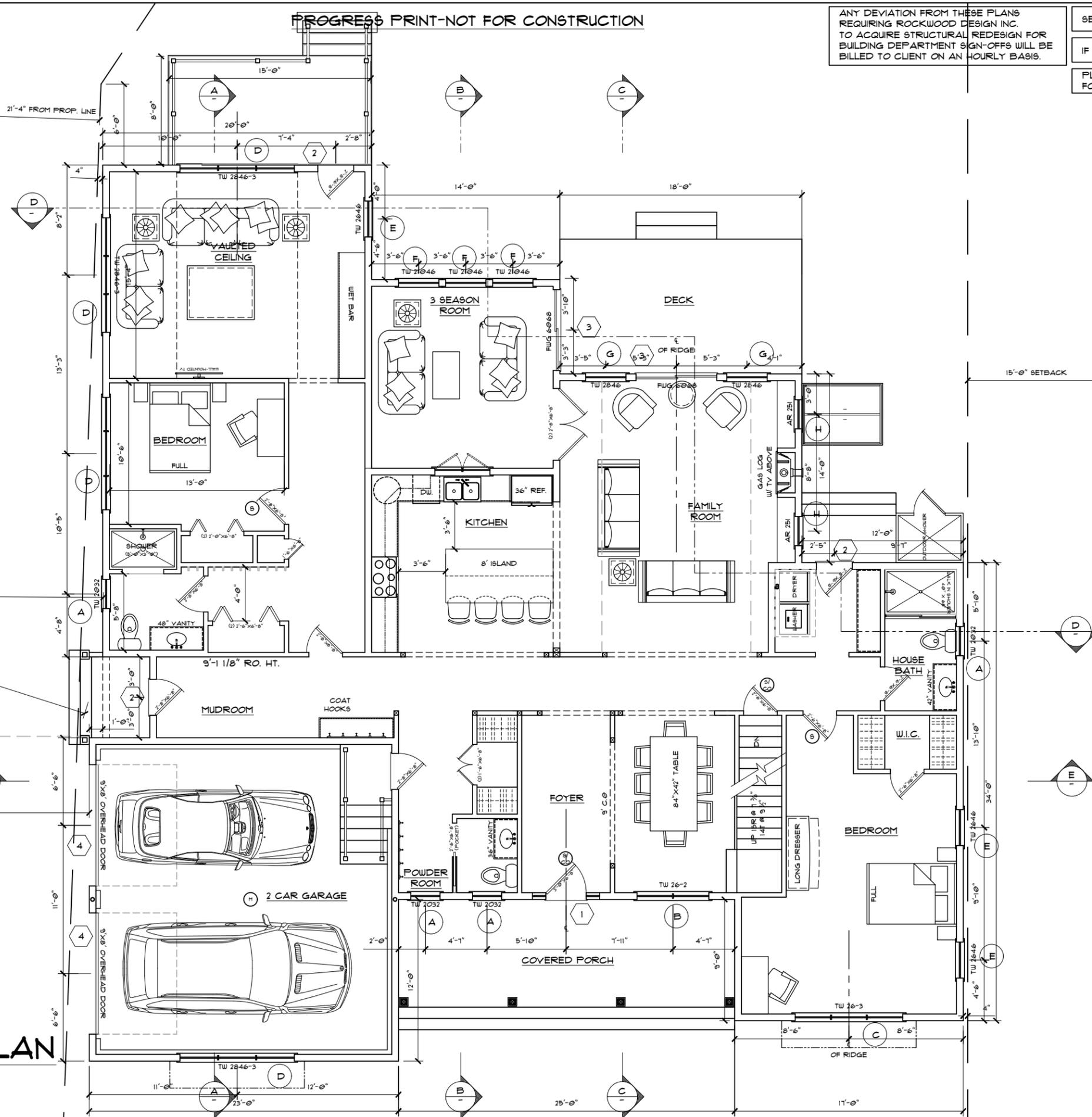
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# FIRST FLOOR PLAN

SCALE 1/4"=1'-0"



PERMIT SET - 7/15/2021

PROJECT:	BETSY & BRAD PHIPPS
TITLE:	PROPOSED FIRST FLOOR PLAN
DATE:	7/15/2021
DRAWN BY:	KAS & JT
CHECKED BY:	
SCALE:	AS SHOWN
DESCRIPTION:	
REVISION:	
DATE:	

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A3  
OF A8









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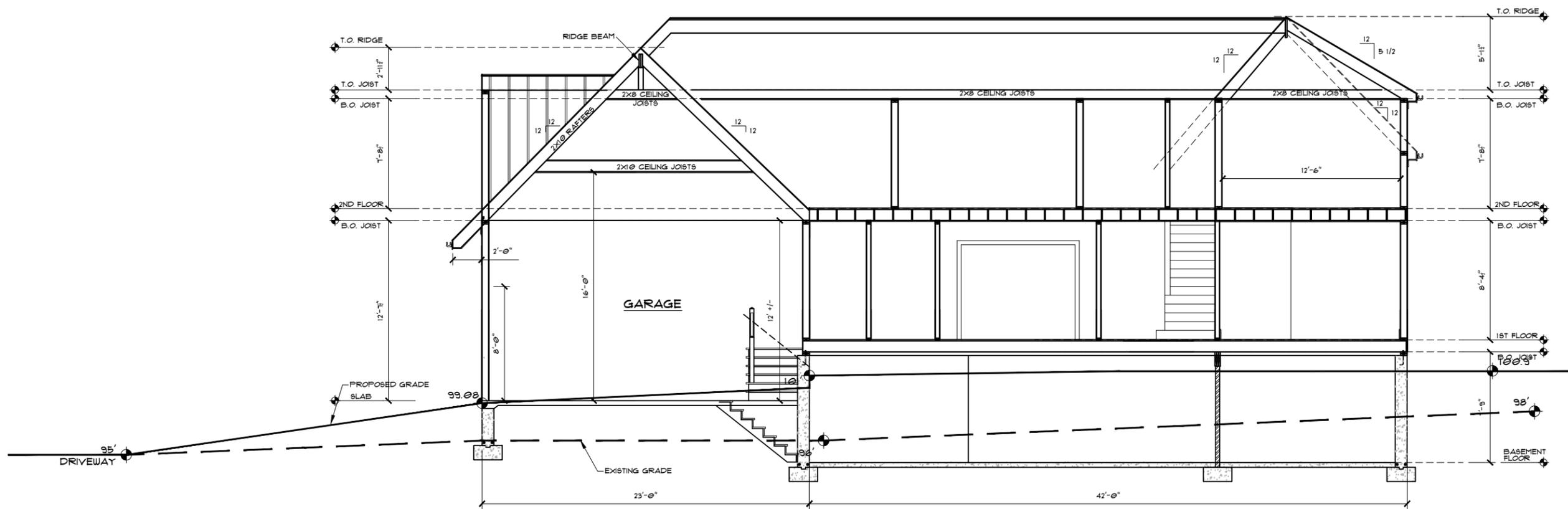
ANY DEVIATION FROM THESE PLANS  
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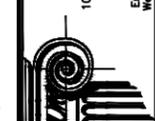
SECTION "E-E"  
SCALE: 1/4"=1'-0"

REVISION	DATE	DESCRIPTION

TITLE  
BUILDING SECTION "B-B"

PROJECT:  
BETSY & BRAD PHIPPS  
29 TILLAGE LANE  
BARNSTABLE MA, 02668

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SCALE: AS SHOWN

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A8  
OF A8



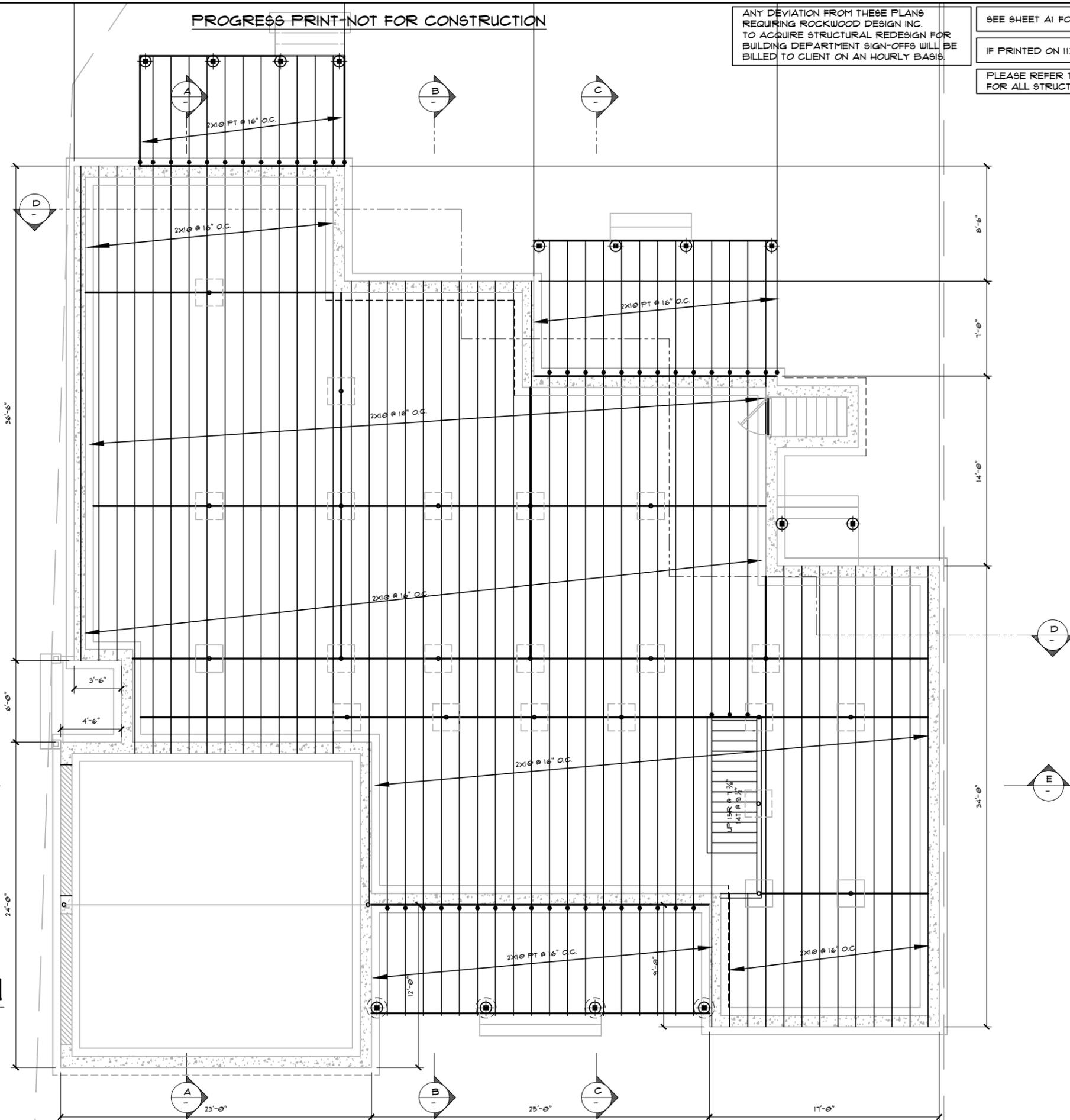


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# FIRST FLOOR FRAMING PLAN

SCALE 1/4"=1'-0"

EXISTING WELL



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TITLE  
FIRST FLOOR FRAMING PLAN

PROJECT:  
BETSY & BRAD PHIPPS  
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BARNSTABLE MA, 02668

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DATE: 1/15/2021  
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SCALE: AS SHOWN

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S3  
031

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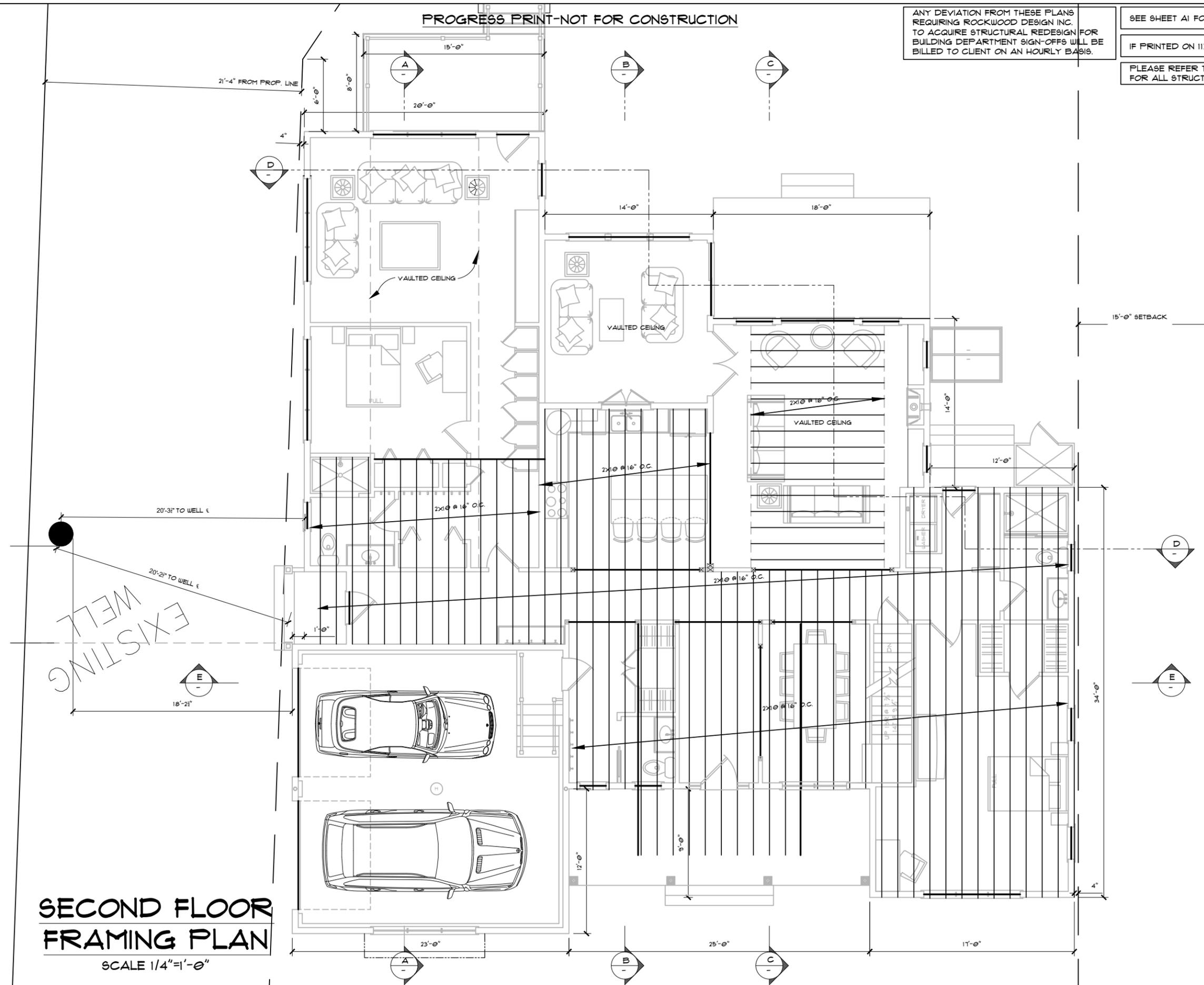
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FOR ALL STRUCTURAL DETAILS

REVISION	DATE	DESCRIPTION



**SECOND FLOOR  
FRAMING PLAN**  
SCALE 1/4"=1'-0"

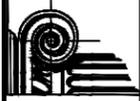
EXISTING  
WELL

PERMIT SET - 7/15/2021

TITLE  
SECOND FLOOR FRAMING PLAN

PROJECT:  
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DATE  
7/15/2021

DRAWN BY:  
KAS & JT

CHECKED BY:

SCALE  
AS SHOWN

SCALE  
AS SHOWN

SCALE  
AS SHOWN

**S4**  
031

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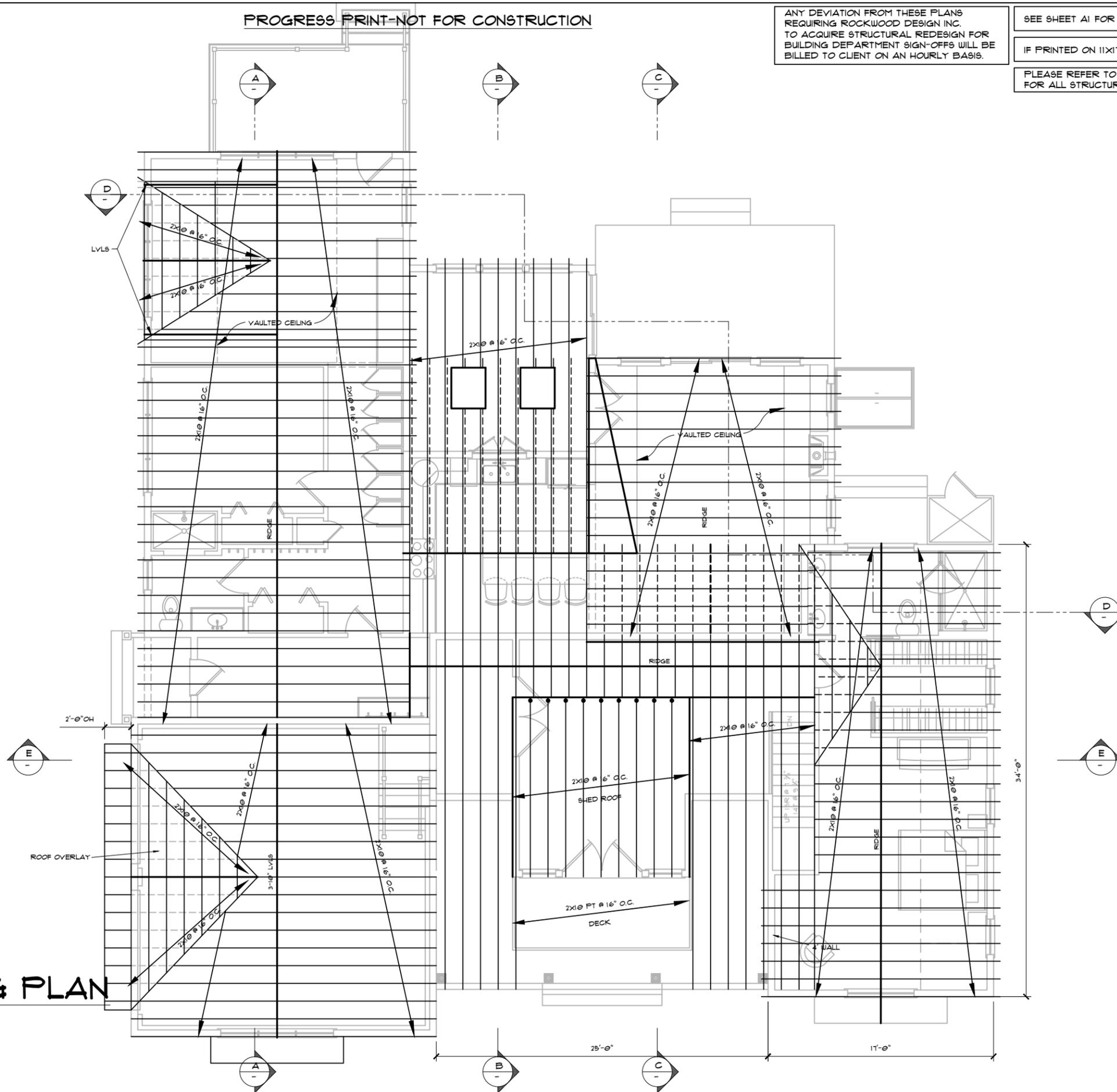
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# ROOF FRAMING PLAN

SCALE 1/4"=1'-0"



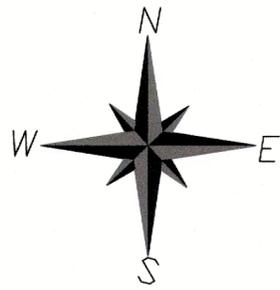
PERMIT SET - 7/15/2021

PROJECT:	BETSY & BRAD PHIPPS 29 TILLAGE LANE BARNSTABLE MA, 02668
DATE:	7/15/2021
DRAWN BY:	KAS & JT
CHECKED BY:	
SCALE:	AS SHOWN
TITLE:	ROOF FRAMING PLAN
DESCRIPTION:	
REVISION:	
DATE:	

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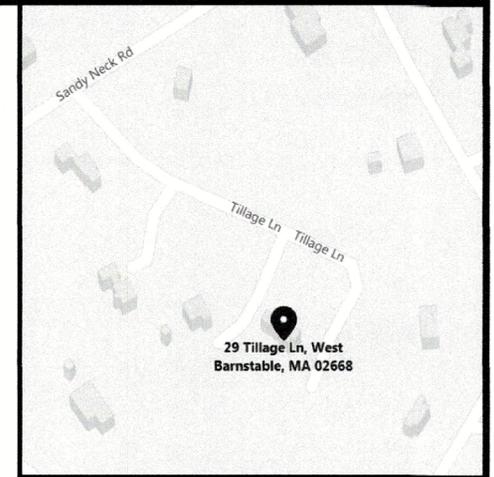
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051



# ZONING

RF  
 MINIMUM YARDS: FRONT 30' SIDE 15' REAR 15'

THE LOCUS IS LOCATED IN FLOOD ZONE X  
 AS SHOWN ON FIRM MAP 25001C0532J  
 DATED 7/16/14



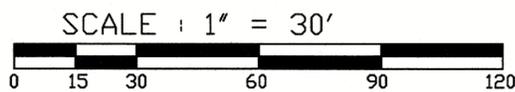
LOCUS MAP

## DEED REFERENCE

BARNSTABLE COUNTY  
 DEED BOOK 9691 PAGE 297

## PLAN REFERENCE

BARNSTABLE COUNTY  
 PLAN BOOK 209 PAGE 149



THE BUILDING LOCATION SHOWN IS BASED ON AN INSTRUMENT SURVEY.

*[Signature]* 8-18-21  
 PROFESSIONAL LAND SURVEYOR

Drawn For : Brad and Betsy Phipps  
**CERTIFIED LOCATION PLAN**  
**SHOWING EXISTING & PROPOSED HOUSE**  
 29 TILLAGE LANE  
 WEST BARNSTABLE, MA  
 PARCEL 136-003

Revisions		
1	5-26-21	added proposed grading
2	8-18-21	added wetland resource areas

Drawn By : NW/LT  
 Checked By : RVS  
 Scale : 1"=30'  
 Date : 4/7/2021  
 Job No. : 8933  
 Plan No. : 8933\_CLP

**STENBECK & TAYLOR, INC.**  
 Registered Professional Engineers and Land Surveyors

Since 1951

844 Webster Street  
 Suite 3  
 Marshfield, Ma. 02050  
 781-834-8591  
 Fax: 781-837-8238  
 www.stenbeckandtaylor.com

# LOVE ALBRECHT HOWARD G A R D E N S

phone 781.424.7176

Everyone deserves a bit of earth to call their own ...



**To:** Old Kings Highway Commission  
**Date:** August 21, 2021  
**Re:** Proposed Plan for 29 Tillage Road, Barnstable

## Applicant Information:

- Anita Phipps and family, 29 Tillage Lane, Barnstable
- Map and Parcel – 136-003

## Plan Preparer:

- Love Albrecht Howard, professional landscape designer  
735 Long Pond Road, Plymouth 02360  
781.424.7176 [alovea@comcast.net](mailto:alovea@comcast.net)  
MA Construction Supervisor License #106185  
MA Home Improvement Contractor License #184637  
MA Certified: Wetlands Compliance; Invasives Control
- Site Plan Date: 8/18/2021 by Stenbeck & Taylor

## Attached please find the following information:

- Site Plan showing existing and proposed house, topo, wetlands and buffers. Site plan also shows one tree to remove – 20" Norway Maple.
- Artists rendition of completed house.
- List of proposed plantings, primarily native species.
- Lighting will be sconce lights at the front and rear doors and garage entry. All fixtures will be dark-sky compliant.
- There will be no signage save street numbers on the house.

Do not hesitate to call with questions. Thank you!

Respectfully submitted,

  
Love Albrecht Howard for Anita Phipps and applicants

Site Plan by Stenbeck & Taylor showing existing and proposed homes, driveway, wetlands. Note there is \*no\* proposed work within the 50' wetlands buffer. See full site plan, attached.



**Plants Proposed for Replanting around the New Residence:**

<u>Trees:</u>	<i>Acer rubrum</i> – Red Maple	1
	<i>Cornus florida</i> – White Flowering Dogwood	2
	<i>Magnolia virginiana</i> – Sweetbay Magnolia	2
 <u>Shrubs:</u>	 <i>Ilex glabra</i> ‘Gem Box’ - Inkberry	 18
	<i>Hydrangea arborescens</i> – Mountain Hydrangea	8
	<i>Hydrangea quercifolia</i> – Oakleaf Hydrangea	7
	<i>Vaccinium angustifolium</i> – Low Bush Blueberry	12
 <u>Herbaceous:</u>	 <i>Amsonia hubrichtii</i> – Bluestar	 12
	<i>Pycnanthemum muticum</i> – Mountain Mint	9
	<i>Symphotrichum novae-angliae</i> – New England Aster	8
	<i>Tiarella cordifolia</i> – Foamflower	26

**ZONING**

RF  
MINIMUM YARDS: FRONT 30' SIDE 15' REAR 15'

THE LOCUS IS LOCATED IN FLOOD ZONE X  
AS SHOWN ON FIRM MAP 2500100532U  
DATED 7/16/14

**LOCUS MAP**

**DEED REFERENCE**

BARNSTABLE COUNTY  
DEED BOOK 9691 PAGE 297

**PLAN REFERENCE**

BARNSTABLE COUNTY  
PLAN BOOK 209 PAGE 149

THE BUILDING LOCATION SHOWN IS BASED ON AN INSTRUMENT SURVEY.



*Stenbeck & Taylor, Inc.*  
PROFESSIONAL LAND SURVEYOR  
REV. 8-18-21

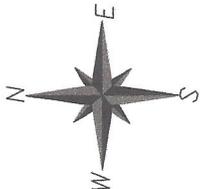
**STENBECK & TAYLOR, INC.**  
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Drawn By: INW/LT
Checked By: RVS
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Revisions	
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**CERTIFIED LOCATION PLAN**  
**SHOWING EXISTING & PROPOSED HOUSE**  
29 TILLAGE LANE  
WEST BARNSTABLE, MA  
PARCEL 136-003











# Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml [erin.logan@town.barnstable.ma.us](mailto:erin.logan@town.barnstable.ma.us)

## APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

*Check all categories that apply;*

- 1. Building construction:     New     Addition     Alteration
- 2. Type of Building:     House     Garage/barn     Shed     Commercial     Other
- 3. Exterior Painting, roof     new roof     color/material change, of trim, siding, window, door
- 4. Sign:     New Sign     Existing Sign     Repainting Existing Sign
- 5. Structure:     Fence     Wall     Flagpole     Retaining wall     Tennis court     Other
- 6. Pool     Swimming     Other man-made pool     Solar panels     Other

Type or Print Legibly:    Date 21.08.03

*NOTE All applications must be signed by the current owner*

Owner (print): Eric Mueller    Telephone #: 203.313.7193

Address of Proposed Work: 1996 Route 6A    Village Barnstable    Map Lot # 217-016

Mailing Address (if different) \_\_\_\_\_

Owner's Signature see attached

Description of Proposed Work: Give particulars of work to be done: 96 square foot bathroom addition

Agent or Contractor (print): W.D. PRICE, Inc    Telephone #: 7774.212.2942

Address: (Mail) 231 Main Street, PO 335 YarmouthPort

Contractor/Agent' signature: W.D. Price

<p><i>For committee use only</i></p> <p>Date _____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p>	<p><b>This Certificate is hereby APPROVED / DENIED</b></p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> <p>_____</p>
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**CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies**

**Foundation Type:** (Max. 12" exposed) (material - brick/cement, other) poured concrete

**Siding Type:** Clapboard  shingle  other   
Material: red cedar  white cedar  other  Color:

**Chimney Material:** NA Color:

**Roof Material:** (make & style) Asphalt Architectural (TME) Color: (TME)

**Roof Pitch(s):** (7/12 minimum) 3.5 (specify on plans for new buildings, major additions)

**Window and door trim material:** wood  other material, specify

Size of cornerboards 1x5 size of casings (1 X 4 min.) 1x4 color white

**Rakes** 1st member NA 2<sup>nd</sup> member NA Depth of overhang 7.25"

**Window:** (make/model) Anderson material Vinyl color white  
(Provide window schedule on plan for new buildings, major additions)

**Window grills** (please check all that apply):  
true divided lights  exterior glued grills  grills between glass  removable interior  None

**Door style and make:** NA material  Color:

**Garage Door, Style** NA Size of opening  Material  Color

**Shutter Type/Style/Material:** TME Color:

**Gutter Type/Material:** TME Color:

**Deck material:** wood NA other material, specify  Color:

**Skylight, type/make/model/:** NA material  Color:  Size:

**Sign size:** NA Type/Materials:  Color:

**Fence Type (max 6' ) Style** NA material:  Color:

**Retaining wall:** Material: NA

**Lighting, freestanding** NA on building  illuminating sign

**OTHER INFORMATION:**

**THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED**

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

**Signed:** (plan preparer) Wesley Price Print Name Wesley D. Price

**Town of Barnstable, Old Kings Highway Historic District Committee**

**CHECKLIST -- CERTIFICATE OF APPROPRIATENESS**

*Please check the applicable categories; This check list must be completed and submitted with your application.*

**1. ALTERATIONS (new paint color, changes to siding, roof shingles, windows or door etc.)**

- Application for Certificate of Appropriateness**, 5 copies.
- Spec Sheet**, 4 copies; brochures and color samples.
- Plans of building elevations/photographs, 5 copies, **ONLY** if there is a change to the location and size of the window (s) or door (s)

**2. MINOR ADDITIONS e.g. decks, shed (over 120 sq. feet)**

- Application for Certificate of Appropriateness**, 5 copies.
- Spec Sheet**, 5 copies; brochures and color samples.
- Site Plan**, 5 copies, **ONLY** if there is a change to the building footprint.  
A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, **UNLESS** the porch, deck, pool, or shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted, see requirements as applicable, see 4. Site Plan, below.
- Photographs** of all building elevation affected by any proposed alterations.
- Plans**: 5 copies plus 1 at reduced scale to fit 8.5 x 11 or 11 x 17 paper  
Company brochure of manufacturer's shed **OR** to-scale sketch of affected structure or building elevations.

**3. STRUCTURES, NEW/ALTERED (fences, new stonewalls or changes to, retaining walls, pools etc)**

- Application for Certificate of Appropriateness**
- Spec Sheet**, brochures or diagram.
- Site plan**, see Instructions 2. Site Plan, above.
- Photographs** of any existing structure that will be affected by change.

**4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING**

- Application for Certificate of Appropriateness** (5 copies).
- Spec Sheet**, 5 copies, brochures and samples of colors.
- Site Plan**, 5 copies, at an appropriate scale. & 5 copies of site plans at reduced scaled to fit 8.5"X11 or 11X17 paper  
**Site Plans shall contain the following:**
  - Name of applicant, street location, map and parcel.
  - Name of architect, engineer or surveyor; original stamp and signature; date of plan and revision dates.
  - North arrow, written and drawn scale.
  - Changes to existing grades shown with one-foot contours.
  - Proposed and existing footprint of the building and/or structures, and distance to lot lines.
  - Proposed driveway location.
  - Proposed limits of clearing for building(s), accessory structure(s), driveway and septic system.
  - Retaining walls or accessory structures (e.g. pool, tennis court, cabanas, barn, garage etc.)
- Building Elevations:**
  - 5 copies of plans at a scale of 1/4" = 1 foot; a written and drawn scale.
  - 5 copies of plans at a reduced scale to fit 8.5"x 11 or 11 x 17 paper.

**4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - CONTINUED**

**Plans shall include the following:**

- Name of applicant, street location, map and parcel.
- Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.
- A written and bar drawn scale
- Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- Window schedule on plans.
- Landscaping plan**, 5 copies drawn on a certified perimeter plan containing the following information:
  - Name of applicant, street address, assessor's map and parcel number.  
Name address and telephone number of the plan preparer, plan date, & dates of revisions
  - The location of existing and proposed buildings and structures, and lot lines.
  - Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
  - Existing buffer areas to remain.
  - Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.
  - The location, number, size and name of proposed new trees and plants.
  - Driveway, parking areas, walkways, and patios indicating materials to be used.
  - Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
  - All proposed exterior lighting and signs.
- Sketch or photos of adjacent properties**, (1 copy only)  
A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.
- Photographs of all sides of existing buildings** to remain, or being added to .

**Please complete the following:**

**Existing building, foot print:**

Building 1 2100 sq. ft. Building 2 \_\_\_\_\_

**Existing Building, gross floor area, including area of finished basement:**

Building 1 \_\_\_\_\_ sq. ft. Building 2 \_\_\_\_\_

**New building or addition, foot print:**

Building 1 96 sq. ft. Building 2 \_\_\_\_\_

**New Building or addition, gross floor area, including area of finished basement:**

Building 1 \_\_\_\_\_ sq. ft. Building 2 \_\_\_\_\_

**5. SIGNS**

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

**6. SOLAR PANELS**

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

**7. FEES**

- Fees according to schedule, made payable to the Town of Barnstable
- \$19.84 made payable to the Barnstable Patriot for the required legal ad notification
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

**SIGNED** (plan preparer) Wesley Price Print Wesley Price

Date: 21.08.03 Tel. Phone no's: 774.212.2942  
 Email wesley@wdprice.com

*NOTE: The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS*

*ATTENDANCE AT MEETINGS: If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED*

<b>APPEAL PERIOD</b>	<b>APPROVED PLANS</b>	<b>PLAN PICK UP</b>
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**There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk.** This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Growth Management, Regulatory Division, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14<sup>th</sup> day falls on a Saturday, your plans will be available the afternoon of the following business day.

<b>DENIALS</b>
----------------

Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway District Commission.

<b>BUILDING PERMITS, OTHER AGENCY CONTACTS</b>
------------------------------------------------

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements. Other Regulatory Agencies at 200 Main St, Hyannis MA 02601: Building Division 508-862-4038 Conservation Division 508-862-4093 Health Division 508-862-4644

<b>QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787</b>
--------------------------------------------------------------------------------------------------------------



# Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml [erin.logan@town.barnstable.ma.us](mailto:erin.logan@town.barnstable.ma.us)

## APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

*Check all categories that apply;*

- 1. Building construction:  New  Addition  Alteration
- 2. Type of Building:  House  Garage/barn  Shed  Commercial  Other
- 3. Exterior Painting, roof  new roof  color/material change, of trim, siding, window, door
- 4. Sign:  New Sign  Existing Sign  Repainting Existing Sign
- 5. Structure:  Fence  Wall  Flagpole  Retaining wall  Tennis court  Other
- 6. Pool  Swimming  Other man-made pool  Solar panels  Other

Type or Print Legibly: Date 21.08.03

*NOTE All applications must be signed by the current owner*

Owner (print): Eric Mueller Telephone #: 203.313.7193

Address of Proposed Work: 1996 Route 6A Village Barnstable Map Lot # \_\_\_\_\_

Mailing Address (if different) \_\_\_\_\_

**Owner's Signature** *Eric W. Mueller*

Description of Proposed Work: Give particulars of work to be done: 96 square foot bathroom addition

Agent or Contractor (print): W.D. PRICE, Inc Telephone #: 7774.212.2942

Address: (Mail) 231 Main Street, PO 335 YarmouthPort

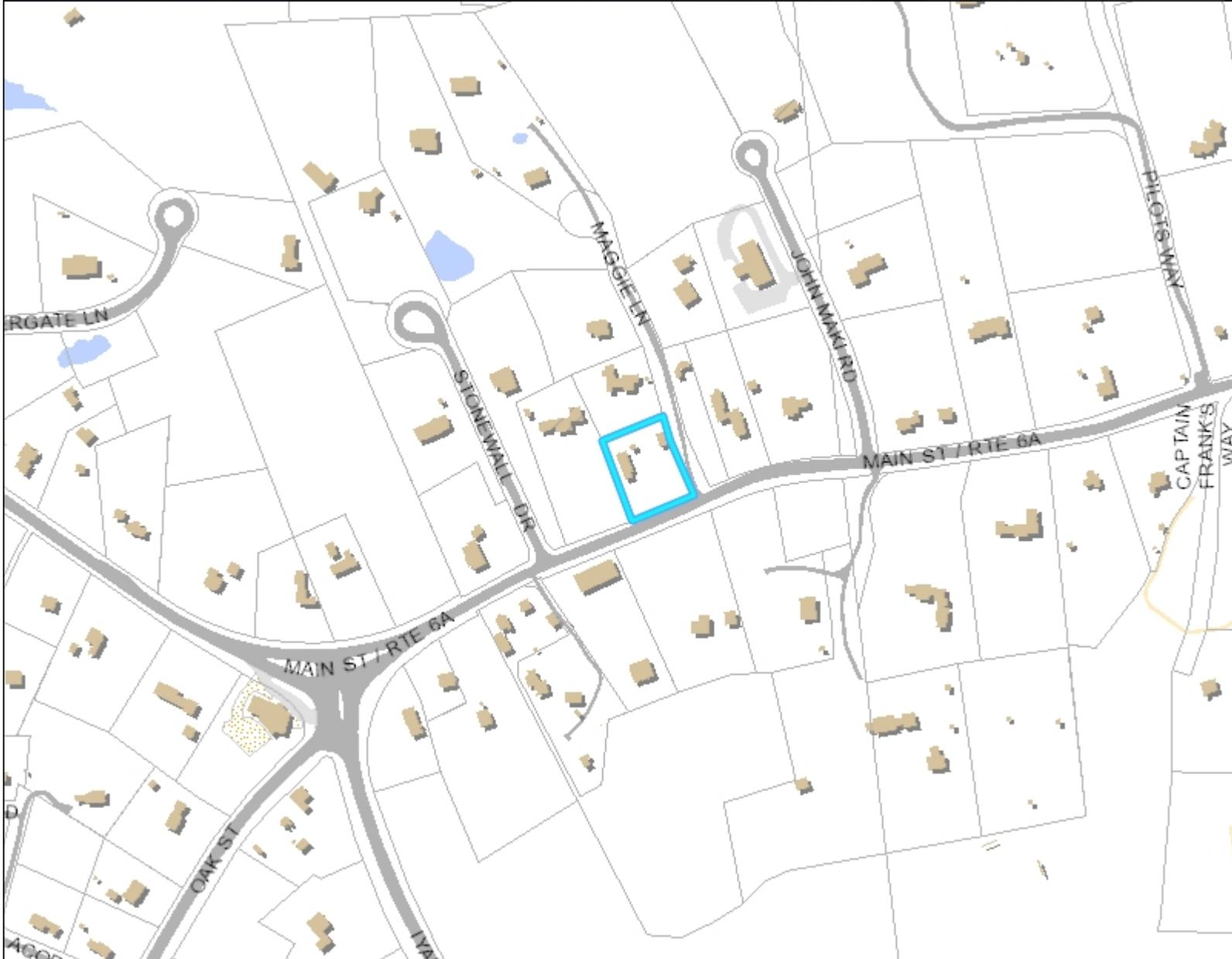
Contractor/Agent' signature: *W.D. Price*

<p><i>For committee use only</i>    <b>This Certificate is hereby APPROVED / DENIED</b></p> <p>Date _____ Members signatures _____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p>
-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------



### Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Parking Lots
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
  - ▨ Bridge
  - Paved Median
- Water Bodies



Map printed on: 8/18/2021



Approx. Scale: 1 inch = 333 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

### Legend

Road Names



Map printed on: 8/18/2021



Approx. Scale: 1 inch = 42 feet



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### Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

# BATHROOM ADDITION MUELLER RESIDENCE 1996 ROUTE 6A

W. BARNSTABLE, MA

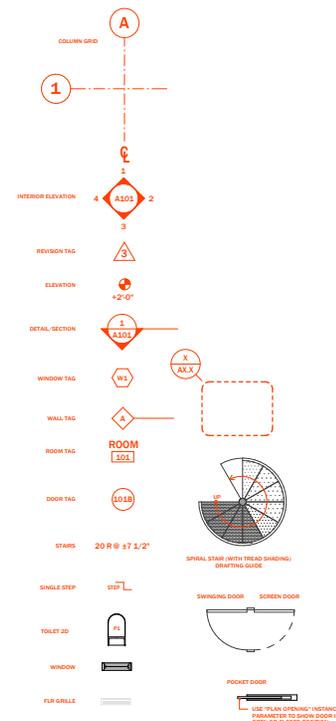
Sheet List		
Sheet Number	Sheet Name	Sheet Issue Date
A0.0	Cover Sheet	06/28/21
A1.0	Floor Plan	06/28/21
A2.0	Elevations	06/28/21
A3.0	NOT USED	-
A4.0	Interior Elevations	06/28/21

## PROJECT INFORMATION

LOCATION: 1996 Main Street, Rte. 6A, West Barnstable, MA, 02668

OWNER: Eric Mueller & Jan Lenkoski-Mueller

DESCRIPTION: Bathroom Addition



W.D. PRICE  
201 MAIN STREET, 3RD  
WESTBARNSTABLE, MA 02568

PROJECT  
**Mueller  
Residence**

1996 Route 6A  
West Barnstable, MA  
02568

DATE: 06/28/21  
PROJECT NO: 21007

REVISION: DATE

NOTES:

NOT FOR CONSTRUCTION



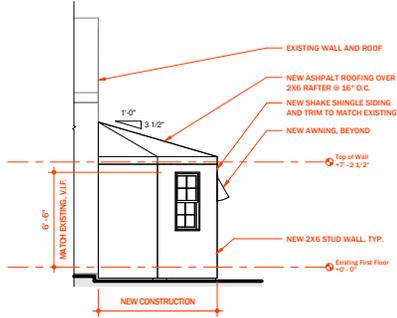
Cover  
Sheet

SCALE: 1/4" = 1'-0"

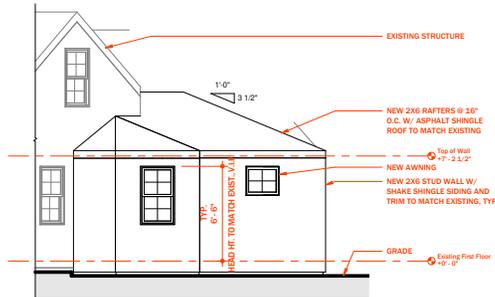
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DRAWN BY: XX

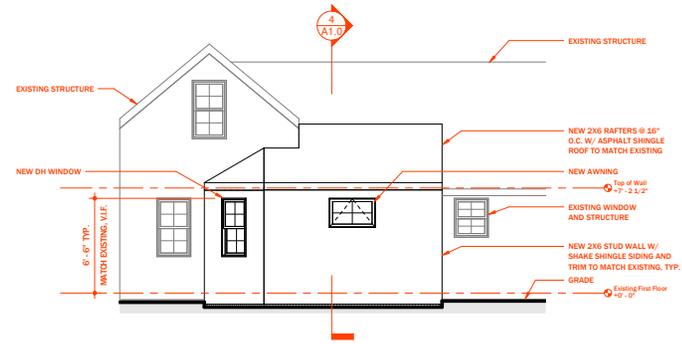




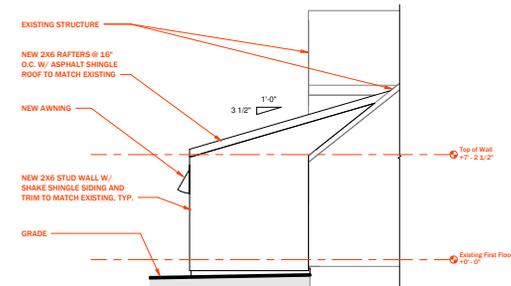
**2** Addition - Left Elevation B  
SCALE: 1/4" = 1'-0"



**4** Addition - Left Elevation A  
SCALE: 1/4" = 1'-0"



**1** Addition - Front Elevation  
SCALE: 1/4" = 1'-0"



**3** Addition - Right Elevation  
SCALE: 1/4" = 1'-0"

**NOT FOR CONSTRUCTION**

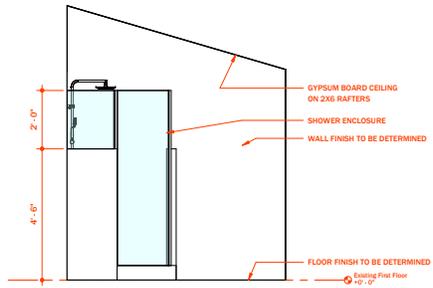


**Elevations**

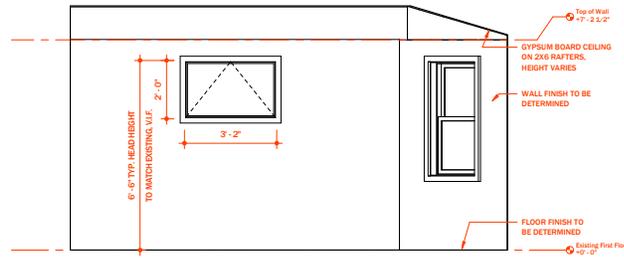
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**A2.0**

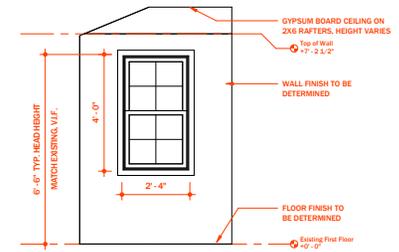
DRAWN BY: **M.LOHR**



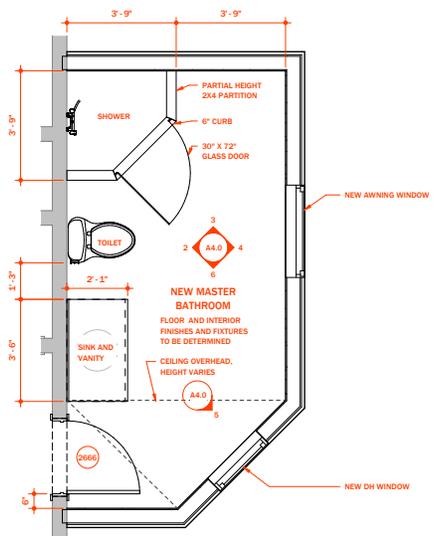
**3 Bathroom Elevation**  
SCALE: 1/2" = 1'-0"



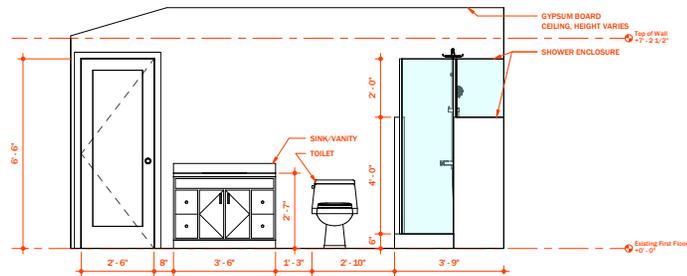
**4 Bathroom Elevation**  
SCALE: 1/2" = 1'-0"



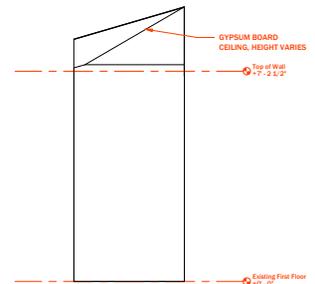
**5 Bathroom Elevation**  
SCALE: 1/2" = 1'-0"



**1 Enlarged Bathroom Floor Plan**  
SCALE: 1/2" = 1'-0"



**2 Bathroom Elevation**  
SCALE: 1/2" = 1'-0"



**6 Bathroom Elevation**  
SCALE: 1/2" = 1'-0"



10.0 PRICE  
50 MAIN STREET, DE  
WENDELSHOEPE, MA 02558

PROJECT:  
**Mueller Residence**

1996 Route 6A  
West Barnstable, MA  
02568

DATE: 06/28/21  
PROJECT NO: 21007  
REVISION: DATE

NOTES:

NOT FOR CONSTRUCTION



Interior Elevations

SCALE: 1/2" = 1'-0"

**A4.0**

DRAWN BY: MLOHR

LOCUS INFORMATION

CURRENT OWNER: ERIC MUELLER & JAN LENKOSKI-MUELLER  
 TITLE REFERENCE: DEED BOOK 30890, PAGE 318  
 PLAN REFERENCE: PLAN BOOK 220, PAGE 105  
 ASSESSORS MAP: 217  
 PARCEL: 016  
 ZONING DISTRICT: RF  
 SETBACKS: FRONT 30', SIDE 15', REAR 15'

OVERLAY DISTRICT: AP  
 NITROGEN SENSITIVE ZONE: NOT A ZONE II  
 FEMA FLOOD ZONE DISTRICT: "X", DATED 7-16-2014 PANEL #25001C0554J  
 EXISTING LOT SIZE: 30,285± S.F.  
 MINIMUM LOT SIZE: 87,120 S.F.

REVISIONS:

NO.	DATE	DESC.

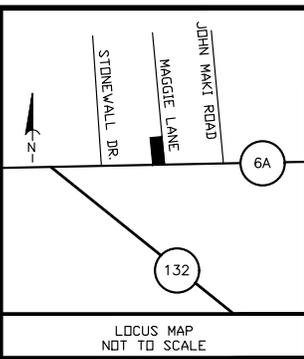
I CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THAT THE LOT CORNERS, DIMENSIONS AND SETBACKS TO THE STRUCTURE AS DETERMINED BY INSTRUMENT SURVEY AND AS SHOWN ON THIS PLAN ARE CORRECT.

KIERAN J. HEALY, PLS DATE  
 FOR THE BSC GROUP, INC.

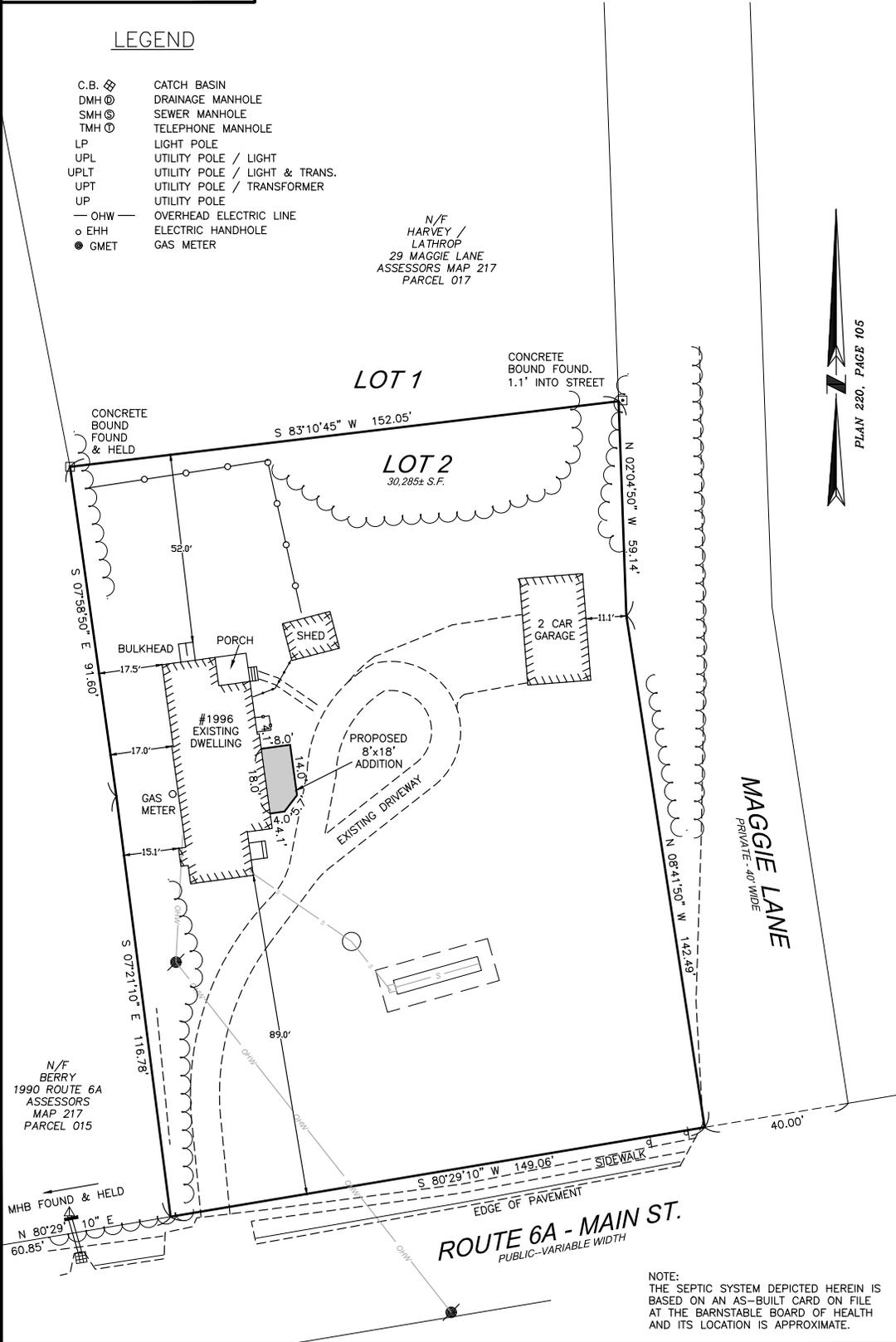
LEGEND

- C.B. ☒ CATCH BASIN
- DMH ⊙ DRAINAGE MANHOLE
- SMH ⊙ SEWER MANHOLE
- TMH ⊙ TELEPHONE MANHOLE
- LP ○ LIGHT POLE
- UPL ○ UTILITY POLE / LIGHT
- UPLT ○ UTILITY POLE / LIGHT & TRANS.
- UPT ○ UTILITY POLE / TRANSFORMER
- UP ○ UTILITY POLE
- OHW — OVERHEAD ELECTRIC LINE
- EHH ○ ELECTRIC HANDHOLE
- GMET ● GAS METER

N/F HARVEY / LATHROP  
 29 MAGGIE LANE  
 ASSESSORS MAP 217  
 PARCEL 017



LOCUS MAP NOT TO SCALE



CERTIFIED PLOT PLAN

WITH PROPOSED ADDITION

AT #1996 ROUTE 6A W. BARNSTABLE IN BARNSTABLE MASSACHUSETTS (BARNSTABLE COUNTY)

MARCH 18, 2021

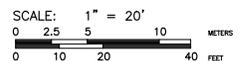
PREPARED FOR: W.D. PRICE, INC  
 WESLEY PRICE, PRESIDENT  
 231 MAIN ST., P.O. BOX 335  
 YARMOUTH PORT, MA 02675  
 WESLEY@WDPRICE.COM



349 Route 28, Unit D  
 West Yarmouth, Massachusetts  
 02673

508 778 8919

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PROJ. MGR.: CRAIG FIELD
FIELD: C. O'LEARY
CALC./DESIGN: K. HEALY
DRAWN: K. HEALY
CHECK: CRAIG FIELD
FILE: 50513-CPP.DWG
DWG. NO: 6707-01
JOB. NO: 5-0513.00
SHEET 1 OF 1

NOTE: THE SEPTIC SYSTEM DEPICTED HEREIN IS BASED ON AN AS-BUILT CARD ON FILE AT THE BARNSTABLE BOARD OF HEALTH AND ITS LOCATION IS APPROXIMATE.







1996

ARIZONA

**Town of Barnstable  
Old King's Highway Historic District Committee  
DECISION**

**Wednesday, August 29, 2018, 6:30pm**

The Barnstable Committee of the Old King's Highway Historic District Committee, acting in accordance with the Old King's Highway Regional Historic District Act, Chapter 470, Acts of 1973 as amended, has held a hearing and made determinations on the following applications:

**APPLICATIONS – CONTINUED FROM AUGUST 8, 2018**

***WITHDRAWN*** - Margaret at Bursley Manor LLC, Rankin, Margaret, 651 Main Street, West Barnstable, Map 156, Parcel 057, Bursley Homestead, Built 1827, Contributing Building in a National Register Historic District Replace 19 windows with Anderson 400 series, true divided lights, black

***\*\*\*Certificate of Appropriateness withdrawn without prejudice\*\*\****

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**Griffin, Deborah & Harry, 3609 Main Street, Barnstable, Map 317, Parcel 043/001**  
Install 18, all black, flush mounted solar modules on the rear elevation

***\*\*\*Certificate of Appropriateness Approved as Submitted\*\*\****

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**APPLICATIONS**

**VanGelder, David, 52 Coventry Lane, West Barnstable, Map 110, Parcel 004/006**  
Repaint home, shutters, and trim

***\*\*\*Certificate of Appropriateness Approved as Submitted\*\*\****

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**Raggio, Anthony & My-Le, 23 Point Hill Road, West Barnstable, Map 136, Parcel 017**  
Landscape plan (new build was approved July 12, 2017)

***\*\*\*Certificate of Appropriateness Approved as Submitted\*\*\****

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**Teague, Christian, 101 Braggs Lane, Barnstable, Map 299, Parcel 043/001**  
Change siding from Clapboard to White Cedar Shingles

***\*\*\*Certificate of Appropriateness Approved as Submitted\*\*\****

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**Burbić, Brian, 137 Maushop Avenue, Barnstable, Map 278, Parcel 046/001**  
Install a 20' X 40' pool and 18' X 14' Gazebo

***\*\*\*Certificate of Appropriateness Approved as Submitted\*\*\****



# Barnstable Old Kings Highway Historic District Committee

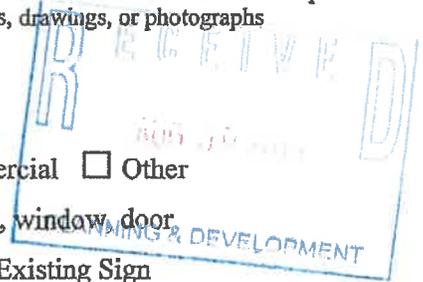
200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml [erin.logan@town.barnstable.ma.us](mailto:erin.logan@town.barnstable.ma.us)

## APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction:  New     Addition     Alteration
- 2. Type of Building:     House     Garage/barn     Shed     Commercial     Other
- 3. Exterior Painting, roof  new roof     color/material change, of trim, siding, window, door
- 4. Sign:     New Sign     Existing Sign     Repainting Existing Sign
- 5. Structure:  Fence     Wall     Flagpole     Retaining wall     Tennis court     Other
- 6. Pool     Swimming     Other man-made pool     Solar panels     Other



Type or Print Legibly:    Date 8/9/18

NOTE All applications must be signed by the current owner

Owner (print): BRIAN BUNBIL    Telephone #: 508-325-2252

Address of Proposed Work: 137 MAUNCHOP AVE    Village BARNSTABLE Map Lot # \_\_\_\_\_

Mailing Address (if different) PO BOX 706 BARNSTABLE MA 02630

Owner's Signature [Signature]

Description of Proposed Work: Give particulars of work to be done: ADD 20x40 pool and 18x90 pool house & garage

Agent or Contractor (print): BRIAN BUNBIL    Telephone #: 508-325-2252

Address: 137 MAUNCHOP AVE

Contractor/Agent' signature: [Signature]

**APPROVED**

AUG 29 2018

Town of Barnstable  
Old King's Highway  
Committee

For committee use only    This Certificate is hereby **APPROVED / DENIED**

Date 8.29.2018    Members signatures \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Conditions of approval \_\_\_\_\_

\_\_\_\_\_

**Town of Barnstable**  
**Old King's Highway Historic District Committee**  
**DRAFT MINUTES**  
**Wednesday, August 11, 2021, 6:30pm**

To all persons deemed interested or affected by the Town of Barnstable's Old King's Highway Historic District Act under Section 9 of Chapter 470, Acts of 1973 as amended. You are hereby notified that a hearing was held by remote participation via Zoom Meetings on the following applications:

Paul Richard, Chair	Present
Carrie Bearse, Clerk	Present
George Jessop, AIA	Present
Bett McCarthy	Present
Lesley Wallace	Present
Jeffrey Goldstein, Alternate	Absent
Building Inspector, Ed Bowers	Present
Kate Maldonado, Assistant Director	Present
Jennifer Engelsen, Office Manager	Present

A quorum being met, Chair Richard called the hearing to order at 6:30 pm. The Chair explained the hearing and appeal process and invited the public to address the Committee and view the plans of interest when the application is called.

**APPLICATIONS**

**Sunset Lane, LLC, 155 Sunset Lane, Barnstable, Map 319, Parcel 025/000, built 1984**

Construct new deck

Represented by: Steven Devlin, Central Construction

Public Comment: None

Mr. Devlin described the project. A renovation was recently completed, a larger deck was outside the FEMA line and the proposed smaller deck is within the FEMA line. Materials are composite like the roof deck.

Chair Richard, Bearse, Jessop, McCarthy and Wallace all felt the project was appropriate.

Chair Richard called for public comment; seeing none, he closed public comment.

**Motion duly made by Bearse, seconded by McCarthy to Approve the Certificate of Appropriateness (Exhibit A) as indicated on the plans submitted.**

***So voted:***

***Aye-Richard, Bearse, Jessop, McCarthy, Wallace***

***Nay - 0***

***Abstain- 0***

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Miller, Wayne & Barbara, 208 Maple Street, West Barnstable, Map 132, Parcel 024/000, Joseph B. Whitman House, built c.1860, individually listed on the National Register of Historic Places  
Install 26, all black, roof mounted solar panels on the west facing garage roof

Represented by: Diane Addison, My Generation Energy

Public comment: None

Ms. Addison described the solar panels and placement. All black panels flush mount and visible only northbound.

Bearse felt they are appropriate given the location on the site.

Jessop likes the fact the panels are on an addition structure not primary building on an interior roof and the installation covers the entire roof surface. Good design and appropriate.

Wallace commented she drove by today and that you cannot see the panels very much, hidden to a degree and appropriate.

McCarthy makes note that you can barely notice panels.

Chair Richard felt the project was appropriate.

Chair Richard called for public comment; seeing none, he closed public comment.

**Motion duly made by Bearse seconded by Wallace to approve the Certificate of Appropriateness (Exhibit B) as indicated on the plans submitted.**

***So voted:***

***Aye - Richard, Bearse, Jessop, McCarthy, Wallace***

***Nay - 0***

***Abstain - 0***

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## **EXTENSIONS**

111 George Street has requested a one year extension of the Certificate of Appropriateness approved on August 12, 2020 to remove and replace the single family dwelling

**Motion duly made by Bearse seconded by Wallace to approve one year extension of the Certificate of Appropriateness approved on August 12, 2020.**

***So voted:***

***Aye - Richard, Bearse, Jessop, McCarthy, Wallace***

***Nay - 0***

***Abstain - 0***

## **Discussion**

McCarthy proposed to have a conversation regarding fence standards and approvals, specifically to approvals within the Town of Barnstable as compared to adjacent communities within the Old King's Highway District, including the Town of Yarmouth. She shared a photo on her cell phone of a six foot fence approved by Old

King’s Highway District in Yarmouth that she saw recently. She would like to propose that this committee to consider approving fences this height with vegetation in front to soften the look.

Bearse felt that this group has approved fences based on the circumstance and doing so on a case by case basis is appropriate.

Richard agrees that fence approvals are based on each application and appropriate.

Jessop says one reason why they do not have a lot of fences on Route 6A is because this committee has said no to have them in front of the house but placement on the side yards is necessary. Height is based on real privacy needs. Limiting fences to date has been appropriate and have kept appearances uniform to protect historic areas.

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**Having no further business before this Committee, motion to adjourn is moved by Bearse seconded by McCarthy at 6:51 pm.**

Respectfully Submitted,

Jennifer Engelsen  
Office Manager – Planning & Development

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Exhibit A	Certificate of Appropriateness	File	319/025/000
Exhibit B	Certificate of Appropriateness	File	132/024/000