

OLD KINGS HIGHWAY October 28th MEETING MATERIALS

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AGENDA

Wednesday, October 28, 2020, 6:30pm

The Old King's Highway Historic District Committee will be held by remote participation methods as a result of the COVID-19 state of emergency in the Commonwealth of Massachusetts.

Alternative public access to this meeting shall be provided in the following manner:

1. Real-time access to the Old King's Highway Historic District meeting is available utilizing the Zoom link or telephone number and Meeting ID provided below. Public comment can be addressed to the Old King's Highway Historic District Committee by utilizing the Zoom link or telephone number and Meeting ID provided below:

Link: Join Zoom Meeting <https://zoom.us/j/97295766971>

Phone: 1- 888-475-4499 and entering Meeting ID: 97295766971

2. Following the meeting, a recording will be televised via Channel 18 and may be viewed via the Channel 18 website at <http://streaming85.townofbarnstable.us/CablecastPublicSite/>

3. Applicants, their representatives and individuals required or entitled to appear before the Old King's Highway Historic District Committee may appear remotely and are not permitted to be physically present at the meeting, and may participate through accessing the link or telephone number provided above. Documentary exhibits and/or visual presentations should be submitted in advance of the meeting to erin.logan@town.barnstable.ma.us so that they may be displayed for remote public access viewing.

Plans and applications may be reviewed by calling Erin Logan at 508.862.4787 or by emailing erin.logan@town.barnstable.ma.us

To all persons deemed interested or affected by the Town of Barnstable's Old King's Highway Historic District Act under Section 9 of Chapter 470, Acts of 1973 as amended. You are hereby notified that a hearing will be held on the following applications:

APPLICATIONS

Barnstable, County of, application submitted on behalf of AT&T, 3195 Main Street, Barnstable, Map 299, Parcel 024/000

Addition of 3 antennas; replacement of 6 antennas; replacement of mount and upgrade equipment of existing wireless facility located at the southeast corner of the Barnstable County Complex

Murphy, Gary & Carolyn, 460 Church Street, West Barnstable, Map 176, Parcel 010/000, built 1998

Repaint front door and shutters to Modern Masters – Serene Blue or Modern Masters – Tranquil

Brown, David & Tara, 101 Deacon Court, Barnstable, Map 300, Parcel 061/000, built 2001

Construct new dormers and additions impacting all four elevations to include roof deck and new garage doors

MINOR MODIFICATION

Hearns, John & Maureen, 50 Merion Way, Barnstable/Cummaquid, Map 356, Parcel 006/000

Proposal to modify the Certificate of Appropriateness which was previously approved on October 16, 2019 – change design of garage door

OTHER Matters not reasonably anticipated by Chair

APPROVAL OF MINUTES

February 12, 2020

February 26, 2020

NEXT MEETING DATES

November 18, 2020 & December 16, 2020

Please Note: The list of matters, are those reasonably anticipated by the chair, which may be discussed at the meeting. Not all items listed may be discussed and other items not listed may also be brought up for discussion to the extent permitted by law. It is possible that if it so votes, the Committee may go into executive session. The Committee may also act on items in an order other than they appear on this agenda. * Public files are available for viewing during normal business hours at the Old King's Highway Historic District office located at 200 Main Street, Hyannis, MA



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other Tower

Type or Print Legibly: _____ Date 10/1/2020

NOTE: All applications must be signed by the current owner

Owner (print): Barnstable County Sheriff's Office Telephone #: 508-563-4302
Address of Proposed Work: 3145 Main Street Village _____ Map Lot # 299/024

Mailing Address (if different) _____

Owner's Signature See attached authorization

Description of Proposed Work: Give particulars of work to be done:
Addition of 3 antennas, replacement of 6 antennas, replacement of mount, and upgrade of equipment at existing wireless facility located on site

Agent or Contractor (print): Timothy Greene Telephone #: 617-877-2950

Address: 157 Riverside Drive, Norwell, MA 02061 Email: tgreene@terrasearchllc.com

Contractor/Agent' signature: [Signature]

<p><i>For committee use only</i></p> <p>Date _____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p>	<p>This Certificate is hereby APPROVED / DENIED</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p>
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5. SIGNS

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)



7. FEES

- Filing fee** according to schedule, made payable to the Town of Barnstable
- Legal ad fee \$19.84** check made payable to the Town of Barnstable for the required legal ad notification
Note the filing fee and legal ad fees need to be on separate checks. We apologize in advance for any inconvenience this may cause.
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer) [Signature] Print Timothy Greene

Date: 10/1/20 Tel. Phone no's: 617-877-2950
 Email tgreeke@terrasearchllc.com

NOTE: The Old Kings Highway Historic District Committee **MAY DENY INCOMPLETE APPLICATIONS**

ATTENDANCE AT MEETINGS: If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either **CONTINUED OR DENIED**

APPEAL PERIOD	APPROVED PLANS	PLAN PICK UP
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There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Planning & Development Department, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway Regional Historic District Commission.

BUILDING PERMITS, OTHER AGENCY CONTACTS
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In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.

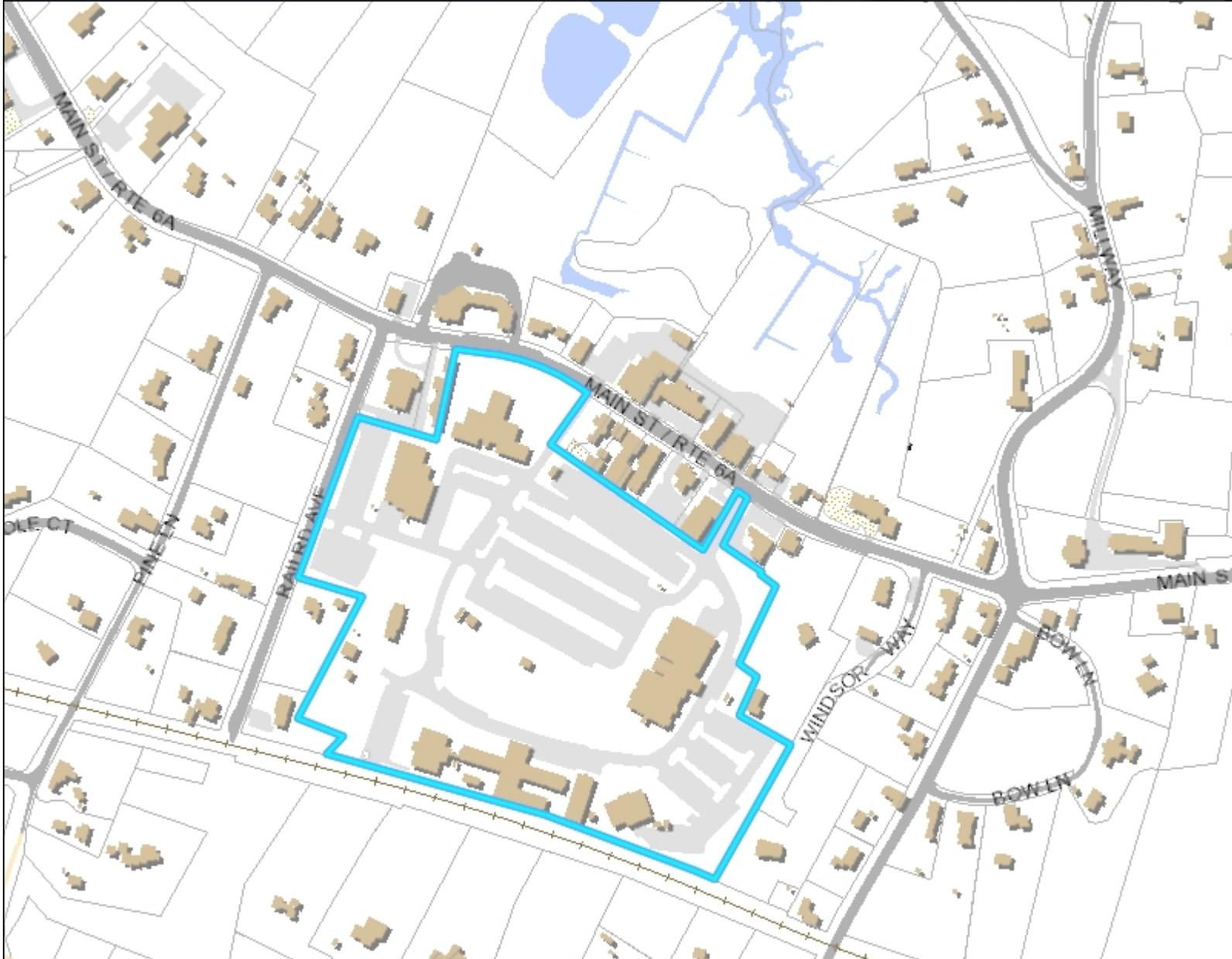
All certificates issued will expire one year from the date of issue, or upon the expiration date of any building permit issued for the work, whichever expiration date shall be later. The committee may renew any certificate for one additional year, providing the request for such renewal is received at least 30 days prior to the expiration date.

QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787
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Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Parking Lots
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Water Bodies



Map printed on: 10/19/2020



Approx. Scale: 1 inch = 333 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

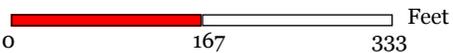
Legend

Road Names



LOCATION OF ANTENNA

Map printed on: 10/19/2020



Approx. Scale: 1 inch = 167 feet



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Town of Barnstable GIS Unit

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508-862-4624

gis@town.barnstable.ma.us



September 8, 2020

Barnstable County Sheriff's Office
ATTN: Donna Buckley, Esq. General Counsel
6000 Sheriff's Place
Bourne, MA 02532



Sent Via UPS Tracking # & Via Email to dbuckley@bsheriff.net

**RE: AT&T Wireless Equipment at: 3195 Main Street, Barnstable, MA 02630 / 3261 Main Street, Barnstable, MA 02630
AT&T Site #: MA1368 / FA#10093958; AT&T Site Name: BARNSTABLE MAIN STREET**

Dear Ms. Buckley,

SAI Group, LLC, is a contractor for New Cingular Wireless PCS, LLC ("AT&T"). In order to maintain AT&T's commitment to the highest standards of service and technology, AT&T will need to make modifications to their equipment at the above referenced wireless communications facility.

Pursuant to the Commonwealth of Massachusetts Non-Exclusive Long-Form License to Use State-Owned Property between New Cingular Wireless PCS, LLC and Barnstable County Sheriff's Office and the First Amendment thereto, your consent is required for this modification. AT&T will be modifying their existing antenna configuration which may include, but is not limited to, swapping and adding antennas and ancillary equipment within AT&T's leased premises. The improvements are described in the enclosed construction drawings by Hudson Design Group LLC, dated, June 12, 2020.

Additionally, this Consent from the undersigned shall serve as authorization for AT&T to submit permit applications and seek all other required government approvals for the project referenced above.

If you have any questions, please don't hesitate to contact me directly at (603) 560-6145. Please indicate your consent by signing below and returning a copy of this letter to the following address. A scanned copy sent to sdunn@saigrp.com is also acceptable.

SAI Group, LLC
Attn: Shawn Dunn
12 Industrial Way
Salem, NH 03079

Licensor /Authorized Agent's Consent

Sincerely,

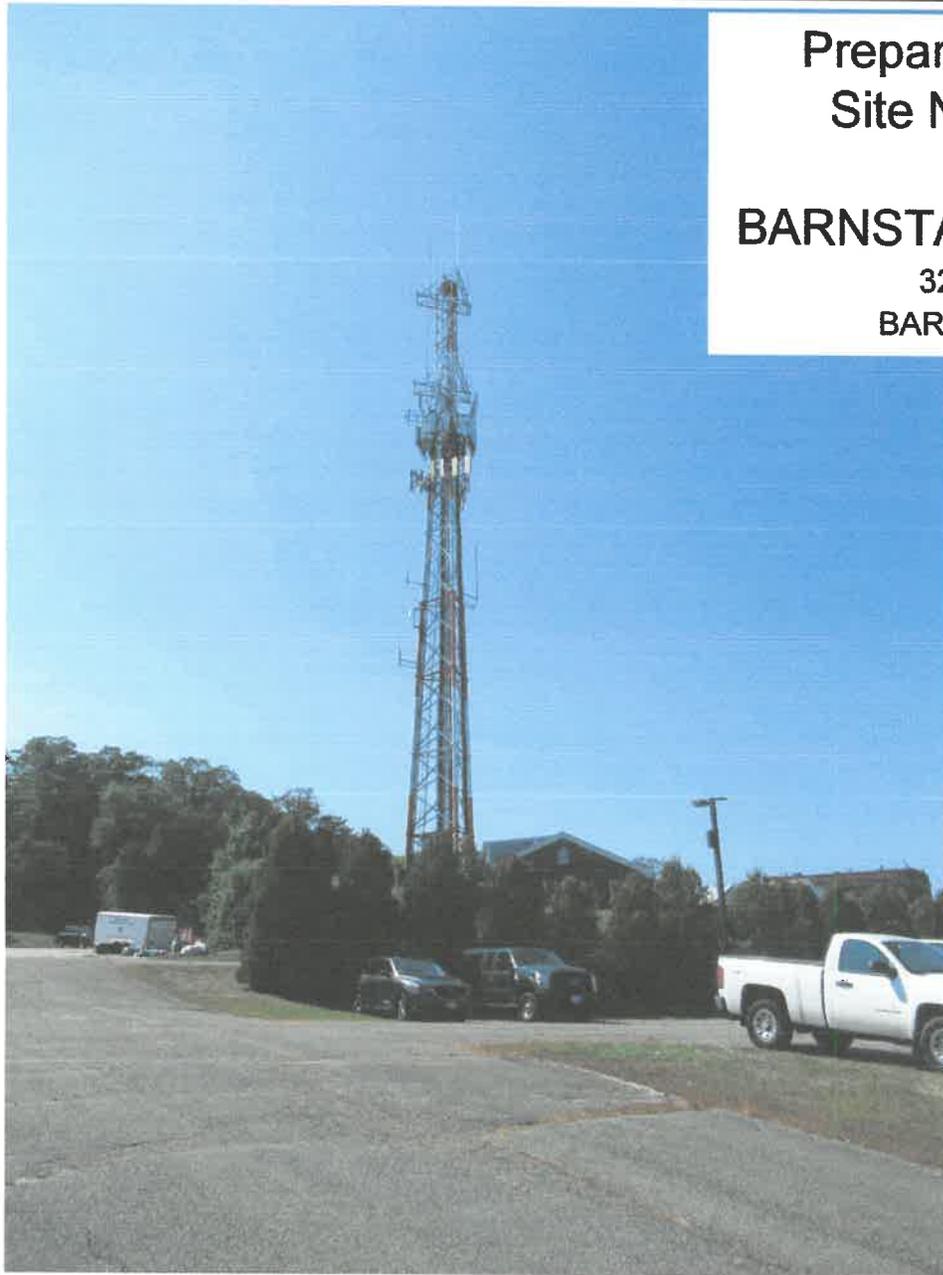
Shawn Dunn
Site Acquisition Consultant

Enclosures

Signature:	
Name:	JAMES M. CUNNINGHAM
Telephone:	508 563-4302
Date:	9/22/20

RECEIVED
 OCT 08 2020
 PLANNING & DEVELOPMENT

Prepared For: SAI-AT&T
 Site Number: MA1368
 Site Name:
BARNSTABLE MAIN STREET
 3261 MAIN STREET
 BARNSTABLE, MA 02630



SITE NO: MA1368
SITE NAME: BARNSTABLE MAIN STREET
ADDRESS: 3261 MAIN STREET
 BARNSTABLE, MA 02630



SITE TYPE: LATTICE TOWER
DATE: 09/29/2020 **REV:** 0
DRAWN BY: VP
SCALE: N.T.S.

THIS STUDY DOES NOT CLAIM IN ANY WAY TO SHOW THE ONLY AREAS OF VISIBILITY. IT IS MEANT TO SHOW A BROAD REPRESENTATION OF AREAS WHERE THE PROPOSED INSTALLATION MAY BE VISIBLE BASED UPON THE BEST INFORMATION FOR TOPOGRAPHY AND VEGETATION LOCATIONS AVAILABLE TO DATE.

LOCUS MAP

TAKEN FROM GOOGLE.COM ON 09/29/2020

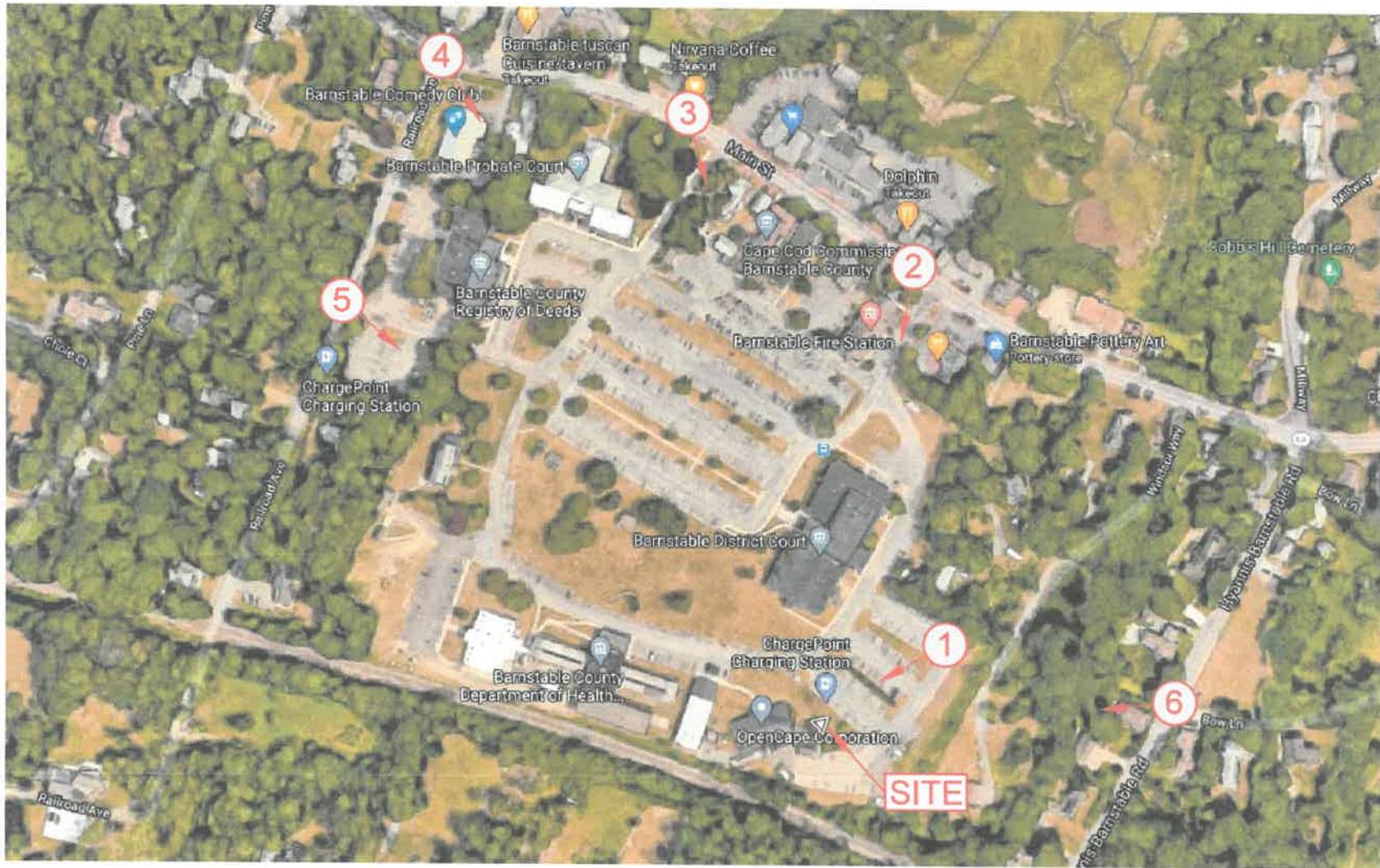


PHOTO LOCATION

SITE NO: MA1368
SITE NAME: BARNSTABLE MAIN STREET
ADDRESS: 3261 MAIN STREET
 BARNSTABLE, MA 02630



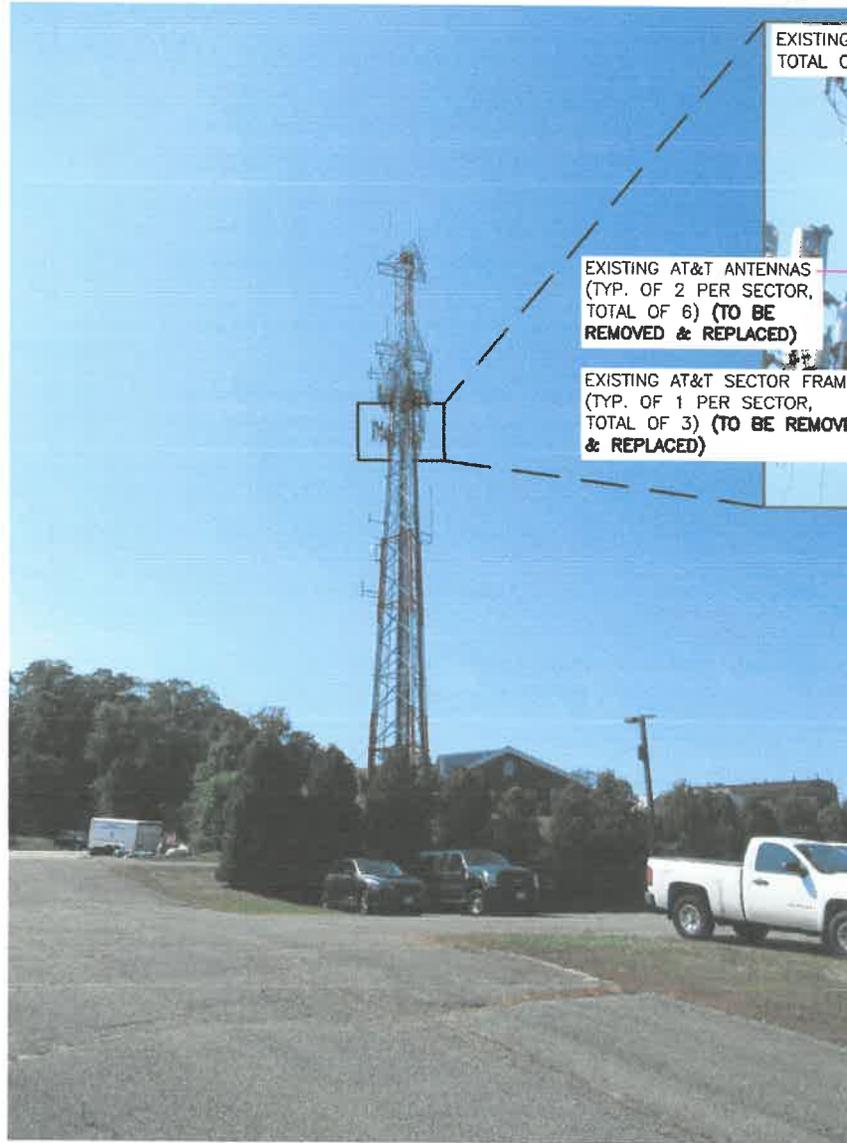
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EXISTING CONDITIONS

LOCATION # 1

DATE OF PHOTO: 09/23/2020



EXISTING AT&T RRUS (TYP. OF 2 PER SECTOR, TOTAL OF 6) (TO BE REMOVED & REPLACED)

EXISTING AT&T ANTENNAS (TYP. OF 2 PER SECTOR, TOTAL OF 6) (TO BE REMOVED & REPLACED)

EXISTING AT&T SECTOR FRAMES (TYP. OF 1 PER SECTOR, TOTAL OF 3) (TO BE REMOVED & REPLACED)

DETAIL OF EQUIPMENT

EXISTING AT&T ANTENNAS (TYP. OF 1 PER SECTOR, TOTAL OF 3) (TO BE RELOCATED TO PROPOSED SECTOR MOUNT)

VIEW SOUTHWEST FROM PARKING LOT

SITE NO: MA1368
SITE NAME: BARNSTABLE MAIN STREET
ADDRESS: 3261 MAIN STREET
 BARNSTABLE, MA 02630



SITE TYPE: LATTICE TOWER
DATE: 09/29/2020 **REV:** 0
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PROPOSED CONDITIONS

LOCATION # 1

DATE OF PHOTO: 09/23/2020



**PROPOSED AT&T LTE ANTENNAS
(TYP. OF 3 PER SECTOR,
TOTAL OF 9)**

**NEW LOCATION OF EXISTING
AT&T ANTENNAS
(TYP. OF 1 PER SECTOR,
TOTAL OF 3) (RELOCATED TO
PROPOSED SECTOR MOUNT)**



**DETAIL OF
EQUIPMENT**

**PROPOSED AT&T RRUS
(TYP. OF 4 PER SECTOR,
TOTAL OF 12)**

**PROPOSED SECTOR
ANTENNA MOUNT
(TYP. OF 1 PER SECTOR,
TOTAL OF 3)
WITH UNIVERSAL SLIDING
PIPE TIEBACK ASSEMBLIES**

VIEW SOUTHWEST FROM PARKING LOT

SITE NO: MA1368
SITE NAME: BARNSTABLE MAIN STREET
ADDRESS: 3261 MAIN STREET
BARNSTABLE, MA 02630



SITE TYPE: LATTICE TOWER

DATE: 09/29/2020 **REV:** 0

DRAWN BY: VP

SCALE: N.T.S.

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EXISTING AT&T RRUS (TYP. OF 2 PER SECTOR, TOTAL OF 6) (TO BE REMOVED & REPLACED)

EXISTING AT&T ANTENNAS (TYP. OF 2 PER SECTOR, TOTAL OF 6) (TO BE REMOVED & REPLACED)

EXISTING AT&T SECTOR FRAMES (TYP. OF 1 PER SECTOR, TOTAL OF 3) (TO BE REMOVED & REPLACED)

EXISTING AT&T ANTENNAS (TYP. OF 1 PER SECTOR, TOTAL OF 3) (TO BE RELOCATED TO PROPOSED SECTOR MOUNT)

DETAIL OF EQUIPMENT

VIEW SOUTH FROM MAIN STREET

SITE NO: MA1368
SITE NAME: BARNSTABLE MAIN STREET
ADDRESS: 3261 MAIN STREET
 BARNSTABLE, MA 02630



SITE TYPE: LATTICE TOWER
DATE: 09/29/2020 **REV:** 0
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PROPOSED AT&T LTE ANTENNAS
(TYP. OF 3 PER SECTOR,
TOTAL OF 9)

NEW LOCATION OF EXISTING
AT&T ANTENNAS
(TYP. OF 1 PER SECTOR,
TOTAL OF 3) (RELOCATED TO
PROPOSED SECTOR MOUNT)

3' MIN. (TYP.)

PROPOSED AT&T RRUS
(TYP. OF 4 PER SECTOR,
TOTAL OF 12)

PROPOSED SECTOR
ANTENNA MOUNT
(TYP. OF 1 PER SECTOR,
TOTAL OF 3)
WITH UNIVERSAL SLIDING
PIPE TIEBACK ASSEMBLIES

**DETAIL OF
EQUIPMENT**

VIEW SOUTH FROM MAIN STREET

SITE NO: MA1368
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ADDRESS: 3261 MAIN STREET
BARNSTABLE, MA 02630



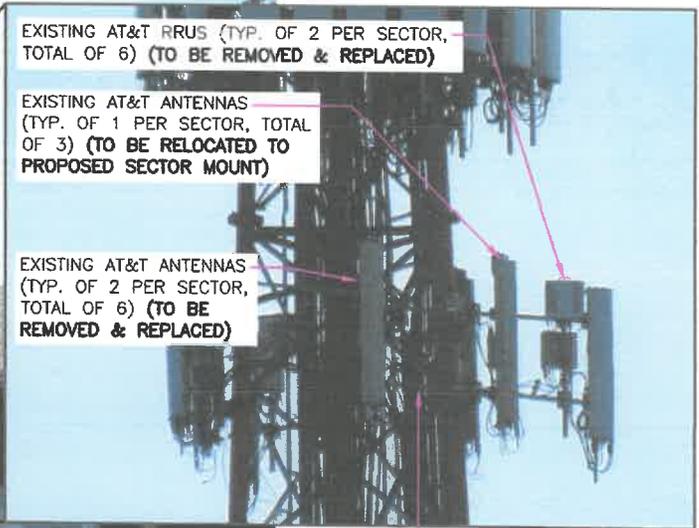
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EXISTING CONDITIONS

LOCATION # 3

DATE OF PHOTO: 09/23/2020



EXISTING AT&T RRUS (TYP. OF 2 PER SECTOR, TOTAL OF 6) (TO BE REMOVED & REPLACED)

EXISTING AT&T ANTENNAS (TYP. OF 1 PER SECTOR, TOTAL OF 3) (TO BE RELOCATED TO PROPOSED SECTOR MOUNT)

EXISTING AT&T ANTENNAS (TYP. OF 2 PER SECTOR, TOTAL OF 6) (TO BE REMOVED & REPLACED)

EXISTING AT&T SECTOR FRAMES (TYP. OF 1 PER SECTOR, TOTAL OF 3) (TO BE REMOVED & REPLACED)

DETAIL OF EQUIPMENT

VIEW SOUTHEAST FROM MAIN STREET

SITE NO: MA1368
SITE NAME: BARNSTABLE MAIN STREET
ADDRESS: 3261 MAIN STREET
 BARNSTABLE, MA 02630



SITE TYPE: LATTICE TOWER
DATE: 09/29/2020 **REV:** 0
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PROPOSED AT&T LTE ANTENNAS
(TYP. OF 3 PER SECTOR,
TOTAL OF 9)

NEW LOCATION OF EXISTING
AT&T ANTENNAS
(TYP. OF 1 PER SECTOR,
TOTAL OF 3) (RELOCATED TO
PROPOSED SECTOR MOUNT)

3' MIN. (TYP.)

PROPOSED AT&T RRUS
(TYP. OF 4 PER SECTOR,
TOTAL OF 12)

PROPOSED SECTOR
ANTENNA MOUNT
(TYP. OF 1 PER SECTOR,
TOTAL OF 3)
WITH UNIVERSAL SLIDING
PIPE TIEBACK ASSEMBLIES

**DETAIL OF
EQUIPMENT**

VIEW SOUTHEAST FROM MAIN STREET

SITE NO: MA1368
SITE NAME: BARNSTABLE MAIN STREET
ADDRESS: 3261 MAIN STREET
BARNSTABLE, MA 02630



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VIEW SOUTHEAST FROM THE INTERSECTION OF RAILROAD AVE AND MAIN STREET (EQUIPMENT NOT VISIBLE)

SITE NO: MA1368
SITE NAME: BARNSTABLE MAIN STREET
ADDRESS: 3261 MAIN STREET
 BARNSTABLE, MA 02630



SITE TYPE: LATTICE TOWER

DATE: 09/29/2020 REV: 0

DRAWN BY: VP

SCALE: N.T.S.

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VIEW EAST FROM RAILROAD AVE (EQUIPMENT NOT VISIBLE)

SITE NO: MA1368
SITE NAME: BARNSTABLE MAIN STREET
ADDRESS: 3261 MAIN STREET
 BARNSTABLE, MA 02630



SITE TYPE: LATTICE TOWER
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VIEW WEST FROM THE INTERSECTION OF BOW LANE AND HYANNIS-BARNSTABLE ROAD (EQUIPMENT NOT VISIBLE)

SITE NO: MA1368
SITE NAME: BARNSTABLE MAIN STREET
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 BARNSTABLE, MA 02630



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PROJECT INFORMATION

SCOPE OF WORK: ITEMS TO BE MOUNTED ON THE EXISTING SELF-SUPPORT TOWER:

- INSTALL NEW ANTENNA MOUNT SITE PRO 1
- PART# VFA12-WLL-30120 (TYP. OF 1 PER SECTOR, TOTAL OF 3), WITH UNIVERSAL SLIDING PIPE TIEBACK ASSEMBLIES
- PART# SPTB (TO BE USED IN LIEU OF KIT TIEBACKS).
- NEW AT&T ANTENNAS: DMP65R-BU6DA @ POS. 1 (TYP. OF 1 PER SECTOR, TOTAL OF 3).
- NEW AT&T ANTENNAS: OPA65R-BU6DA @ POS. 2 (TYP. OF 1 PER SECTOR, TOTAL OF 3).
- NEW AT&T ANTENNAS: HPA65R-BU6A @ POS. 3 (TYP. OF 1 PER SECTOR, TOTAL OF 3).
- NEW AT&T RRUS: 4449 B5/B12 (850/700) (TYP. OF 1 PER SECTOR, TOTAL OF 3).
- NEW AT&T RRUS: 8843 B2/B66 (PCS/AWS) (TYP. OF 1 PER SECTOR, TOTAL OF 3).
- NEW AT&T RRUS: 4478 B14 (700) (TYP. OF 1 PER SECTOR, TOTAL OF 3).
- NEW AT&T RRUS: 4415 B30 (WCS) (TYP. OF 1 PER SECTOR, TOTAL OF 3).
- NEW AT&T DC & FIBER SURGE ARRESTOR DC6-4B-60-1B-8C-EV (TOTAL OF 1) AND DC ONLY SURGE ARRESTOR DC6-4B-60-0-8C-EV (TOTAL OF 1) WITH (4) DC POWER & (1) FIBER RUN.
- EXISTING AT&T UMTS ANTENNAS (TYP. OF 1 PER SECTOR, TOTAL OF 3) (TO BE RELOCATED @ POS. 4).

ITEMS TO BE MOUNTED AT EQUIPMENT LOCATION:

- ADD RBS 6630 WITH IDLe.
- ADD XMU.
- INSTALL (1) DC 12.
- ADD RET HOMERUN TO UMTS ANTENNA.
- INSTALL NETSURE 7100 POWER PLANT WITH 3 STR BATT. (TO REPLACE EXISTING).

ITEMS TO BE REMOVED:

- EXISTING AT&T ANTENNAS: AM-X-CD-16-65-00T-RET (TYP. OF 1 PER SECTOR, TOTAL OF 3).
- EXISTING AT&T ANTENNAS: 7262.02 (TYP. OF 1 PER SECTOR, TOTAL OF 3).
- EXISTING AT&T RRUS-11 B12 (TYP. OF 1 PER SECTOR, TOTAL OF 3).
- EXISTING AT&T RRUS-12 B2 (TYP. OF 1 PER SECTOR, TOTAL OF 3).
- EXISTING ANTENNA MOUNTING FRAMES AND PIPE BRACES (TYP. OF ALL SECTORS).
- EXISTING (6) COAX CABLES.
- EXISTING GALAXY 2424 POWER PLANT.
- EXISTING BATTERY RACK.

ITEMS TO REMAIN:

- (3) ANTENNAS, (6) TMA'S (1) SURGE ARRESTOR, (6) COAX CABLES, (2) DC POWER & (1) FIBER.

SITE ADDRESS: 3261 MAIN STREET
BARNSTABLE, MA 02630

LATITUDE: 41.699161° N, 41° 41' 56.98" N

LONGITUDE: 70.303050° W, 70° 18' 10.98" W

TYPE OF SITE: SELF-SUPPORT TOWER / INDOOR

STRUCTURE HEIGHT: 180'-0"±

RAD CENTER: 117'-0"±

CURRENT USE: TELECOMMUNICATIONS FACILITY

PROPOSED USE: TELECOMMUNICATIONS FACILITY

DRAWING INDEX

SHEET NO.	DESCRIPTION	REV.
T-1	TITLE SHEET	1
GN-1	GENERAL NOTES	1
A-1	COMPOUND & EQUIPMENT PLANS	1
A-2	ANTENNA LAYOUTS & ELEVATION	1
A-3	DETAILS	1
SN-1	STRUCTURAL NOTES	1
G-1	GROUNDING DETAILS	1
RF-1	RF PLUMBING DIAGRAM	1



SITE NUMBER: MA1368

SITE NAME: BARNSTABLE MAIN STREET

FA CODE: 10093958

PACE ID: MRCTB047430, MRCTB047411, MRCTB047376, MRCTB047433, MRCTB047395

PROJECT: LTE 3C_4C_5C_5G-NR_4TX4RX 2020 UPGRADE

VICINITY MAP

DIRECTIONS TO SITE:

FROM SAGAMORE BRIDGE (RTE 6) TO EXIT 6 LEFT AT END OF RAMP FOLLOW TO END AND TURN RIGHT (RTE 6A) GO APPROX 3 MILES TOWER WILL BE ON YOUR RIGHT BEHIND THE COURTHOUSE



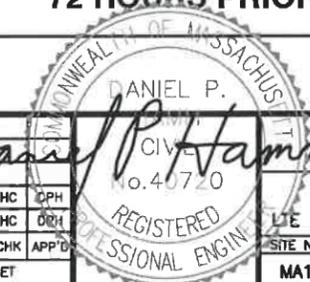
GENERAL NOTES

1. THIS DOCUMENT IS THE CREATION, DESIGN, PROPERTY AND COPYRIGHTED WORK OF AT&T. ANY DUPLICATION OR USE WITHOUT EXPRESS WRITTEN CONSENT IS STRICTLY PROHIBITED. DUPLICATION AND USE BY GOVERNMENT AGENCIES FOR THE PURPOSES OF CONDUCTING THEIR LAWFULLY AUTHORIZED REGULATORY AND ADMINISTRATIVE FUNCTIONS IS SPECIFICALLY ALLOWED.
2. THE FACILITY IS AN UNMANNED PRIVATE AND SECURED EQUIPMENT INSTALLATION. IT IS ONLY ACCESSED BY TRAINED TECHNICIANS FOR PERIODIC ROUTINE MAINTENANCE AND THEREFORE DOES NOT REQUIRE ANY WATER OR SANITARY SEWER SERVICE. THE FACILITY IS NOT GOVERNED BY REGULATIONS REQUIRING PUBLIC ACCESS PER ADA REQUIREMENTS.
3. CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE AT&T MOBILITY REPRESENTATIVE IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.
4. CONSTRUCTION DRAWINGS ARE VALID FOR SIX MONTHS AFTER ENGINEER OF RECORD'S STAMPED AND SIGNED SUBMITTAL DATE LISTED HEREIN.

UNDERGROUND SERVICE ALERT



WWW.DIGSAFE.COM
72 HOURS PRIOR



HUDSON Design Group LLC
45 BEECHWOOD DRIVE NORTH ANDOVER, MA 01845
TEL: (978) 557-5553
FAX: (978) 336-5586

S&I
12 INDUSTRIAL WAY
SALEM, NH 03079

SITE NUMBER: MA1368
SITE NAME: BARNSTABLE MAIN STREET

3261 MAIN STREET
BARNSTABLE, MA 02630
BARNSTABLE COUNTY

at&t
550 COCHITUATE ROAD
FRAMINGHAM, MA 01701

1 08/12/20 ISSUED FOR CONSTRUCTION		ET	HC	OPH	AT&T
A 08/02/20 ISSUED FOR REVIEW		ET	HC	ORH	
NO.	DATE	REVISIONS		BY	CHK
SCALE: AS SHOWN		DESIGNED BY: HC	DRAWN BY: ET		
TITLE SHEET		LTE 3C_4C_5C_5G-NR_4TX4RX 2020 UPGRADE		AT&T	
SITE NUMBER		DRAWING NUMBER		REV	
MA1368		T-1		1	

GROUNDING NOTES

1. THE SUBCONTRACTOR SHALL REVIEW AND INSPECT THE EXISTING FACILITY GROUNDING SYSTEM AND LIGHTNING PROTECTION SYSTEM (AS DESIGNED AND INSTALLED) FOR STRICT COMPLIANCE WITH THE NEC (AS ADOPTED BY THE AHJ), THE SITE-SPECIFIC (UL, LPI, OR NFPA) LIGHTING PROTECTION CODE, AND GENERAL COMPLIANCE WITH TELCORDIA AND TIA GROUNDING STANDARDS. THE SUBCONTRACTOR SHALL REPORT ANY VIOLATIONS OR ADVERSE FINDINGS TO THE CONTRACTOR FOR RESOLUTION.
2. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION, AND AC POWER GES'S) SHALL BE BONDED TOGETHER, AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
3. THE SUBCONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81 STANDARDS) FOR NEW GROUND ELECTRODE SYSTEMS. THE SUBCONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.
4. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
5. EACH BTS CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, #6 AWG STRANDED COPPER OR LARGER FOR INDOOR BTS AND #2 AWG STRANDED COPPER FOR OUTDOOR BTS.
6. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
7. APPROVED ANTIOXIDANT COATINGS (I.E., CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
8. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO GROUND BAR.
9. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
10. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
11. METAL CONDUIT SHALL BE MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 AWG COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
12. ALL NEW STRUCTURES WITH A FOUNDATION AND/OR FOOTING HAVING 20 FT. OR MORE OF 1/2 IN. OR GREATER ELECTRICALLY CONDUCTIVE REINFORCING STEEL MUST HAVE IT BONDED TO THE GROUND RING USING AN EXOTHERMIC WELD CONNECTION USING #2 AWG SOLID BARE TINNED COPPER GROUND WIRE, PER NEC 250.50

GENERAL NOTES

1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
 CONTRACTOR - SAI
 SUBCONTRACTOR - GENERAL CONTRACTOR (CONSTRUCTION)
 OWNER - AT&T MOBILITY
2. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING SUBCONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CONTRACTOR.
3. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUBCONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
4. DRAWINGS PROVIDED HERE ARE NOT TO BE SCALED AND ARE INTENDED TO SHOW OUTLINE ONLY.
5. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
6. "KITTING LIST" SUPPLIED WITH THE BID PACKAGE IDENTIFIES ITEMS THAT WILL BE SUPPLIED BY CONTRACTOR. ITEMS NOT INCLUDED IN THE BILL OF MATERIALS AND KITTING LIST SHALL BE SUPPLIED BY THE SUBCONTRACTOR.
7. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
8. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE CONTRACTOR.
9. SUBCONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND T1 CABLES, GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWING. SUBCONTRACTOR SHALL UTILIZE EXISTING TRAYS AND/OR SHALL ADD NEW TRAYS AS NECESSARY. SUBCONTRACTOR SHALL CONFIRM THE ACTUAL ROUTING WITH THE CONTRACTOR.
10. THE SUBCONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT SUBCONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
11. SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
12. SUBCONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.
13. ALL CONCRETE REPAIR WORK SHALL BE DONE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE (ACI) 301.

14. ANY NEW CONCRETE NEEDED FOR THE CONSTRUCTION SHALL BE AIR-ENTRAINED AND SHALL HAVE 4000 PSI STRENGTH AT 28 DAYS. ALL CONCRETE WORK SHALL BE DONE IN ACCORDANCE WITH ACI 318 CODE REQUIREMENTS.
15. ALL STRUCTURAL STEEL WORK SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH AISC SPECIFICATIONS. ALL STRUCTURAL STEEL SHALL BE ASTM A36 (Fy = 36 ksi) UNLESS OTHERWISE NOTED. PIPES SHALL BE ASTM A53 TYPE E (Fy = 36 ksi). ALL STEEL EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED. TOUCH UP ALL SCRATCHES AND OTHER MARKS IN THE FIELD AFTER STEEL IS ERECTED USING A COMPATIBLE ZINC RICH PAINT.
16. CONSTRUCTION SHALL COMPLY WITH SPECIFICATIONS AND "GENERAL CONSTRUCTION SERVICES FOR CONSTRUCTION OF AT&T SITES."
17. SUBCONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS MUST BE VERIFIED. SUBCONTRACTOR SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
18. THE EXISTING CELL SITE IS IN FULL COMMERCIAL OPERATION. ANY CONSTRUCTION WORK BY SUBCONTRACTOR SHALL NOT DISRUPT THE EXISTING NORMAL OPERATION. ANY WORK ON EXISTING EQUIPMENT MUST BE COORDINATED WITH CONTRACTOR. ALSO, WORK SHOULD BE SCHEDULED FOR AN APPROPRIATE MAINTENANCE WINDOW USUALLY IN LOW TRAFFIC PERIODS AFTER MIDNIGHT.
19. SINCE THE CELL SITE IS ACTIVE, ALL SAFETY PRECAUTIONS MUST BE TAKEN WHEN WORKING AROUND HIGH LEVELS OF ELECTROMAGNETIC RADIATION. EQUIPMENT SHOULD BE SHUTDOWN PRIOR TO PERFORMING ANY WORK THAT COULD EXPOSE THE WORKERS TO DANGER. PERSONAL RF EXPOSURE MONITORS ARE ADVISED TO BE WORN TO ALERT OF ANY DANGEROUS EXPOSURE LEVELS.
20. **APPLICABLE BUILDING CODES:**
 SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

**BUILDING CODE: IBC 2015 & MA STATE BUILDING CODE 780 CMR 9TH EDITION
 ELECTRICAL CODE: 2020 NATIONAL ELECTRICAL CODE (NFPA 70, 2020)**

SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:

AMERICAN CONCRETE INSTITUTE (ACI) 318; BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE;

AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) MANUAL OF STEEL CONSTRUCTION, ASD, FOURTEENTH EDITION;

TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-H, STRUCTURAL STANDARDS FOR STEEL

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

ABBREVIATIONS					
AGL	ABOVE GRADE LEVEL	EQ	EQUAL	REQ	REQUIRED
AWG	AMERICAN WIRE GAUGE	GC	GENERAL CONTRACTOR	RF	RADIO FREQUENCY
BBU	BATTERY BACKUP UNIT	GRC	GALVANIZED RIGID CONDUIT	TBD	TO BE DETERMINED
BTCW	BARE TINNED SOLID COPPER WIRE	MGB	MASTER GROUND BAR	TBR	TO BE REMOVED
BGR	BURIED GROUND RING	MIN	MINIMUM	TBRR	TO BE REMOVED AND REPLACED
BTS	BASE TRANSCEIVER STATION	P	PROPOSED	TYP	TYPICAL
E	EXISTING	NTS	NOT TO SCALE	UG	UNDER GROUND
EGB	EQUIPMENT GROUND BAR	RAC	RADIATION CENTER LINE (ANTENNA)	VIF	VERIFY IN FIELD
EGR	EQUIPMENT GROUND RING	REF	REFERENCE		

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12 INDUSTRIAL WAY
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SITE NUMBER: MA1368
 SITE NAME: BARNSTABLE MAIN STREET

3261 MAIN STREET
 BARNSTABLE, MA 02630
 BARNSTABLE COUNTY

550 COCHITUATE ROAD
FRAMINGHAM, MA 01701

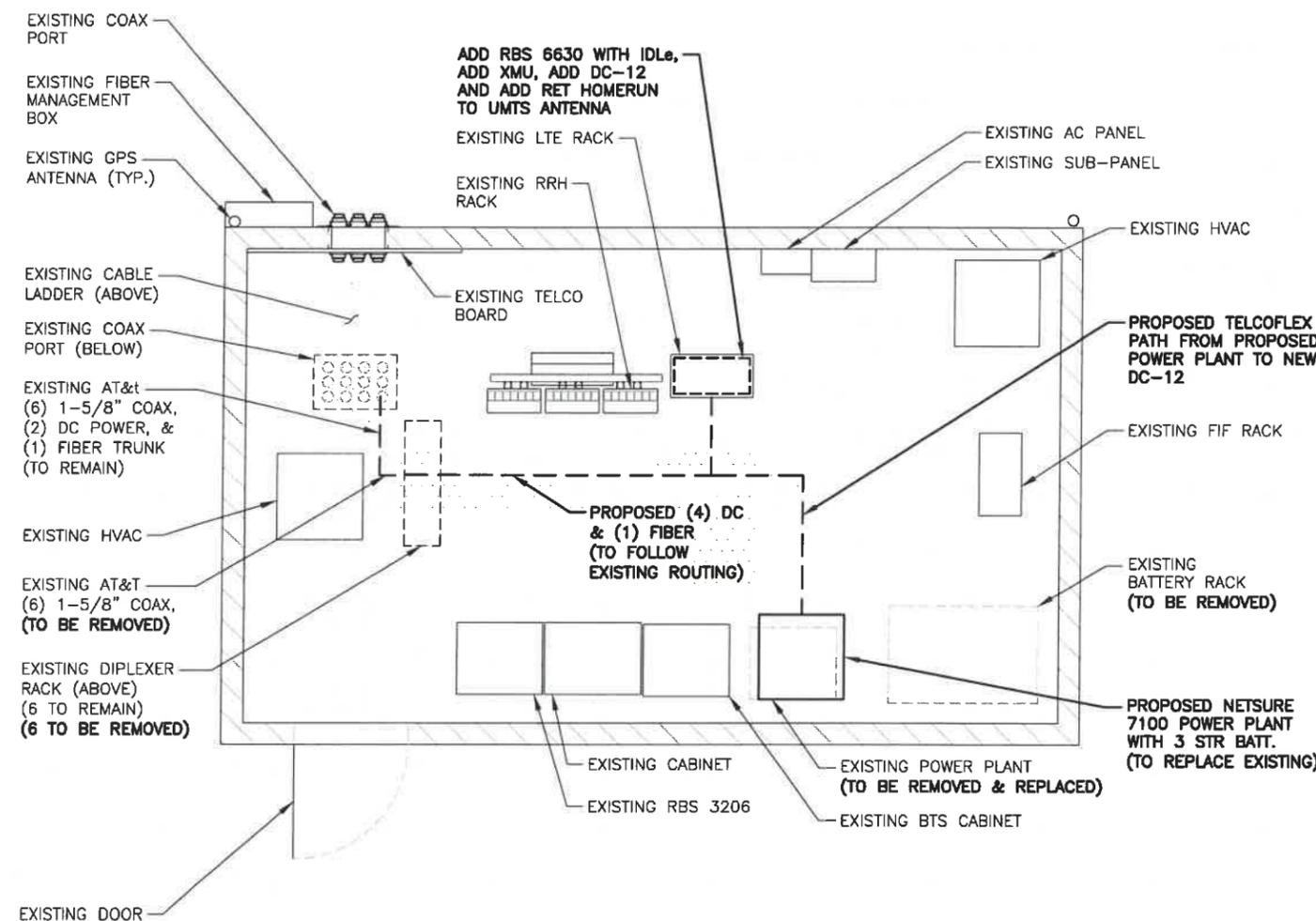
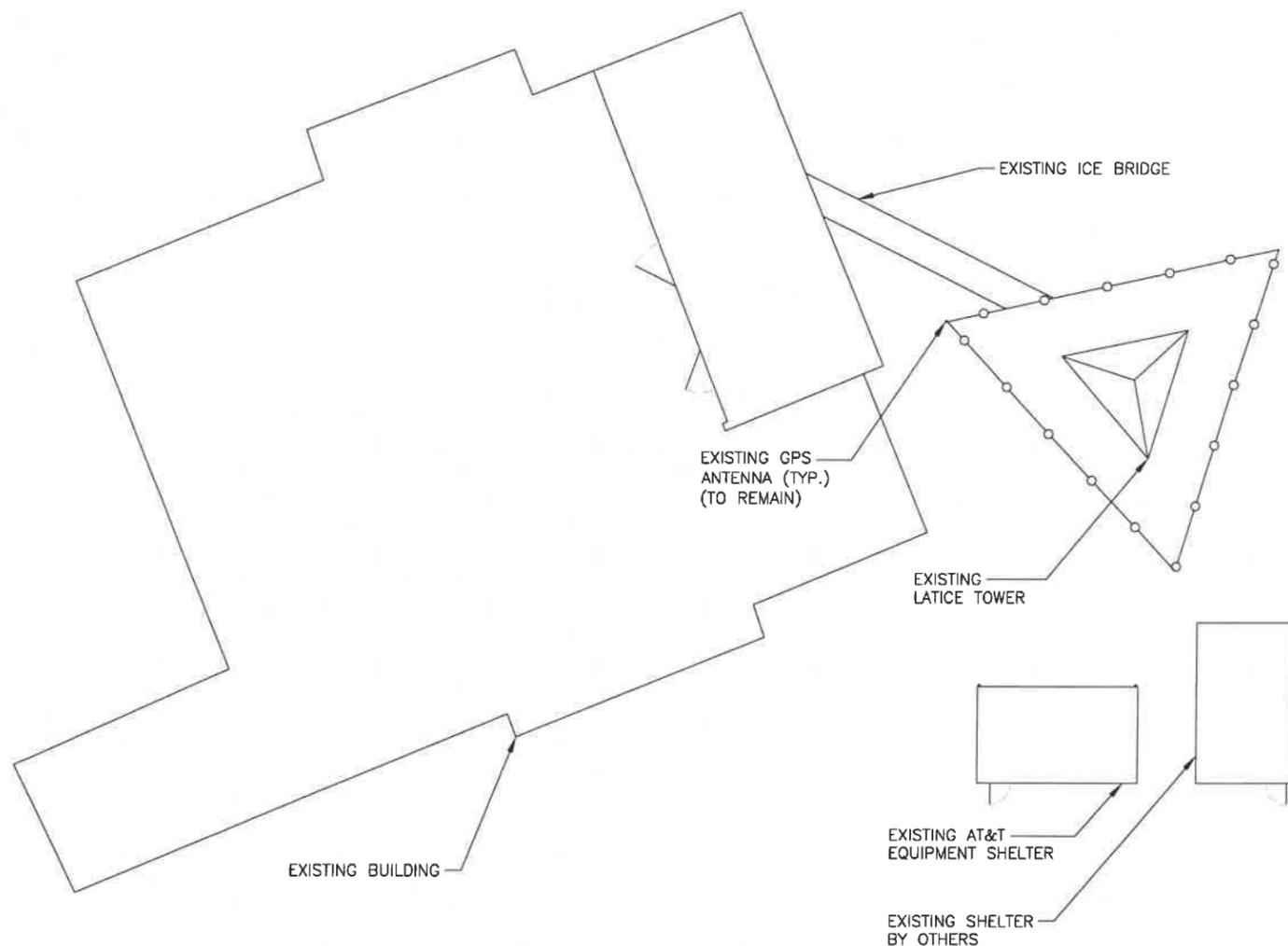
1	06/12/20	ISSUED FOR CONSTRUCTION	ET	HC	CPH
A	06/02/20	ISSUED FOR REVIEW	ET	HC	DRH
NO.	DATE	REVISIONS	BY	CHK	APP'D
SCALE: AS SHOWN		DESIGNED BY: HC	DRAWN BY: ET		

Daniel P. Hamm
 CIVIL ENGINEER
 No. 40720
 REGISTERED PROFESSIONAL ENGINEER

AT&T		
GENERAL NOTES		
LTE 3C_4C_5C_5G-NR_4TX4RX 2020 UPGRADE		
SITE NUMBER	DRAWING NUMBER	REV
MA1368	GN-1	1

NOTE:
REFER TO THE FINAL RF DATA SHEET FOR FINAL ANTENNA SETTINGS.

NOTE:
AN ANALYSIS FOR THE CAPACITY OF THE EXISTING ANTENNA MOUNT TO SUPPORT THE PROPOSED LOADING HAS BEEN COMPLETED BY:
HUDSON DESIGN GROUP, LLC.
DATED: MAY 29, 2020 (REV.1).



COMPOUND PLAN
22x34 SCALE: 3/32"=1'-0"
11x17 SCALE: 3/64"=1'-0"

1
A-1



EQUIPMENT PLAN
22x34 SCALE: 1/2"=1'-0"
11x17 SCALE: 1/4"=1'-0"

2
A-1



HUDSON Design Group LLC
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S&I
12 INDUSTRIAL WAY
SALEM, NH 03079

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3261 MAIN STREET
BARNSTABLE, MA 02630
BARNSTABLE COUNTY

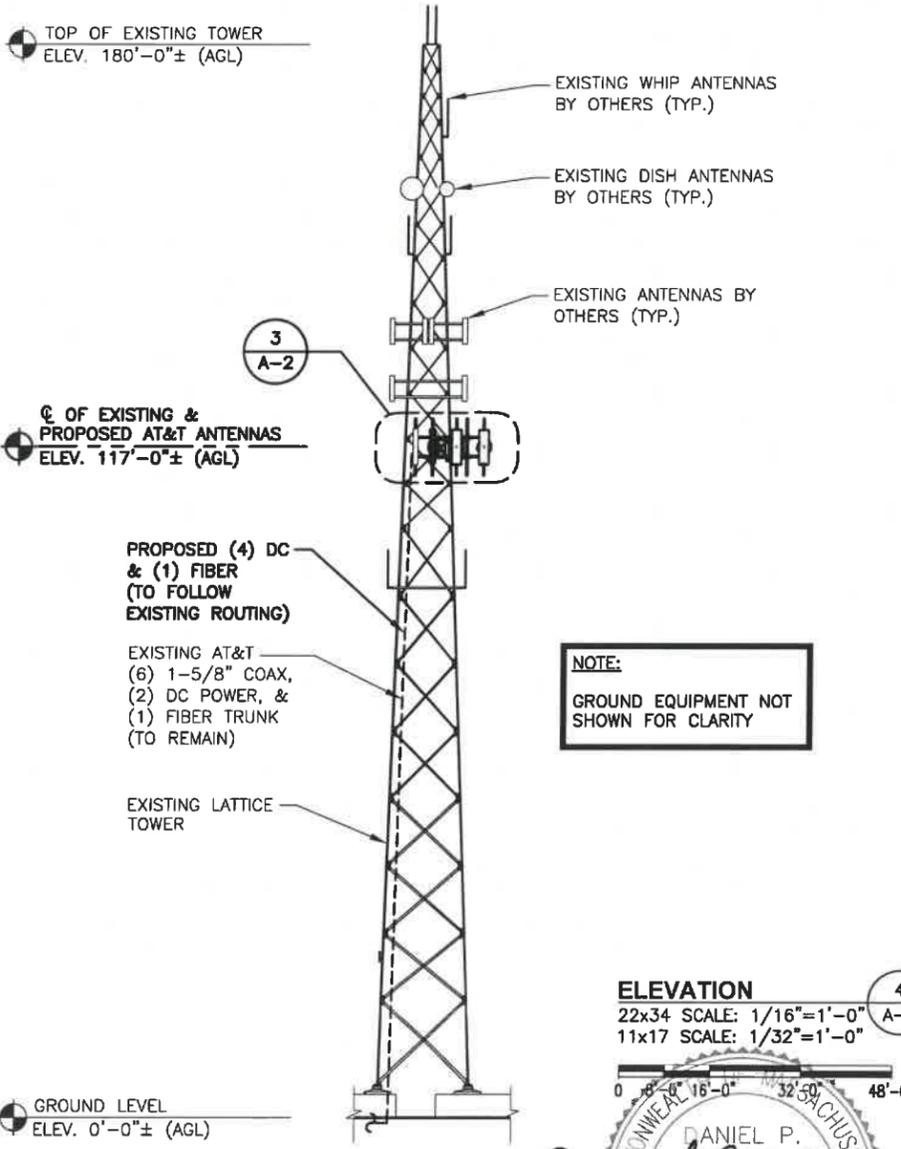
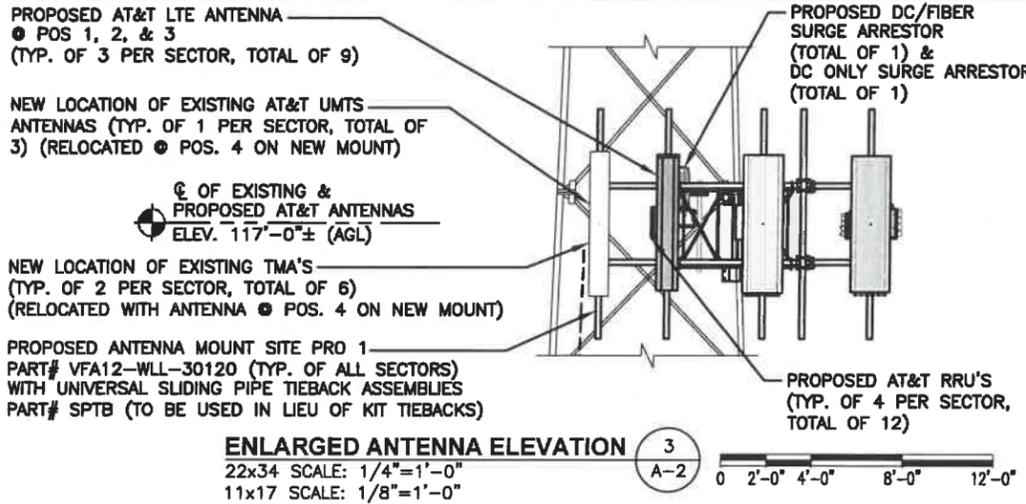
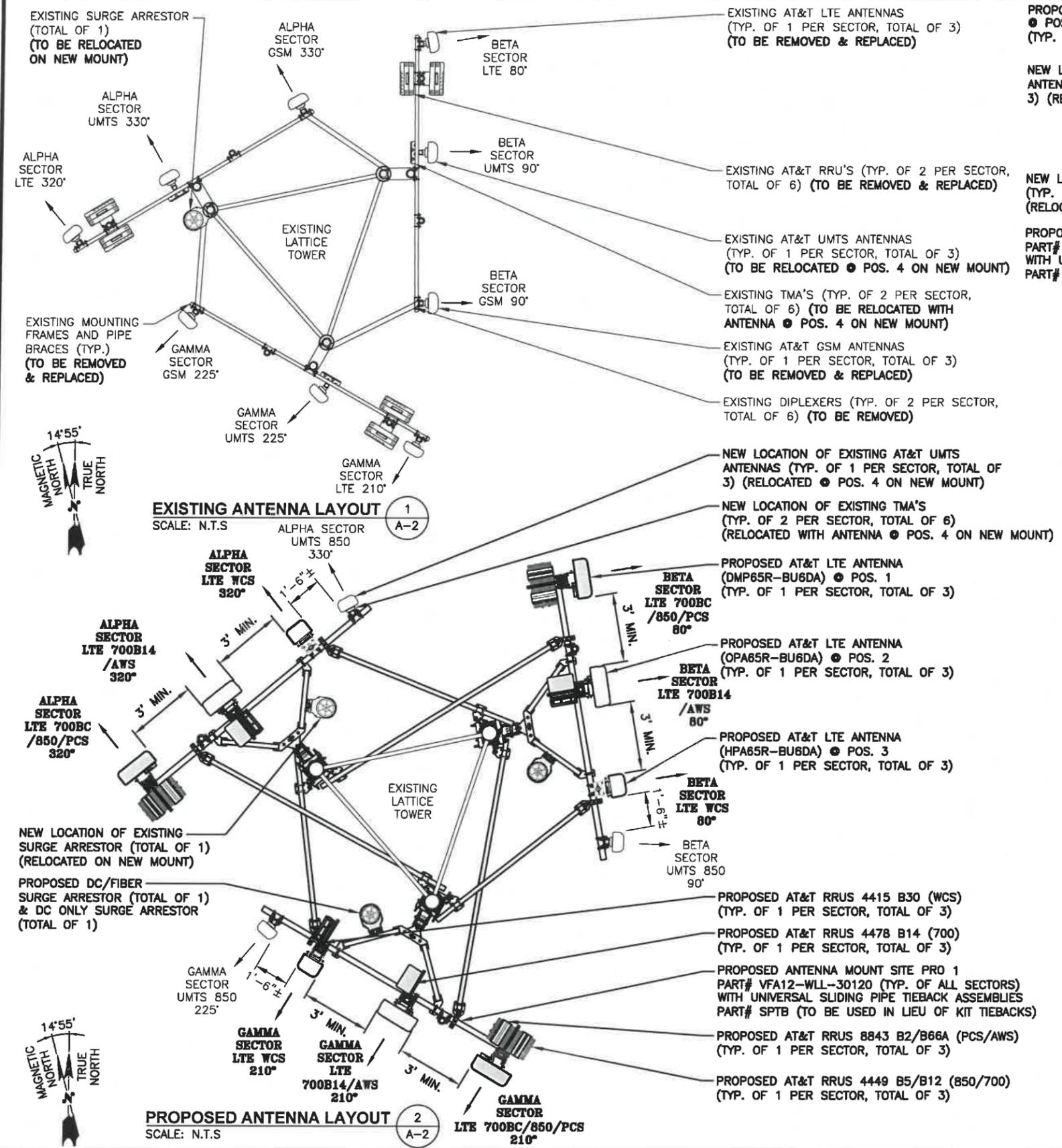
at&t
550 COCHITUATE ROAD
FRAMINGHAM, MA 01701

NO.	DATE	REVISIONS	BY	CHK	APP'D
1	06/12/20	ISSUED FOR CONSTRUCTION	ET	HC	OPH
A	06/02/20	ISSUED FOR REVIEW	ET	HC	DRH

SCALE: AS SHOWN DESIGNED BY: HC DRAWN BY: ET

DANIEL P. HAMM
REGISTERED PROFESSIONAL ENGINEER
No. 40720
COMMONWEALTH OF MASSACHUSETTS

AT&T
COMPOUND & EQUIPMENT PLANS
LTE 3C_4C_5C_5G-NR_4TX4RX 2020 UPGRADE
SITE NUMBER: MA1368 DRAWING NUMBER: A-1 REV: 1



NOTE:
REFER TO THE FINAL RF DATA SHEET FOR FINAL ANTENNA SETTINGS.

NOTE:
AN ANALYSIS FOR THE CAPACITY OF THE EXISTING ANTENNA MOUNT TO SUPPORT THE PROPOSED LOADING HAS BEEN COMPLETED BY:
HUDSON DESIGN GROUP, LLC.
DATED: MAY 29, 2020 (REV.1).

NOTE:
HDG RECOMMENDS THE EXISTING ANTENNA MOUNT BE MAPPED IN ITS ENTIRETY & A MOUNT STRUCTURAL ANALYSIS PERFORMED PRIOR TO THE ANTENNA INSTALLATION.

NOTE:
GROUND EQUIPMENT NOT SHOWN FOR CLARITY

HDG HUDSON Design Group LLC
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SAI
12 INDUSTRIAL WAY SALEM, NH 03079

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3261 MAIN STREET BARNSTABLE, MA 02630 BARNSTABLE COUNTY

at&t
550 COCHITUATE ROAD FRAMINGHAM, MA 01701

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NO.	DATE	REVISIONS	BY	CHK	APP'D
SCALE: AS SHOWN		DESIGNED BY: HC	DRAWN BY: ET		

DANIEL P. CIVIL ENGINEER
No. 40720
REGISTERED PROFESSIONAL ENGINEER

AT&T
ANTENNA LAYOUTS & ELEVATION
LTE 3C_4C_5C_5G-NR_4TX4RX 2020 UPGRADE
SITE NUMBER: MA1368
DRAWING NUMBER: A-2
REV: 1

ANTENNA SCHEDULE

SECTOR	EXISTING/PROPOSED	BAND	ANTENNA	SIZE (INCHES) (L x W x D)	ANTENNA E HEIGHT	AZIMUTH	TMA/ DIPLEXER	RRU	FREQUENCY	SIZE (INCHES) (L x W x D)	FEEDER	RAYCAP
A1	PROPOSED	LTE 700BC/ 850 / PCS	DMP65R-BU6DA	71.2X20.7X7.7	117'-0"±	320°	-	(P)(1) 4449 B5/B12 (P)(1) 8843 B2/B66	(850/700) (PCS/AWS)	17.9"x13.2"x10.4" 14.9"x13.2"x10.9"	-	(E) (1) RAYCAP DC6-48-60-18-BF
A2	PROPOSED	LTE 700B14 / AWS	OPA65R-BU6DA	71.2X21X7.8	117'-0"±	320°	-	(P)(1) 4478 B14	(700)	18.1"x13.4"x8.3"	-	
A3	PROPOSED	LTE WCS	HPA65R-BU6A	71.1X11.7X7.6	117'-0"±	320°	-	(P)(1) 4415 B30	(WCS)	16.5"x13.4"x5.9"	(2)DC/(1)FIBER	
A4	EXISTING	UMTS 850	800-10122	54.5X10.3X5.9	117'-0"±	330°	(2)(E)(G) 782-10250 (2)(E) LGP17201	-	-	-	(2)1-5/8 COAX	
B1	PROPOSED	LTE 700BC/ 850 / PCS	DMP65R-BU6DA	71.2X20.7X7.7	117'-0"±	80°	-	(P)(1) 4449 B5/B12 (P)(1) 8843 B2/B66	(850/700) (PCS/AWS)	17.9"x13.2"x10.4" 14.9"x13.2"x10.9"	-	(P) (1) RAYCAP DC6-48-60-18-8C-EV
B2	PROPOSED	LTE 700B14 / AWS	OPA65R-BU6DA	71.2X21X7.8	117'-0"±	80°	-	(P)(1) 4478 B14	(700)	18.1"x13.4"x8.3"	-	
B3	PROPOSED	LTE WCS	HPA65R-BU6A	71.1X11.7X7.6	117'-0"±	80°	-	(P)(1) 4415 B30	(WCS)	16.5"x13.4"x5.9"	(2)DC/(1)FIBER	
B4	EXISTING	UMTS 850	800-10122	54.5X10.3X5.9	117'-0"±	90°	(2)(E)(G) 782-10250 (2)(E) LGP17201	-	-	-	(2)1-5/8 COAX	
C1	PROPOSED	LTE 700BC/ 850 / PCS	DMP65R-BU6DA	71.2X20.7X7.7	117'-0"±	210°	-	(P)(1) 4449 B5/B12 (P)(1) 8843 B2/B66	(850/700) (PCS/AWS)	17.9"x13.2"x10.4" 14.9"x13.2"x10.9"	-	(P) (1) RAYCAP DC6-48-60-0-8C-EV
C2	PROPOSED	LTE 700B14 / AWS	OPA65R-BU8DA	71.2X21X7.8	117'-0"±	210°	-	(P)(1) 4478 B14	(700)	18.1"x13.4"x8.3"	-	
C3	PROPOSED	LTE WCS	HPA65R-BU6A	71.1X11.7X7.6	117'-0"±	210°	-	(P)(1) 4415 B30	(WCS)	16.5"x13.4"x5.9"	(2)DC	
C4	EXISTING	UMTS 850	800-10122	54.5X10.3X5.9	117'-0"±	225°	(2)(E)(G) 782-10250 (2)(E) LGP17201	-	-	-	(2)1-5/8 COAX	

RRU CHART

QUANTITY	MODEL	SIZE (L x W x D)
P(3)	4449 (850/700)	17.9"x13.2"x10.4"
P(3)	8843 (PCS/AWS)	14.9"x13.2"x10.9"
P(3)	4478 (700)	18.1"x13.4"x8.3"
P(3)	4415 (WCS)	16.5"x13.4"x5.9"

NOTE:
MOUNT PER MANUFACTURER'S SPECIFICATIONS

NOTE:
REFER TO THE FINAL RF DATA SHEET FOR FINAL ANTENNA SETTINGS.

NOTE:
AN ANALYSIS FOR THE CAPACITY OF THE EXISTING ANTENNA MOUNT TO SUPPORT THE PROPOSED LOADING HAS BEEN COMPLETED BY:
HUDSON DESIGN GROUP, LLC.
DATED: MAY 29, 2020 (REV.1).

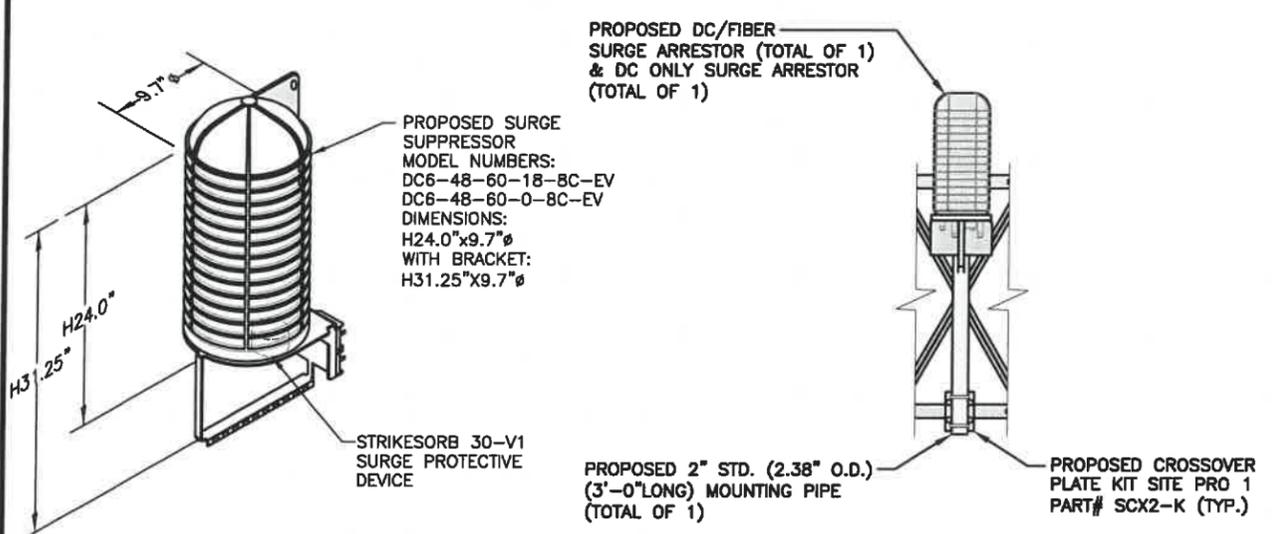
NOTE:
SEE RFDS FOR RRU FREQUENCY AND MODEL NUMBER

PROPOSED RRU REFER TO THE FINAL RFDS AND CHART FOR QUANTITY, MODEL AND DIMENSIONS

NOTE:
MOUNT PER MANUFACTURER'S SPECIFICATIONS.

PROPOSED RRUS DETAIL 2
SCALE: N.T.S. A-3

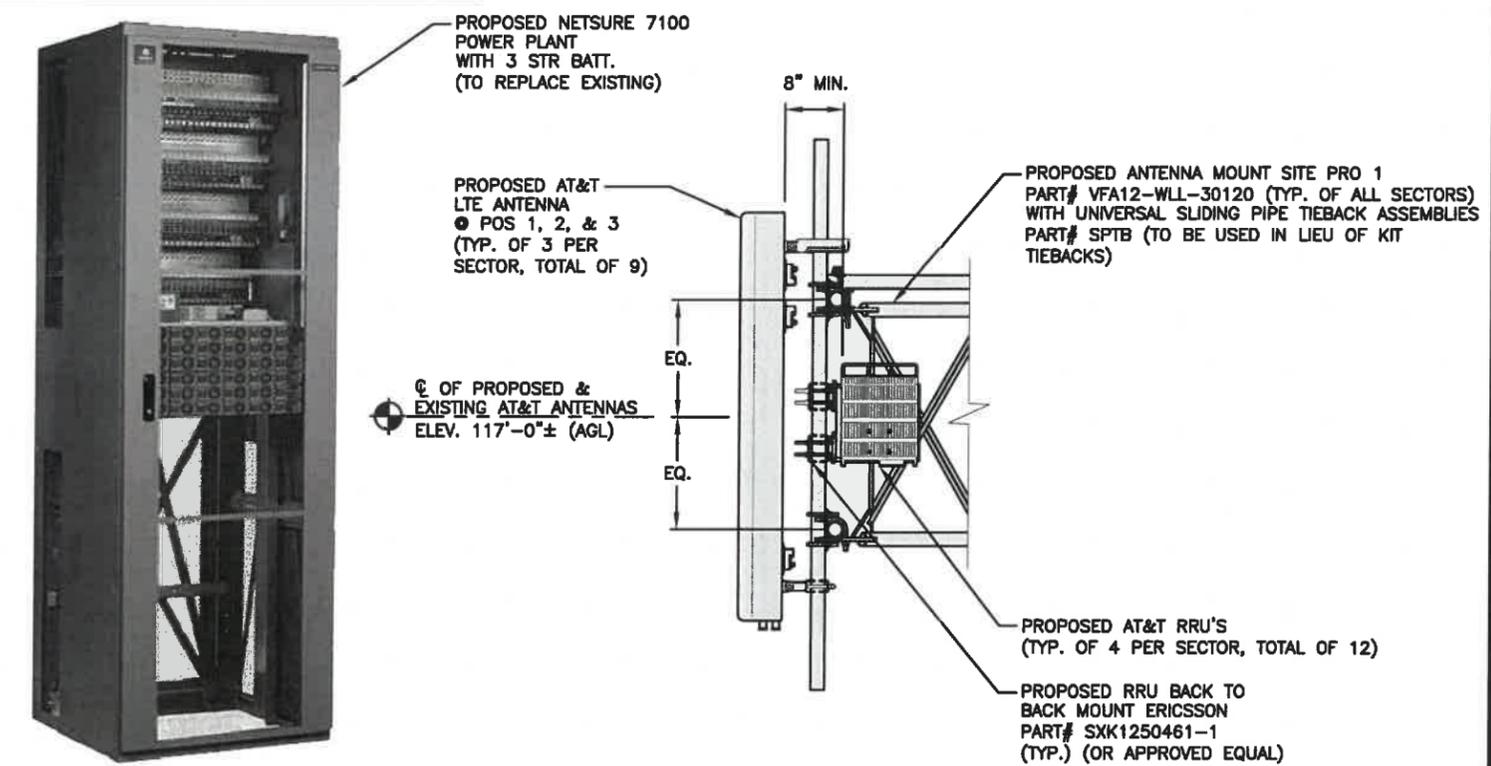
FINAL ANTENNA SCHEDULE 1
SCALE: N.T.S. A-3



NOTE:
MOUNT PER MANUFACTURER'S SPECIFICATIONS.

DC SURGE SUPPRESSOR DETAIL 3
SCALE: N.T.S. A-3

TYPICAL SURGE ARRESTOR MOUNTING DETAIL 4
22x34 SCALE: 3/4"=1'-0" A-3
11x17 SCALE: 3/8"=1'-0"



PROPOSED NETSURE 7100 POWER PLANT DETAIL 5
SCALE: N.T.S. A-4

PROPOSED LTE ANTENNA & RRU MOUNTING DETAIL 6
22x34 SCALE: 3/4"=1'-0" A-3
11x17 SCALE: 3/8"=1'-0"

<p>45 BEECHWOOD DRIVE NORTH ANDOVER, MA 01845 TEL: (978) 557-5553 FAX: (978) 336-5586</p>	<p>12 INDUSTRIAL WAY SALEM, NH 03079</p>	<p>SITE NUMBER: MA1368 SITE NAME: BARNSTABLE MAIN STREET</p> <p>3261 MAIN STREET BARNSTABLE, MA 02630 BARNSTABLE COUNTY</p>	<p>550 COCHITUATE ROAD FRAMINGHAM, MA 01701</p>	<p>AT&T DETAILS LTE 3C_4C_5C_5G-NR_4TX4RX 2020 UPGRADE</p>	<p>1 06/12/20 ISSUED FOR CONSTRUCTION ET HC CPH</p> <p>A 06/02/20 ISSUED FOR REVIEW ET HC CPH</p>	<p>REGISTERED PROFESSIONAL ENGINEER Daniel P. Hamm No. 40720</p>	<p>SITE NUMBER: MA1368 DRAWING NUMBER: A-3 REV: 1</p>
					<p>NO. DATE REVISIONS BY CHK APP'D</p> <p>SCALE: AS SHOWN DESIGNED BY: HC DRAWN BY: ET</p>		

STRUCTURAL NOTES:

- DESIGN REQUIREMENTS ARE PER STATE BUILDING CODE AND APPLICABLE SUPPLEMENTS, INTERNATIONAL BUILDING CODE, EIA/TIA-222-H STRUCTURAL STANDARDS FOR STEEL ANTENNA, TOWERS AND ANTENNA SUPPORTING STRUCTURES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND ENGINEER OF RECORD.
- DESIGN AND CONSTRUCTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A992 (Fy=50 ksi), MISCELLANEOUS STEEL SHALL CONFORM TO ASTM A36 UNLESS OTHERWISE INDICATED.
- STEEL PIPE SHALL CONFORM TO ASTM A500 "COLD-FORMED WELDED & SEAMLESS CARBON STEEL STRUCTURAL TUBING", GRADE B, OR ASTM A53 PIPE STEEL BLACK AND HOT-DIPPED ZINC-COATED WELDED AND SEAMLESS TYPE E OR S, GRADE B. PIPE SIZES INDICATED ARE NOMINAL. ACTUAL OUTSIDE DIAMETER IS LARGER.
- STRUCTURAL CONNECTION BOLTS SHALL BE HIGH STRENGTH BOLTS (BEARING TYPE) AND CONFORM TO ASTM A325 TYPE-X "HIGH STRENGTH BOLTS FOR STRUCTURAL JOINTS, INCLUDING SUITABLE NUTS AND PLAIN HARDENED WASHERS". ALL BOLTS SHALL BE 3/4" DIA UON.
- ALL STEEL MATERIALS SHALL BE GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A123 "ZINC (HOT-DIP GALVANIZED) COATINGS ON IRON AND STEEL PRODUCTS", UNLESS OTHERWISE NOTED.
- ALL BOLTS, ANCHORS AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 "ZINC-COATING (HOT-DIP) ON IRON AND STEEL HARDWARE", UNLESS OTHERWISE NOTED.
- FIELD WELDS, DRILL HOLES, SAW CUTS AND ALL DAMAGED GALVANIZED SURFACES SHALL BE REPAIRED WITH AN ORGANIC ZINC REPAIR PAINT COMPLYING WITH REQUIREMENTS OF ASTM A780. GALVANIZING REPAIR PAINT SHALL HAVE 65 PERCENT ZINC BY WEIGHT, ZIRP BY DUNCAN GALVANIZING. GALVA BRIGHT PREMIUM BY CROWN OR EQUAL. THICKNESS OF APPLIED GALVANIZING REPAIR PAINT SHALL BE NOT LESS THAN 4 COATS (ALLOW TIME TO DRY BETWEEN COATS) WITH A RESULTING COATING THICKNESS REQUIRED BY ASTM A123 OR A153 AS APPLICABLE.
- CONTRACTOR SHALL COMPLY WITH AWS CODE FOR PROCEDURES, APPEARANCE AND QUALITY OF WELDS, AND FOR METHODS USED IN CORRECTING WELDING. ALL WELDERS AND WELDING PROCESSES SHALL BE QUALIFIED IN ACCORDANCE WITH AWS "STANDARD QUALIFICATION PROCEDURES". ALL WELDING SHALL BE DONE USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC AND D.I.I. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "STEEL CONSTRUCTION MANUAL", 14TH EDITION.
- INCORRECTLY FABRICATED, DAMAGED OR OTHERWISE MISFITTING OR NON-CONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE CONSTRUCTION MANAGER PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH ACTION SHALL REQUIRE CONSTRUCTION MANAGER APPROVAL.
- UNISTRUT SHALL BE FORMED STEEL CHANNEL STRUT FRAMING AS MANUFACTURED BY UNISTRUT CORP., WAYNE, MI OR EQUAL. STRUT MEMBERS SHALL BE 1 5/8"x1 5/8"x12GA, UNLESS OTHERWISE NOTED, AND SHALL BE HOT-DIP GALVANIZED AFTER FABRICATION.
- EPOXY ANCHOR ASSEMBLY SHALL CONSIST OF STAINLESS STEEL ANCHOR ROD WITH NUTS & WASHERS. AN INTERNALLY THREADED INSERT, A SCREEN TUBE AND A EPOXY ADHESIVE. THE ANCHORING SYSTEM SHALL BE THE HILTI-HIT HY-270 AND OR HY-200 SYSTEMS (AS SPECIFIED IN DWG.) OR ENGINEERS APPROVED EQUAL.
- EXPANSION BOLTS SHALL CONFORM TO FEDERAL SPECIFICATION FF-S-325, GROUP II, TYPE 4, CLASS I, HILTI KWIK BOLT III OR APPROVED EQUAL. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- LUMBER SHALL COMPLY WITH THE REQUIREMENTS OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND THE NATIONAL FOREST PRODUCTS ASSOCIATION'S NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION. ALL LUMBER SHALL BE PRESSURE TREATED AND SHALL BE STRUCTURAL GRADE NO. 2 OR BETTER.
- WHERE ROOF PENETRATIONS ARE REQUIRED, THE CONTRACTOR SHALL CONTACT AND COORDINATE RELATED WORK WITH THE BUILDING OWNER AND THE EXISTING ROOF INSTALLER. WORK SHALL BE PERFORMED IN SUCH A MANNER AS TO NOT VOID THE EXISTING ROOF WARRANTY. ROOF SHALL BE WATERTIGHT.
- ALL FIBERGLASS MEMBERS USED ARE AS MANUFACTURED BY STRONGWELL COMPANY OF BRISTOL, VA 24203. ALL DESIGN CRITERIA FOR THESE MEMBERS IS BASED ON INFORMATION PROVIDED IN THE DESIGN MANUAL. ALL REQUIREMENTS PUBLISHED IN SAID MANUAL MUST BE STRICTLY ADHERED TO.
- NO MATERIALS TO BE ORDERED AND NO WORK TO BE COMPLETED UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED AND APPROVED IN WRITING.
- SUBCONTRACTOR SHALL FIREPROOF ALL STEEL TO PRE-EXISTING CONDITIONS.

MASSACHUSETTS AMENDMENTS TO THE IBC (REFERENCE 780 CMR):

- 107.6 CONSTRUCTION CONTROL.**
107.6.1 GENERAL. THIS SECTION SHALL APPLY TO THE CONSTRUCTION CONTROLS, PROFESSIONAL SERVICES AND CONTRACTOR SERVICES REQUIRED FOR BUILDINGS AND STRUCTURES NEEDING REGISTERED DESIGN PROFESSIONAL SERVICES.
- 107.6.1.1 SPECIALIZED STRUCTURES.** TELECOMMUNICATION TOWERS, WIND TURBINE TOWERS, AND SIMILAR STRUCTURES ARE ENGINEERED STRUCTURES AND SHALL BE SUBJECT TO THE REQUIREMENTS OF SECTION 107.6.
- 107.6.2.2 CONSTRUCTION.** THE REGISTERED DESIGN PROFESSIONALS WHO ARE RESPONSIBLE FOR THE DESIGN, PLANS, CALCULATIONS, AND SPECIFICATIONS, THEIR DESIGNEE OR THE REGISTERED DESIGN PROFESSIONALS WHO HAVE BEEN RETAINED FOR CONSTRUCTION PHASE SERVICES, SHALL PERFORM THE FOLLOWING TASKS:
- REVIEW, FOR CONFORMANCE TO 780 CMR AND THE DESIGN CONCEPT, SHOP DRAWINGS, SAMPLES AND OTHER SUBMITTALS BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS.
 - PERFORM THE DUTIES FOR REGISTERED DESIGN PROFESSIONALS IN 780 CMR 17.00 SPECIAL INSPECTIONS AND TESTS.
 - BE PRESENT AT INTERVALS APPROPRIATE TO THE STAGE OF CONSTRUCTION TO BECOME GENERALLY FAMILIAR WITH THE PROGRESS AND QUALITY OF THE WORK AND TO DETERMINE IF THE WORK IS BEING PERFORMED IN A MANNER CONSISTENT WITH THE CONSTRUCTION DOCUMENTS AND 780 CMR.
- THE PERMIT APPLICATION SHALL NOT BE DEEMED COMPLETED UNTIL ALL OF THE CONSTRUCTION DOCUMENTS REQUIRED BY 780 CMR HAVE BEEN SUBMITTED. DOCUMENTATION INDICATING THAT WORK COMPLIES WITH THE PLANS AND SPECIFICATIONS SHALL BE PROVIDED AT THE COMPLETION OF EACH PHASE WHEN REQUIRED BY THE BUILDING OFFICIAL. UPON COMPLETION OF THE WORK, THE REGISTERED DESIGN PROFESSIONAL SHALL FILE A FINAL DOCUMENT TO THE BUILDING OFFICIAL INDICATING THAT, TO THE BEST OF HIS OR HER KNOWLEDGE AND BELIEF, THE WORK HAS BEEN PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS AND 780 CMR. FORMS FOR CONSTRUCTION CONTROL WHEN REQUIRED BY THE BUILDING OFFICIAL SHALL BE THOSE FOUND AT <http://www.mass.gov/ocabr/government/oca-agencies/dpl-lp/ops/>.

107.6.2.3 SPECIAL INSPECTIONS AND TESTS. SPECIAL INSPECTIONS AND TESTS SHALL BE PROVIDED IN ACCORDANCE WITH 780 CMR 17.00 SPECIAL INSPECTIONS AND TESTS.

170.6.2.4 NON STRUCTURAL SYSTEM TEST AND INSPECTION. TESTS AND INSPECTIONS OF NON-STRUCTURAL SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE ENGINEERING PRACTICE STANDARDS, REFERENCED STANDARDS LISTED IN 780 CMR 35.00: REFERENCED STANDARDS, OR AS OTHERWISE SPECIFIED IN 780 CMR.

- 107.6.3 CONSTRUCTION CONTRACTOR SERVICES.** THE ACTUAL CONSTRUCTION OF THE WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AS IDENTIFIED ON THE APPROVED PERMIT AND SHALL INVOLVE THE FOLLOWING:
- EXECUTION OF ALL WORK IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS.
 - EXECUTION AND CONTROL OF ALL METHODS OF CONSTRUCTION IN A SAFE AND SATISFACTORY MANNER IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL STATUTES AND REGULATIONS.
 - UPON COMPLETION OF THE CONSTRUCTION, CERTIFICATION IN WRITING TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE THAT, TO THE BEST OF THE CONTRACTOR'S KNOWLEDGE AND BELIEF, CONSTRUCTION HAS BEEN DONE IN SUBSTANTIAL ACCORD WITH SECTION 107.6 AND WITH ALL PERTINENT DEVIATIONS SPECIFICALLY NOTED. THE BUILDING OFFICIAL MAY REQUIRE A COPY OF THIS CERTIFICATION.

107.6.4 PROJECT REPRESENTATION. A PROJECT REPRESENTATIVE MAY BE REQUIRED BY THE BUILDING OFFICIAL. THIS REPRESENTATIVE SHALL KEEP DAILY RECORDS AND SUBMIT REPORTS AS MAY BE REQUIRED BY THE BUILDING OFFICIAL. THIS PROJECT REPRESENTATION REQUIREMENT SHALL BE DETERMINED PRIOR TO THE ISSUANCE OF THE PERMIT AND MAY BE A PREREQUISITE FOR PERMIT ISSUANCE. REFUSAL BY THE APPLICANT TO PROVIDE SUCH SERVICE IF REQUIRED BY THE BUILDING OFFICIAL SHALL RESULT IN THE DENIAL OF THE PERMIT. ALL FEES AND COSTS RELATED TO THE PERFORMANCE OF PROJECT REPRESENTATION SHALL BE BORNE BY THE OWNER. WHEN APPLICATIONS FOR UNUSUAL DESIGNS OR MAGNITUDE OF CONSTRUCTION ARE FILED, OR WHERE REFERENCE STANDARDS REQUIRE SPECIAL ARCHITECTURAL OR ENGINEERING INSPECTIONS, THE BUILDING OFFICIAL MAY REQUIRE THAT THE PROJECT REPRESENTATIVE BE A REGISTERED DESIGN PROFESSIONAL IN ADDITION TO THOSE REGISTERED DESIGN PROFESSIONALS REQUIRED ELSEWHERE IN ACCORDANCE WITH SECTION 107.6.

107.6.5 BUILDING OFFICIAL RESPONSIBILITY. NOTHING CONTAINED IN SECTION 107.6 SHALL HAVE THE EFFECT OF WAIVING OR LIMITING THE BUILDING OFFICIAL'S AUTHORITY TO ENFORCE 780 CMR WITH RESPECT TO EXAMINATION OF THE CONTRACT DOCUMENTS, INCLUDING PLANS, COMPUTATIONS AND SPECIFICATIONS, AND FIELD INSPECTIONS.

SPECIAL INSPECTIONS (REFERENCE IBC CHAPTER 17):

GENERAL: WHERE APPLICATION IS MADE FOR CONSTRUCTION, THE OWNER OR THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE APPROVED AGENCIES TO PERFORM INSPECTIONS DURING CONSTRUCTION ON THE TYPES OF WORK LISTED IN THE INSPECTION CHECKLIST ABOVE.

THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE AND ENGINEERS OF RECORD INVOLVED IN THE DESIGN OF THE PROJECT ARE PERMITTED TO ACT AS THE APPROVED AGENCY AND THEIR PERSONNEL ARE PERMITTED TO ACT AS THE SPECIAL INSPECTOR FOR THE WORK DESIGNED BY THEM, PROVIDED THOSE PERSONNEL MEET THE QUALIFICATION REQUIREMENTS.

STATEMENT OF SPECIAL INSPECTIONS: THE APPLICANT SHALL SUBMIT A STATEMENT OF SPECIAL INSPECTIONS PREPARED BY THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE IN ACCORDANCE WITH SECTION 107.1 AS A CONDITION FOR ISSUANCE. THIS STATEMENT SHALL BE IN ACCORDANCE WITH SECTION 1705.

REPORT REQUIREMENT: SPECIAL INSPECTORS SHALL KEEP RECORDS OF INSPECTIONS. THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, AND TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE. REPORTS SHALL INDICATE THAT WORK INSPECTED WAS OR WAS NOT COMPLETED IN CONFORMANCE TO APPROVED CONSTRUCTION DOCUMENTS. DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION. IF THEY ARE NOT CORRECTED, THE DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDING OFFICIAL AND TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE. A FINAL REPORT DOCUMENTING REQUIRED SPECIAL INSPECTIONS SHALL BE SUBMITTED.

REQUIRED INSPECTIONS AND SITE REVIEW DOCUMENT AS A CONDITION OF THE BUILDING PERMIT THE FOLLOWING INSPECTIONS AND SITE REVIEWS IDENTIFIED BY THE BUILDING OFFICIAL ARE REQUIRED FOR WORK PER THE 9TH EDITION OF THE MASSACHUSETTS STATE BUILDING CODE, 780 CMR, SECTION 110 AND CHAPTER 17

REQUIRED SITE REVIEW AND DOCUMENTATION FOR PORTIONS OR PHASES CONSTRUCTION 1,6,7
 (TO BE PERFORMED BY THE APPROPRIATE REGISTERED DESIGN PROFESSIONAL OR HIS/HER DESIGNEE OR M.G.L.C 112 §91R CONTRACTOR)

SITE REVIEW AND DOCUMENTATION	X	SITE REVIEW AND DOCUMENTATION	X
SOIL CONDITION/ANALYSIS/REPORT		ENERGY EFFICIENCY REQUIREMENTS	
FOOTING AND FOUNDATION (INCLUDING REINFORCEMENT AND FOUNDATION ATTACHMENT)		FIRE ALARM INSTALLATION ²	
CONCRETE FLOOR AND UNDER FLOOR		FIRE SUPPRESSION INSTALLATION ³	
LOWEST FLOOR FLOOD ELEVATION		FIELD REPORTS ⁵	
STRUCTURAL FRAME - WALL/FLOOR/ROOF	X	CARBON MONOXIDE DETECTION SYSTEM ⁴	
LATH AND PLASTER/GYPSUM		SEISMIC REINFORCEMENT	
FIRE RESISTANT WALL/PARTITIONS FRAMING		SMOKE CONTROL SYSTEMS	
FIRE RESISTANT WALL/PARTITIONS FINISH ATTACHMENTS		SMOKE AND HEAT VENTS	
ABOVE CEILING INSPECTION		ACCESSIBILITY (521 CMR)	
FIRE BLOCKING/STOPPING SYSTEM		OTHER:	
EMERGENCY LIGHTING/EXIT SIGNAGE			
MEANS OF EGRESS COMPONENTS		SPECIAL INSPECTIONS (SECTION 1704):	X
ROOFING, COPING/SYSTEM			
VENTING SYSTEMS (KITCHEN, CHEMICAL, FUME)			
MECHANICAL SYSTEMS			

NOTES:

- ALL CONNECTIONS TO BE SHOP WELDED & FIELD BOLTED USING 3/4" A325-X BOLTS, UNLESS OTHERWISE NOTIFIED.
- SHOP DRAWING ENGINEER REVIEW & APPROVAL REQUIRED BEFORE ORDERING MATERIAL.
- SHOP DRAWING ENGINEER REVIEW & APPROVAL REQUIRED PRIOR TO STEEL FABRICATION.
- VERIFICATION OF EXISTING ROOF CONSTRUCTION IS REQUIRED PRIOR TO THE INSTALLATION OF THE ROOF PLATFORM. ENGINEER OF RECORD IS TO APPROVE EXISTING CONDITIONS IN ORDER TO MOVE FORWARD.
- CENTERLINE OF PROPOSED STEEL PLATFORM SUPPORT COLUMNS TO BE CENTRALLY LOCATED OVER THE EXISTING BUILDING COLUMNS.
- EXISTING BRICK MASONRY COLUMNS/BEARING TO BE REPAIRED/REPLACED AT ALL PROPOSED PLATFORM SUPPORT POINTS. ENGINEER OF RECORD TO REVIEW AND APPROVE.

NOTES:

- REQUIRED FOR ANY NEW SHOP FABRICATED FRP OR STEEL.
- PROVIDED BY MANUFACTURER, REQUIRED IF HIGH STRENGTH BOLTS OR STEEL.
- PROVIDED BY GENERAL CONTRACTOR; PROOF OF MATERIALS.
- HIGH WIND ZONE INSPECTION CATB 120MPH OR CAT C,D 110MPH INSPECT FRAMING OF WALLS, ANCHORING, FASTENING SCHEDULE.
- ADHESIVE FOR REBAR AND ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ACI 355.4 AND ICC-ES AC308 FOR CRACKED CONCRETE AND SEISMIC APPLICATIONS. DESIGN ADHESIVE BOND STRENGTH HAS BEEN BASED ON ACI 355.4 TEMPERATURE CATEGORY B WITH INSTALLATIONS INTO DRY HOLES DRILLED USING A CARBIDE BIT INTO CRACKED CONCRETE THAT HAS CURED FOR AT LEAST 21 DAYS. ADHESIVE ANCHORS REQUIRING CERTIFIED INSTALLATIONS SHALL BE INSTALLED BY A CERTIFIED ADHESIVE ANCHOR INSTALLER PER ACI 318-11 D.9.2.2. INSTALLATIONS REQUIRING CERTIFIED INSTALLERS SHALL BE INSPECTED PER ACI 318-11 D.8.2.4. AS REQUIRED; FOR ANY FIELD CHANGES TO THE ITEMS IN THIS TABLE.

SPECIAL INSPECTION CHECKLIST

BEFORE CONSTRUCTION	
CONSTRUCTION/INSTALLATION INSPECTIONS AND TESTING REQUIRED (COMPLETED BY ENGINEER OF RECORD)	REPORT ITEM
N/A	ENGINEER OF RECORD APPROVED SHOP DRAWINGS ¹
N/A	MATERIAL SPECIFICATIONS REPORT ²
N/A	FABRICATOR NDE INSPECTION
REQUIRED	PACKING SLIPS ³
ADDITIONAL TESTING AND INSPECTIONS:	
DURING CONSTRUCTION	
CONSTRUCTION/INSTALLATION INSPECTIONS AND TESTING REQUIRED (COMPLETED BY ENGINEER OF RECORD)	REPORT ITEM
REQUIRED	STEEL INSPECTIONS
N/A	HIGH STRENGTH BOLT INSPECTIONS
N/A	HIGH WIND ZONE INSPECTIONS ⁴
N/A	FOUNDATION INSPECTIONS
N/A	CONCRETE COMP. STRENGTH, SLUMP TESTS AND PLACEMENT
N/A	POST INSTALLED ANCHOR VERIFICATION ⁵
N/A	GROUT VERIFICATION
N/A	CERTIFIED WELD INSPECTION
N/A	EARTHWORK: LIFT AND DENSITY
N/A	ON SITE COLD GALVANIZING VERIFICATION
N/A	GUY WIRE TENSION REPORT
ADDITIONAL TESTING AND INSPECTIONS:	
AFTER CONSTRUCTION	
CONSTRUCTION/INSTALLATION INSPECTIONS AND TESTING REQUIRED (COMPLETED BY ENGINEER OF RECORD)	REPORT ITEM
REQUIRED	MODIFICATION INSPECTOR REDLINE OR RECORD DRAWINGS ⁶
N/A	POST INSTALLED ANCHOR PULL-OUT TESTING
REQUIRED	PHOTOGRAPHS
ADDITIONAL TESTING AND INSPECTIONS:	

- IT IS THE RESPONSIBILITY OF THE PERMIT APPLICANT TO NOTIFY THE BUILDING OFFICIAL OF REQUIRED INSPECTIONS (X). INSPECTION OF 780 CMR FIRE PROTECTION SYSTEMS MAY BE WITNESSED BY THE FIRE OFFICIAL AND INSTALLATION PERMITS ARE REQUIRED FROM THE FIRE DEPARTMENT PER 527 CMR.
- INCLUDE NFPA 72 TEST AND ACCEPTANCE DOCUMENTATION
- INCLUDE APPLICABLE NFPA 13, 13R, 13D, 14, 15, 17, 20, 241, ETC. - TEST AND ACCEPTANCE DOCUMENTATION
- INCLUDE NFPA 720 RECORD OF COMPLETION AND INSPECTION AND TEST FORM
- INCLUDE FIELD REPORTS AND RELATED DOCUMENTATION
- WORK SHALL NOT PROCEED, OR BE CONCEALED, UNTIL THE REQUIRED INSPECTION HAS BEEN APPROVED BY THE BUILDING OFFICIAL, AND NOTHING WITHIN CONSTRUCTION CONTROL SHALL HAVE THE EFFECT OF WAIVING OR LIMITING THE BUILDING OFFICIAL'S AUTHORITY TO ENFORCE THIS CODE WITH RESPECT TO EXAMINATION OF THE CONTRACT DOCUMENTS, INCLUDING PLANS, COMPUTATIONS AND SPECIFICATIONS, AND FIELD INSPECTIONS.
- ROUGH AND/OR FINISH INSPECTIONS OF ELECTRICAL, PLUMBING, OR SHEET METAL SHALL BE INSPECTED PRIOR TO ROUGH AND FINISH INSPECTIONS BY THE BUILDING OFFICIAL.

HUDSON Design Group LLC
 45 BEECHWOOD DRIVE
 NORTH ANDOVER, MA 01845
 TEL: (978) 557-5553
 FAX: (978) 336-5586

SAI
 12 INDUSTRIAL WAY
 SALEM, NH 03079

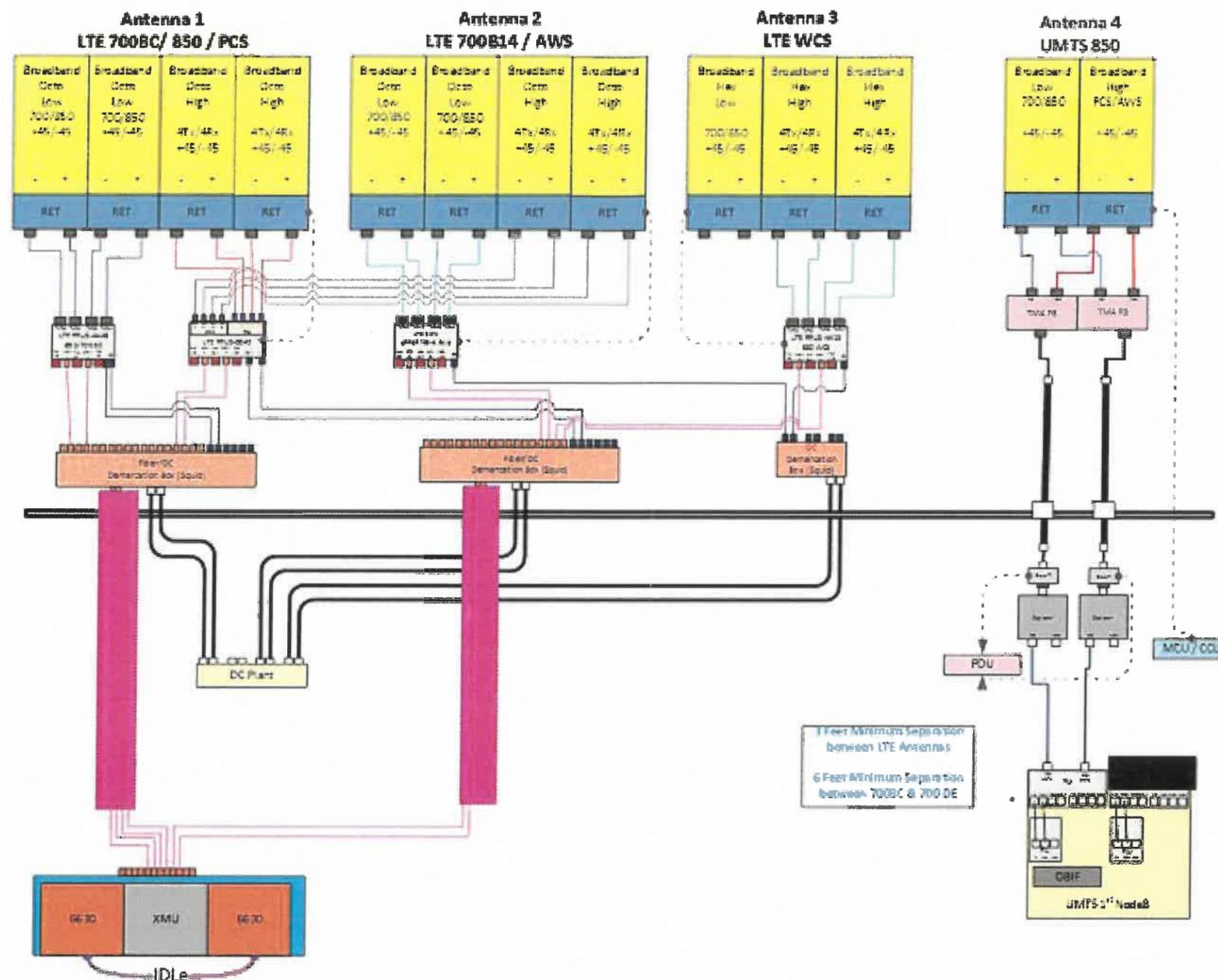
SITE NUMBER: MA1368
SITE NAME: BARNSTABLE MAIN STREET
 3261 MAIN STREET
 BARNSTABLE, MA 02630
 BARNSTABLE COUNTY

at&t
 550 COCHITUATE ROAD
 FRAMINGHAM, MA 01701

DANIEL P. HAMM
 REGISTERED PROFESSIONAL ENGINEER
 No. 40720
 AT&T
STRUCTURAL NOTES
 LTE 3C_4C_5C_5G-NR_4TX4RX 2020 UPGRADE
 SITE NUMBER: MA1368
 DRAWING NUMBER: SN-1
 REV: 1

NO.	DATE	REVISIONS	BY	CHK	APP'D
1	08/12/20	ISSUED FOR CONSTRUCTION	ET	HC	CPH
A	08/02/20	ISSUED FOR REVIEW	ET	HC	CPH

SCALE: AS SHOWN DESIGNED BY: HC DRAWN BY: ET



RF PLUMBING DIAGRAM 1
SCALE: N.T.S. RF-1

NOTE:
1. CONTRACTOR TO CONFIRM ALL PARTS.
2. INSTALL ALL EQUIPMENT TO MANUFACTURER'S RECOMMENDATIONS

NOTE:
REFER TO THE FINAL RF DATA SHEET FOR FINAL ANTENNA SETTINGS.

NO.	DATE	REVISIONS	BY	CHK	APP'D
1	06/12/20	ISSUED FOR CONSTRUCTION	ET	HC	DPH
A	06/02/20	ISSUED FOR REVIEW	ET	HC	DPH

SCALE: AS SHOWN DESIGNED BY: HC DRAWN BY: ET

AT&T		
RF PLUMBING DIAGRAM		
LTE 3C_4C_5C_5G-NR_4TX4RX 2020 UPGRADE		
SITE NUMBER	DRAWING NUMBER	REV
MA1368	RF-1	1

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 299024

MAILED ON 10/20/20

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
278008	BARTLETT, STEPHEN S & ELAINE M TRS	BARTLETT REALTY TRUST	P O BOX 563		BARNSTABLE	MA	02630
278010	COBLYN, JONATHAN S & AMY B		14 WINDEMERE ROAD		WELLESLEY	MA	02481
278012	XAVIER, LUIS DANIEL	%CAJINA, CARLOS & CARMONA, MARYORI	61 RAILROAD AVENUE		BARNSTABLE	MA	02630
299006	MARCHESE, ROBERT J & CLORINDA		P O BOX 1027		BARNSTABLE	MA	02630
299014001	DELIA, PAULETTE N		PO BOX 1102		BARNSTABLE	MA	02630
299016	WEIR, NANCY NEIL & KLUN, VICTORIA		PO BOX 222		BARNSTABLE	MA	02630
299018	PHILBROOK, ANGELA R		3261 MAIN STREET SUITE 6	PO BOX 1262	BARNSTABLE	MA	02630
299019	BARNSTABLE FIRE DISTRICT		PO BOX 546		BARNSTABLE	MA	02630
299020	TR 3231 MAIN STREET LLC	C/O TURTLE ROCK LLC	231 WILLOW STREET		YARMOUTHPORT	MA	02675
299021	TR 3231 MAIN STREET LLC	C/O TURTLE ROCK LLC	231 WILLOW STREET		YARMOUTHPORT	MA	02675
299022	TR 3225 MAIN STREET LLC	C/O TURTLE ROCK LLC	231 WILLOW STREET		YARMOUTHPORT	MA	02675
299023	RUBY SLIPPERS LLC		PO BOX 194		HYANNIS PORT	MA	02647
299023001	CROSBY, FREEMAN M TR	CROSBY FAMILY FLORIDA TR AGREEMENT	502 1/2 ESTADA STREET		ENGLEWOOD	FL	34223

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
299024	BARNSTABLE, COUNTY OF		3195 MAIN STREET		BARNSTABLE	MA	02630
29902500A	CHASSON, MARK B & KELLY E TRS	M3 SONS FIDUCIARY TRUST	PO BOX 337		BARNSTABLE	MA	02630
29902500B	CHASSON, MARK B & KELLY E TRS	M3 SONS FIDUCIARY TRUST	PO BOX 337		BARNSTABLE	MA	02630
29902500C	CHASSON, MARK B & KELLY E TRS	M3 SONS FIDUCIARY TRUST	PO BOX 337		BARNSTABLE	MA	02630
29902500D	OLD KINGS PROPERTIES LLC		PO BOX 1092		BARNSTABLE	MA	02630
29902500E	CARSWELL, JAMES R & ANDERSON, PAUL D &	%JOHN A CIRAULO PC	1266 FURNACE BROOK PKWY STE400		QUINCY	MA	02169
299026	BARNSTABLE COMEDY CLUB INC		BOX 361		BARNSTABLE	MA	02630
299027	CALIXTO, CARLOS A & COLBY, CAROLYN B		2 OLD SALEM RD		MARBLEHEAD	MA	01945
299028	LATHAM CENTERS, INC		1646 MAIN STREET		BREWSTER	MA	02631
299032	BAHRAWY, JENS A		PO BOX 720	3252 MAIN STREET	BARNSTABLE	MA	02630
299033	3256 MAIN BARNSTABLE LLC		600 LORING AVENUE		SALEM	MA	01970
299066	BEACH POINT LLC		140 MONTVALE ROAD		WESTON	MA	02493
299082	SMITH, MARY LINDSEY & CARRIE LEIGH		P O BOX 124		BARNSTABLE	MA	02630
299093	BONE, ROGER F & PARENTE, ROBERTA A		797 GARFIELD AVENUE		BRIDGEWATER	NJ	08807
299093002	SPRING, JOHN TYLER TR	142 MAUSHOP AVE REALTY TRUST	PO BOX 260		BARNSTABLE	MA	02630
299093003	MUELLER, CHARLES F & NANCY K TRS	MUELLER FAMILY REVOCABLE TRUST	350 BOYLSTON ST UNIT 105		NEWTON	MA	02459

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
300006	MELDON, JOHN J TR	%MELDON, JOHN J TR	60 NORTH WATER STREET		NEW BEDFORD	MA	02740
300007	ELLIS, JOAN E & JOHN P		PO BOX 22		BARNSTABLE	MA	02630
300008	FIELD, JOHN A & BEARSE, M KRISTEN		570 GRAND STREET, APT H1305		NEW YORK	NY	10002
300010	3220 MAIN STREET LLC		C/O TURTLE ROCK LLC	231 WILLOW ST	YARMOUTHPORT	MA	02675
300048	MELDON, JOHN J TR	%MELDON, JOHN J TR	60 NORTH WATER STREET		NEW BEDFORD	MA	02740

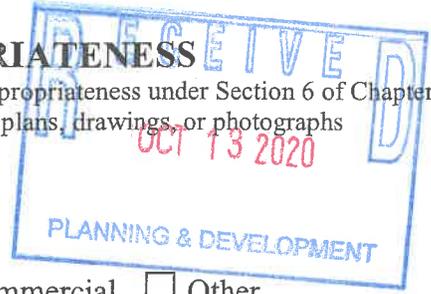


Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:



Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 10-07-2020

NOTE: All applications must be signed by the current owner

Owner (print): Gary and Carolyn Murphy Telephone #: 508-362-9654 508 716 9296
 Address of Proposed Work: 460 Church Street Village West Barnstable Map Lot # 176 010
 Mailing Address (if different) _____

Owner's Signature Carolyn M. Murphy

Description of Proposed Work: Give particulars of work to be done: change front door color to "modern masters" Serene Blue or "modern masters" Tranquil
change shutters over to "modern masters" Serene Blue

Agent or Contractor (print): Campbell D'Amore Telephone #: 508 367 1238
 Address: _____ Email: _____

Contractor/Agent' signature: _____

<p><i>For committee use only</i></p> <p>Date _____</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p>	<p>This Certificate is hereby APPROVED / DENIED</p>
---	--

VIDEOS IMAGES



Modern Masters 296681 Front Door Paint, 1 Quart, Satin Tranquil

Color:Satin Tranquil



SERENZ

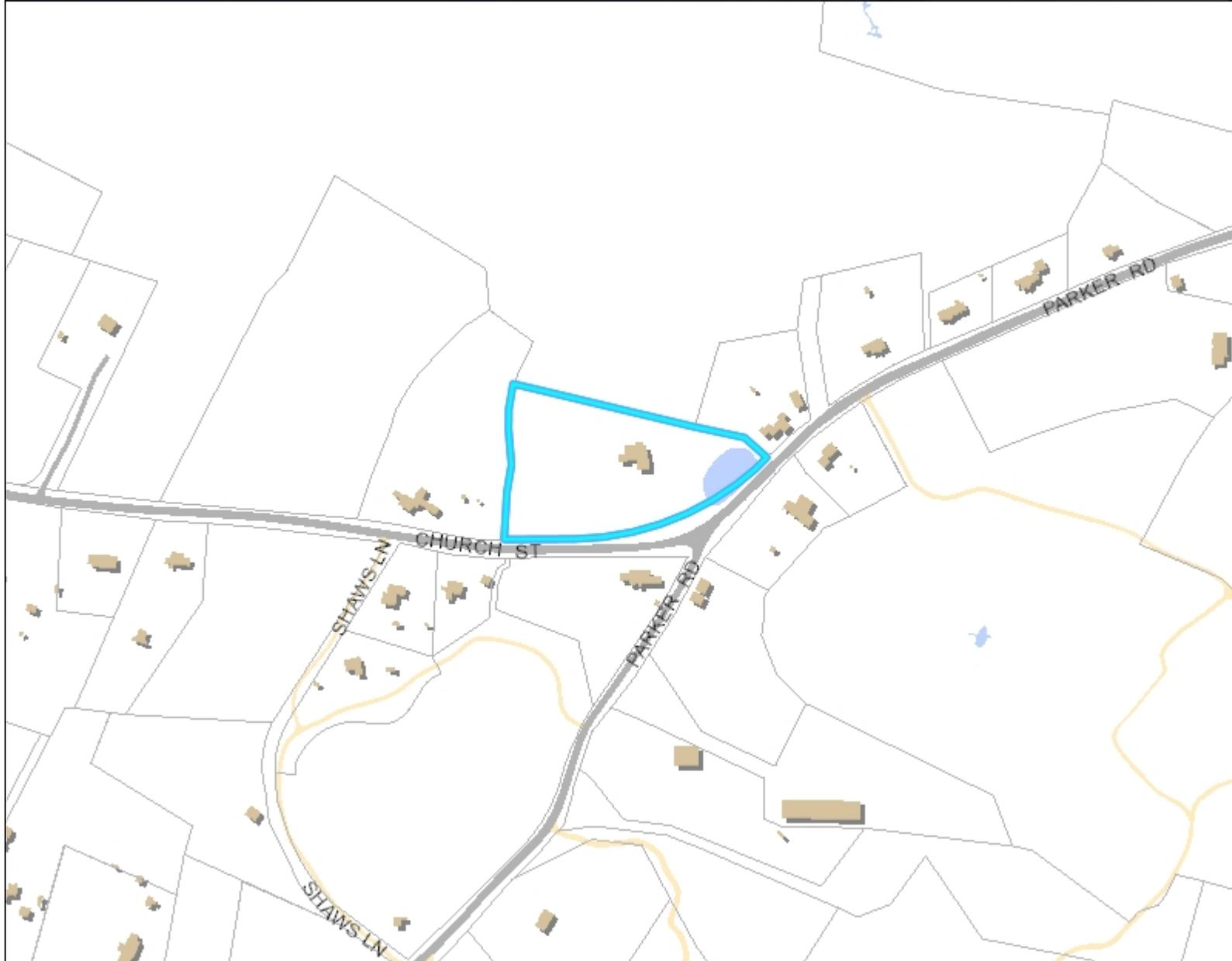
Sponsored

B00E8301X6/ref=asc_df_B00E82099Y/?tag=hyprod-20&linkCode=df0&hvadid=19... 1/10



Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Parking Lots
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - ▨ Bridge
 - Paved Median
- Water Bodies



Map printed on: 10/19/2020



Approx. Scale: 1 inch = 333 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Legend

Road Names



Map printed on: 10/19/2020



Approx. Scale: 1 inch = 83 feet



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MAILED ON 10/20/20

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 176010

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
176002002	JENKINS, JAMES A TR	JENKINS NOMINEE TRUST	PO BOX 199		MARSTONS MILLS	MA	02648
176003	RICHMOND, RICHARD J & DEBORAH A		453 CHURCH ST		WEST BARNSTABLE	MA	02668
176004	ELLIS, JAMES H		429 CHURCH STREET		WEST BARNSTABLE	MA	02668
176009	MERRIMAN, JASON TR & NICOLE TR	JASON & NICOLE MERRIMAN 2018 LIVING TRS	410 CHURCH STREET		WEST BARNSTABLE	MA	02668
176010	MURPHY, GARY S & CAROLYN M		460 CHURCH ST		WEST BARNSTABLE	MA	02668
176011	DEPIN, ROBERT F JR & KELLY K		328 PARKER RD		WEST BARNSTABLE	MA	02668
176020	NIEHOFF, K RICHARD & JEANNETTE C		333 PARKER ROAD		WEST BARNSTABLE	MA	02668
177001	BARNSTABLE, TOWN OF (CON)	CONSERVATION COMMISSION	200 MAIN STREET		HYANNIS	MA	02601



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof: new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool: Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 10/8/20

NOTE: All applications must be signed by the current owner

Owner (print): Tara & David Brown Telephone #: 774-810-6381

Address of Proposed Work: 101 Deacon Ct. Village Barnstable Map Lot # 300 Parcel 6d

Mailing Address (if different) n/a

Owner's Signature Tara A Brown

Description of Proposed Work: Give particulars of work to be done: Construct new dormers & additions per plan to include new garage doors

Agent or Contractor (print): B&D custom Bldrs, Inc. Telephone #: 774-994-1357

Address: P.O. Box 21, W. Barnstable, MA 02668 Email: kevina@bdcapecod.com

Contractor/Agent' signature: Kevin M. Boyer

<p><i>For committee use only</i></p> <p>Date _____</p> <p>Members signatures _____</p> <p>Conditions of approval _____</p>	<p>This Certificate is hereby APPROVED / DENIED</p>
--	--

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) Concrete

Siding Type: Clapboard shingle other
Material: red cedar white cedar other Color: natural

Chimney Material: Stucco (to match existing) Color: White (to match existing)

Roof Material: (make & style) Asphalt/architectural Color: gray

Roof Pitch(s): (7/12 minimum) see plans (specify on plans for new buildings, major additions)

Window and door trim material: wood other material, specify Aztec - painted white

Size of cornerboards per plan size of casings (1 X 4 min.) - match existing color white

Rakes 1st member 2nd member Depth of overhang

Window: (make/model) Andersen material match existing color white exterior
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights exterior glued grills grills between glass removable interior None

Door style and make: Front door: mahogany material Mud Rm - Fir Color: white pt.
to match existing
Color: mahogany / white painted

Garage Door, Style Carriage Size of opening 7x9 Material Composite Color white

Shutter Type/Style/Material: n/a Color:

Gutter Type/Material: Aluminum - to match existing Color: white

Deck material: wood other material, specify n/a Color:

Skylight, type/make/model/: Velux material aluminum clad Color: clad - white Size: per plan @ rear covered porch

Sign size: Type/Materials: Color:

Fence Type (max 6') Style material: Color:

Retaining wall: Material:

Lighting, freestanding on building illuminating sign

OTHER INFORMATION:

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) [Signature] Print Name 10/8/20

5. SIGNS

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

7. FEES

- Filing fee** according to schedule, made payable to the Town of Barnstable
- Legal ad fee \$19.84** check made payable to the Town of Barnstable for the required legal ad notification
Note the filing fee and legal ad fees need to be on separate checks. We apologize in advance for any inconvenience this may cause.
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer) Kevin M. Boyar Print Kevin M. Boyar for
B&D Custom Bldgs., Inc.
 Date: 10/8/20 Tel. Phone no's: 774-994-1357
 Email Kevin@bdcapecod.com

NOTE: The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS

ATTENDANCE AT MEETINGS: If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED

APPEAL PERIOD	APPROVED PLANS	PLAN PICK UP
----------------------	-----------------------	---------------------

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Planning & Development Department, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

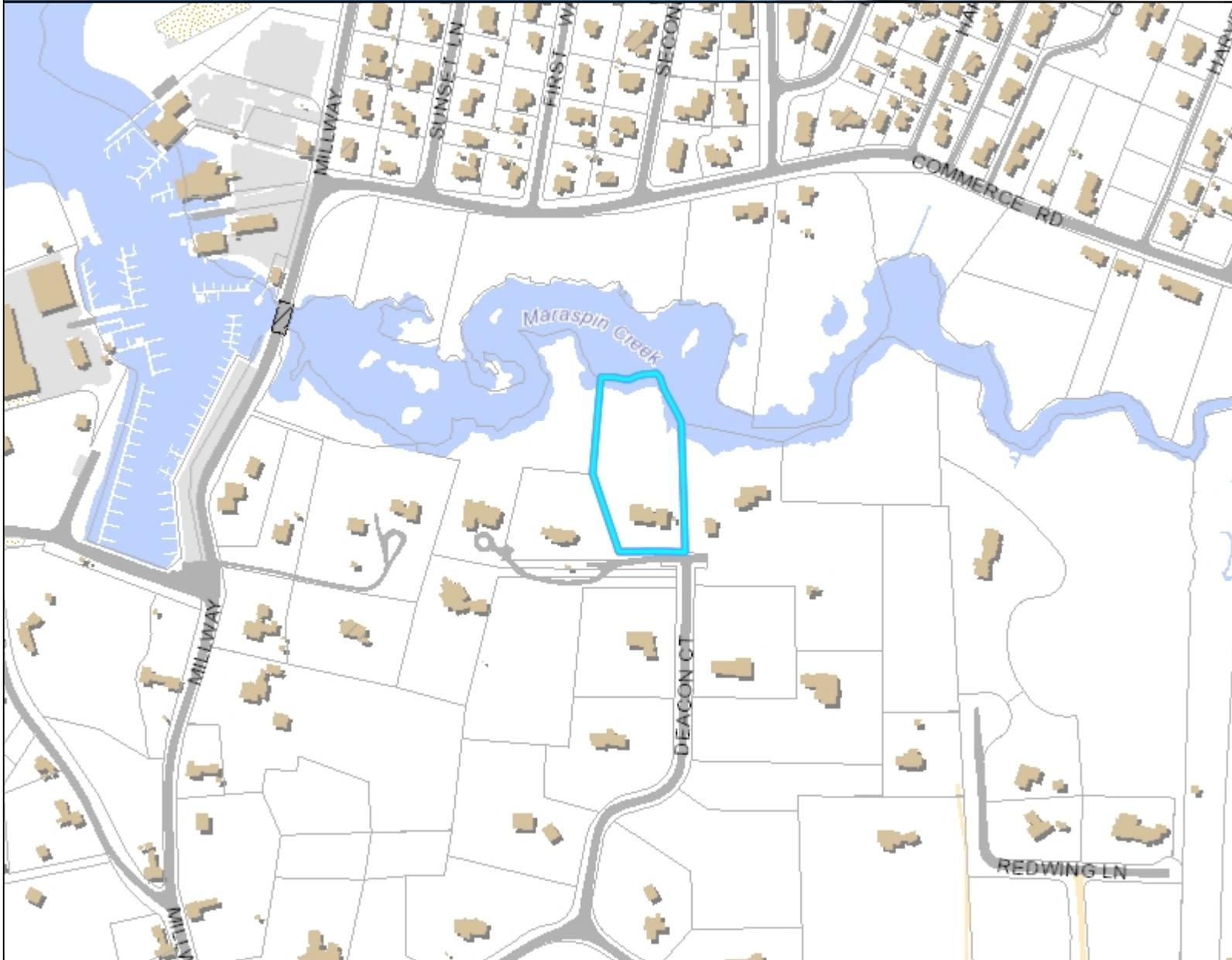
Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway Regional Historic District Commission.

BUILDING PERMITS, OTHER AGENCY CONTACTS
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In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.

All certificates issued will expire one year from the date of issue, or upon the expiration date of any building permit issued for the work, whichever expiration date shall be later. The committee may renew any certificate for one additional year, providing the request for such renewal is received at least 30 days prior to the expiration date.

QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787
--



Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Parking Lots
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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 10/19/2020



Approx. Scale: 1 inch = 83 feet



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MAILED ON 10/20/20

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 300061

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
300032001	BOUVIER, BRIAN A & RAMONA M TRS	BRIAN A BOUVIER 2011 REV TRUST	PO BOX 228		BARNSTABLE	MA	02630
300033001	LAPINE, PAUL A & WENDY S		91 DEACON COURT		BARNSTABLE	MA	02630
300060	MARSHALL, W HERBERT II & SALLY C		100 DEACON COURT		BARNSTABLE	MA	02630
300061	BROWN, DAVID J & TARA J		101 DEACON COURT		BARNSTABLE	MA	02630



1 Existing Front Elevation
SCALE: 1/4" = 1'-0"

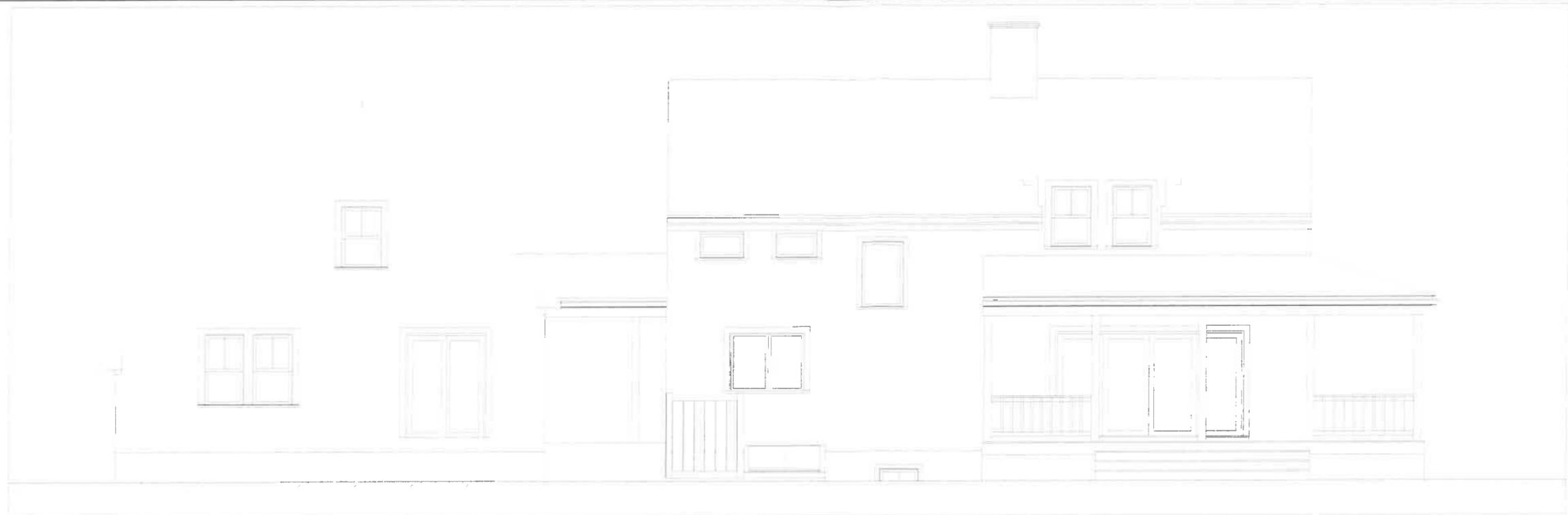


2 New Front Elevation
SCALE: 1/4" = 1'-0"

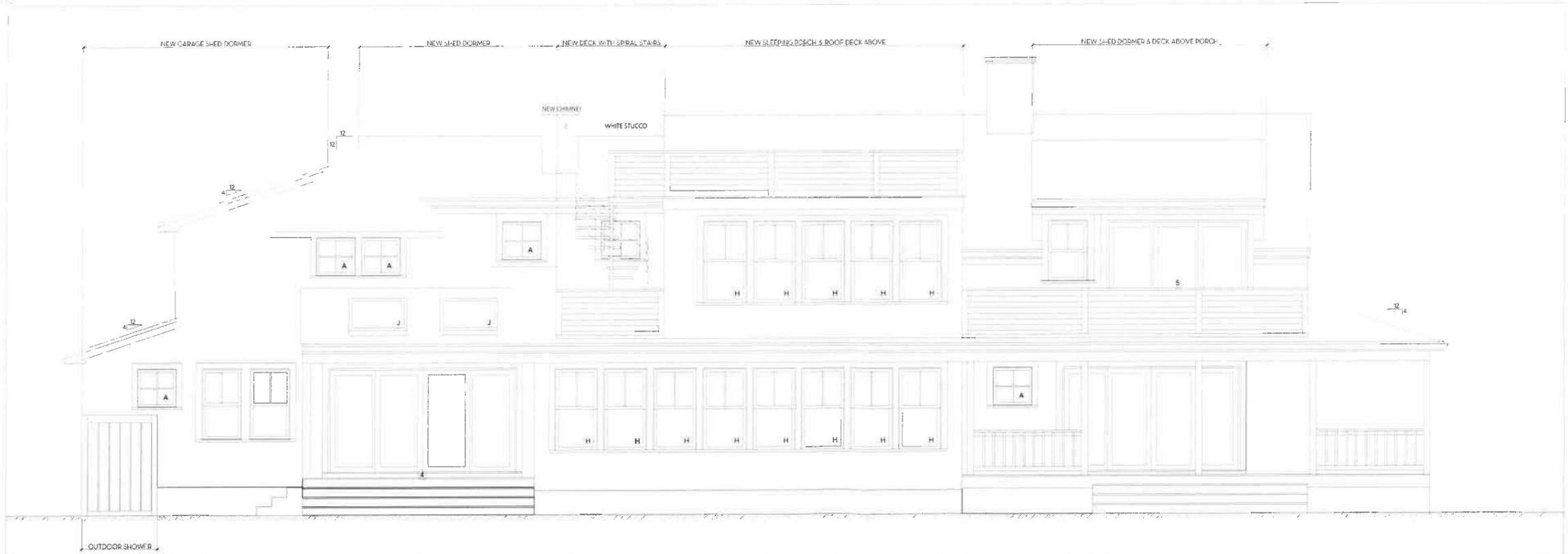
ID	QUANTITY	DOOR SIZE		COMMENT
		WIDTH	HEIGHT	
(1)	1	3'-6"	7'-0"	SIMPSON MAHOGANY 1/2 GLASS-NATURAL
(2)	2	3'-0"	7'-0"	SIMPSON 2/3 GLASS 4 LITE -WHITE
(3)	4	3'-0"	6'-11"	ANDERSEN FULL GLASS - WHITE
(4)	1	12'-3"	6'-11"	ANDERSEN SLIDER -WHITE
(5)	1	9'-0"	6'-6"	ANDERSEN SLIDER -WHITE - RELOCATED
(6)	2	9'-0"	7'-0"	CLOPAY Q.H. COTTAGE STYLE - WHITE
(7)	1	6'-0"	7'-8"	SITE BUILT BARN STYLE - WHITE

ID	QUANTITY	UNIT SIZE		COMMENT
		WIDTH	HEIGHT	
A	12	2'-5"	2'-5"	WHITE AWNING 4 LITE
B	2	2'-0"	2'-0"	WHITE AWNING 4 LITE
C	5	2'-8"	3'-4"	WHITE DH - TW 2632 2/1 LITE
D	3	2'-8"	4'-6"	WHITE DH - TW 26310 2/1 LITE
E	1	2'-10"	5'-0"	WHITE DH - TW 28410 2/1 LITE
F	3	2'-6"	3'-8"	WHITE DH - TW 28410 2/1 LITE
G	5	2'-8"	4'-4"	WHITE DH - TW 2642 2/1 LITE
H	13	2'-10"	5'-4"	WHITE DH - TW 2852 2/1 LITE
I	6	2'-6"	5'-4"	WHITE DH - TW 2452 2/1 LITE
J	2	44"	45"	VELUX SKYLITE





1 Existing Rear Elevation
SCALE: 1/4" = 1'-0"

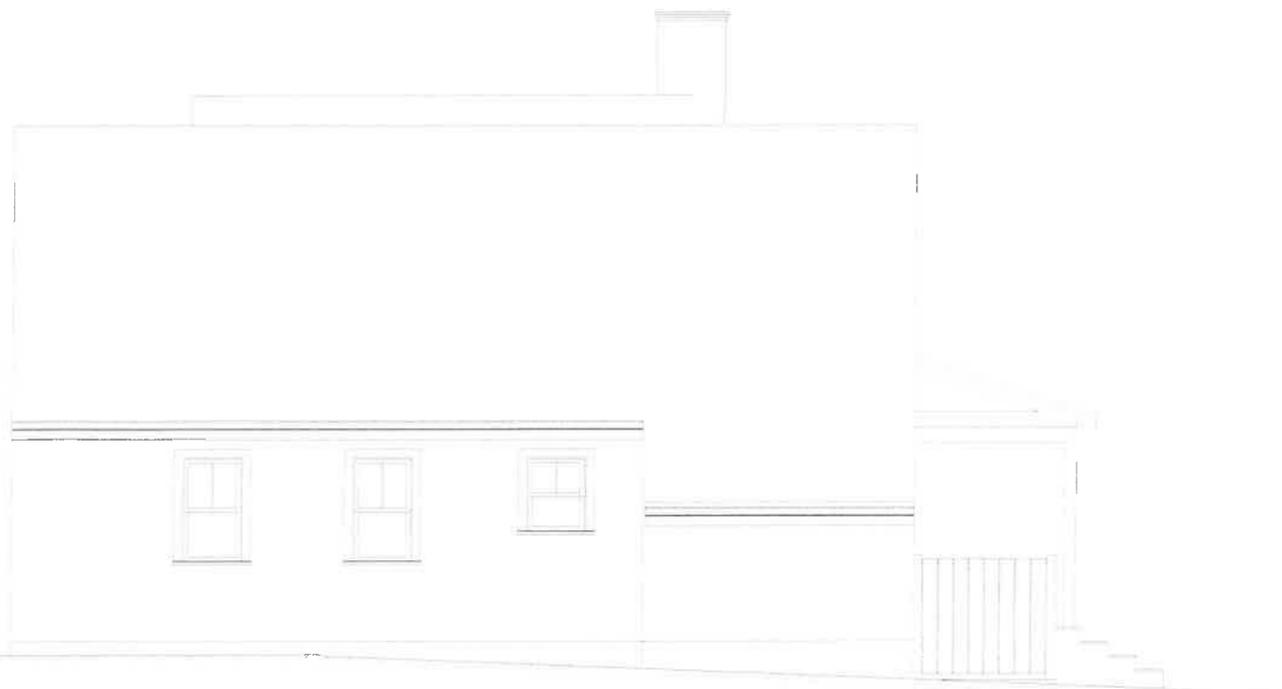


2 New Rear Elevation
SCALE: 1/4" = 1'-0"

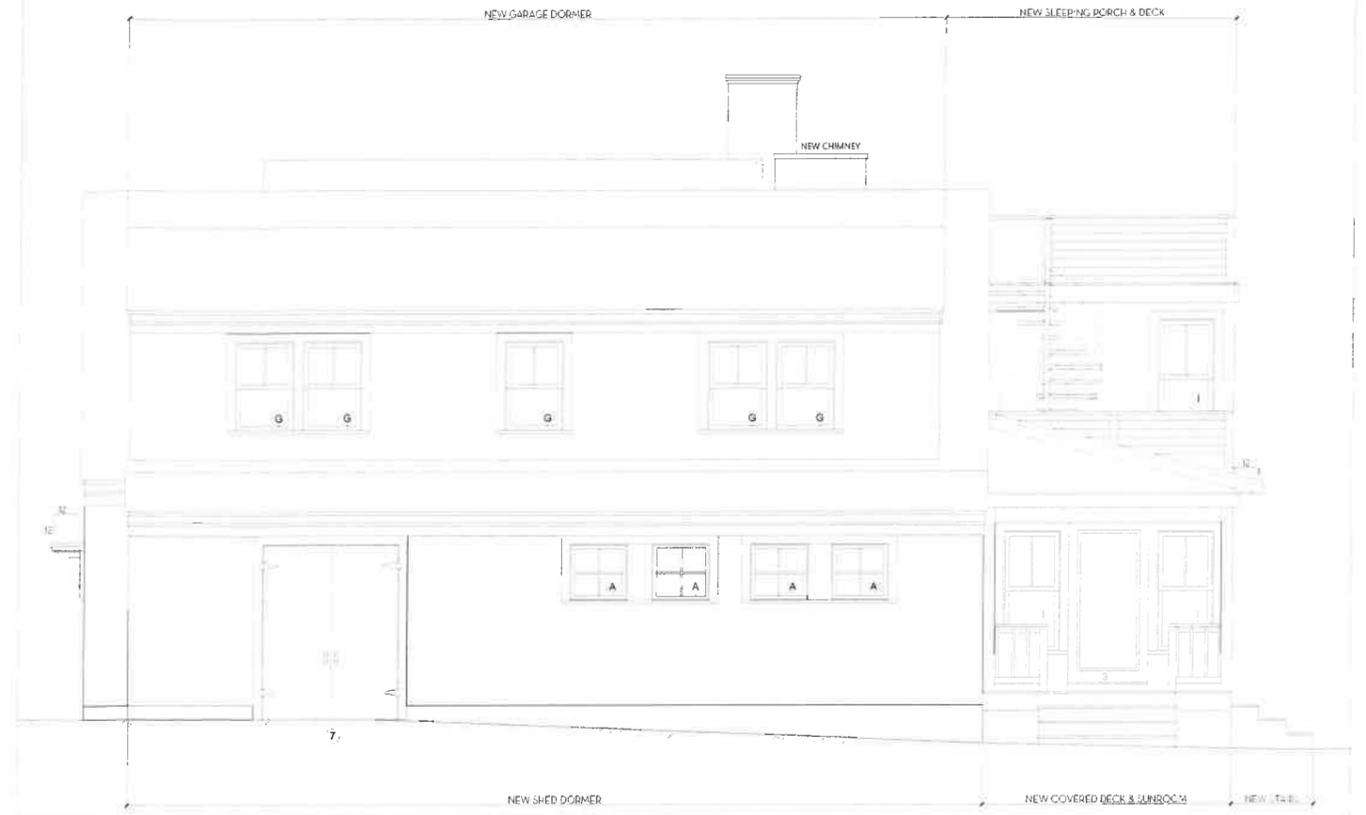
EXTERIOR DOOR SCHEDULE				
ID	QUANTITY	DOOR SIZE		COMMENT
		WIDTH	HEIGHT	
①	1	3'-6"	7'-0"	SIMPSON MAHOGANY 1/2 GLASS-NATURAL
②	2	3'-0"	7'-0"	SIMPSON 2/3 GLASS 4 LITE - WHITE
③	4	3'-0"	6'-11"	ANDERSEN FULL GLASS - WHITE
④	1	12'-3"	6'-11"	ANDERSEN SLIDER - WHITE
⑤	1	9'-0"	6'-6"	ANDERSEN SLIDER - WHITE - RELOCATED
⑥	2	9'-0"	7'-0"	CLOPAY O.H. COTTAGE STYLE - WHITE
⑦	1	6'-0"	7'-9"	SITE BUILT BARN STYLE - WHITE

WINDOW SCHEDULE				
ID	QUANTITY	UNIT SIZE		COMMENT
		WIDTH	HEIGHT	
A	12	2'-5"	2'-5"	WHITE AWNING 4 LITE
B	2	2'-0"	2'-0"	WHITE AWNING 4 LITE
C	5	2'-8"	3'-4"	WHITE DH - TW 2632 2/1 LITE
D	3	2'-8"	4'-0"	WHITE DH - TW 26310 2/1 LITE
E	1	2'-10"	5'-0"	WHITE DH - TW 28410 2/1 LITE
F	3	2'-6"	3'-8"	WHITE DH - TW 28410 2/1 LITE
G	5	2'-8"	4'-4"	WHITE DH - TW 2642 2/1 LITE
H	13	2'-10"	5'-4"	WHITE DH - TW 2852 2/1 LITE
I	6	2'-6"	5'-4"	WHITE DH - TW 2482 2/1 LITE
J	2	44"	45"	VELUX SKYLITE

WINDOWS NOT TAGGED ARE EXISTING
NOTE: WINDOWS NOTED ARE MANUFACTURED BY ANDERSEN. G.C. TO CHECK SIZE AND LOCATION PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT FOR SCHEDULE TO BE UPDATED IF ALTERNATE MANUFACTURER IS USED.



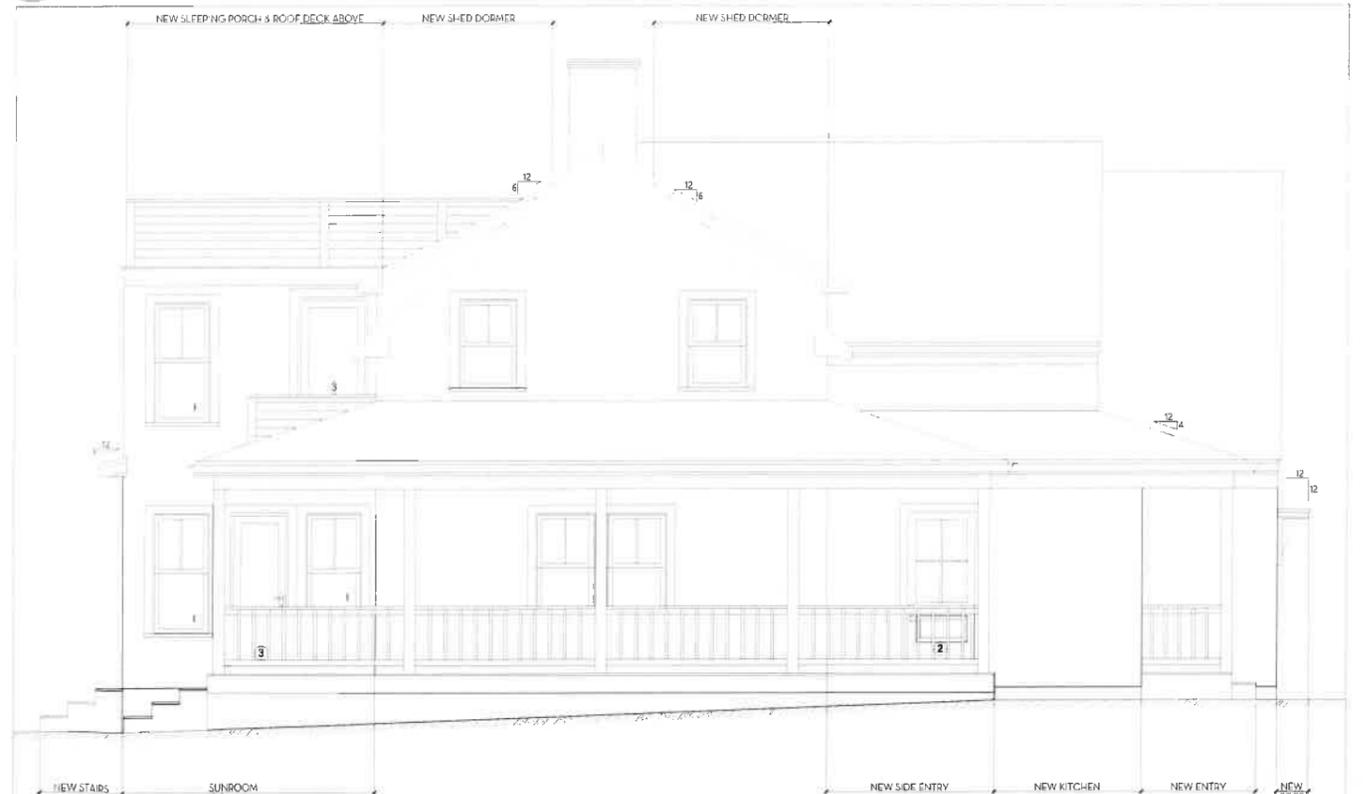
1 Existing Right Elevation
SCALE: 1/4" = 1'-0"



2 New Right Elevation
SCALE: 1/4" = 1'-0"



3 Existing Left Elevation
SCALE: 1/4" = 1'-0"



4 New Left Elevation
SCALE: 1/4" = 1'-0"

ID	QUANTITY	EXTERIOR DOOR SCHEDULE		COMMENT
		DOOR SIZE		
		WIDTH	HEIGHT	
①	1	3'-6"	7'-0"	SIMPSON MAHOGANY 1/2 GLASS-NATURAL
②	2	3'-0"	7'-0"	SIMPSON 2/3 GLASS 4 LITE - WHITE
③	4	3'-0"	6'-11"	ANDERSEN FULL GLASS - WHITE
④	1	12'-3"	6'-11"	ANDERSEN SLIDER - WHITE
⑤	1	9'-0"	6'-6"	ANDERSEN SLIDER - WHITE - RELOCATED
⑥	2	9'-0"	7'-0"	CLOPAY O.H. COTTAGE STYLE - WHITE
⑦	1	6'-0"	7'-9"	SITE BUILT BARN STYLE - WHITE

ID	QUANTITY	WINDOW SCHEDULE		COMMENT
		UNIT SIZE		
		WIDTH	HEIGHT	
A	12	2'-5"	2'-5"	WHITE AWNING 4 LITE
B	2	2'-0"	2'-0"	WHITE AWNING 4 LITE
C	5	2'-8"	3'-4"	WHITE DH - TW 2632 2/1 LITE
D	3	2'-8"	4'-0"	WHITE DH - TW 26310 2/1 LITE
E	1	2'-10"	5'-0"	WHITE DH - TW 28410 2/1 LITE
F	3	2'-6"	3'-8"	WHITE DH - TW 28410 2/1 LITE
G	5	2'-8"	4'-4"	WHITE DH - TW 2642 2/1 LITE
H	13	2'-10"	5'-4"	WHITE DH - TW 2852 2/1 LITE
I	8	2'-8"	5'-4"	WHITE DH - TW 2452 2/1 LITE
J	2	44"	45"	VELUX SKYLITE



Town of Barnstable, Planning & Development Department
Old King's Highway Historic District Committee
 200 Main Street, Hyannis, Massachusetts 02601
 Phone 508.862.4787 Email erin.logan@town.barnstable.ma.us

MINOR MODIFICATION TO PRIOR APPROVED PLAN

972 CMR Rules and Regulations, Section 1.03(2),
 1.03: General Procedures

(2.) (a.) Only minor changes may be approved by the Committee without the filing of a new application and a new hearing. Minor changes include alterations that can be done without a detrimental impact on the overall appearance of the project such as altering a single window or door change or a minor change of colors. All minor changes by amendment will require the local Committee's or its designee's approval.

Submit 2 copies of the application and supporting materials and documentation

10/14/20
 Date

John B. Hearn
 Applicant (s), print name

Address of proposed work

50 Merion Way Yarmouthport MA
 Assessors Map and Parcel no. 02675

50 Merion Way Yarmouthport
 House No. Street Village

Date of approved Certificate of Appropriateness 10/16/19

Proposed Minor Modification

Coachman Collection 11ft x 7ft
white garage door with 5x24 window

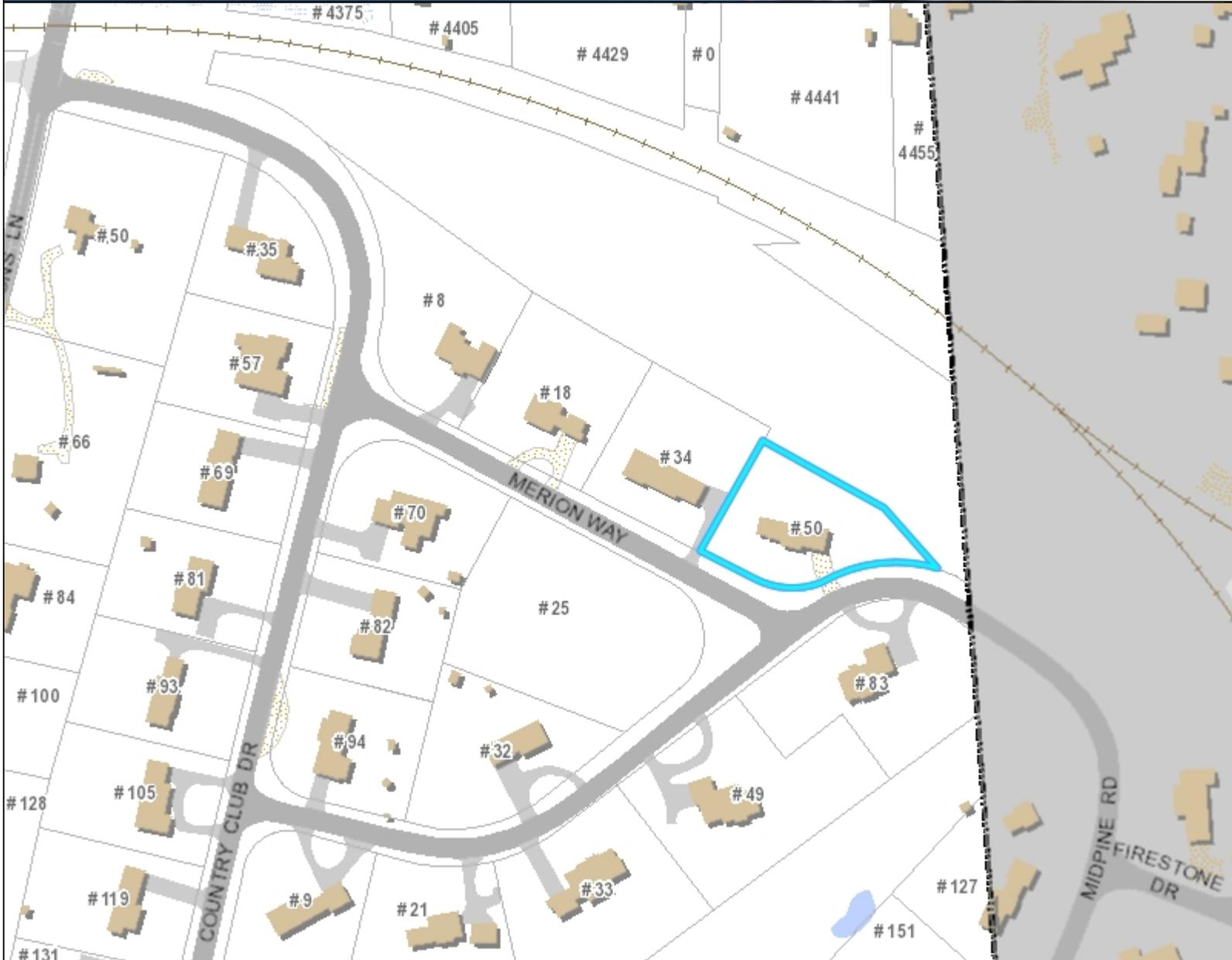
Signature of applicant [Signature]

Applicant Phone 407-913-5000 Email jbhearns@bellsouth.net

APPROVED / DENIED signed _____, CHAIRMAN

10/14/20
 Date

CC: BUILDING COMMISSIONER



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 10/22/2020



Approx. Scale: 1 inch = 167 feet



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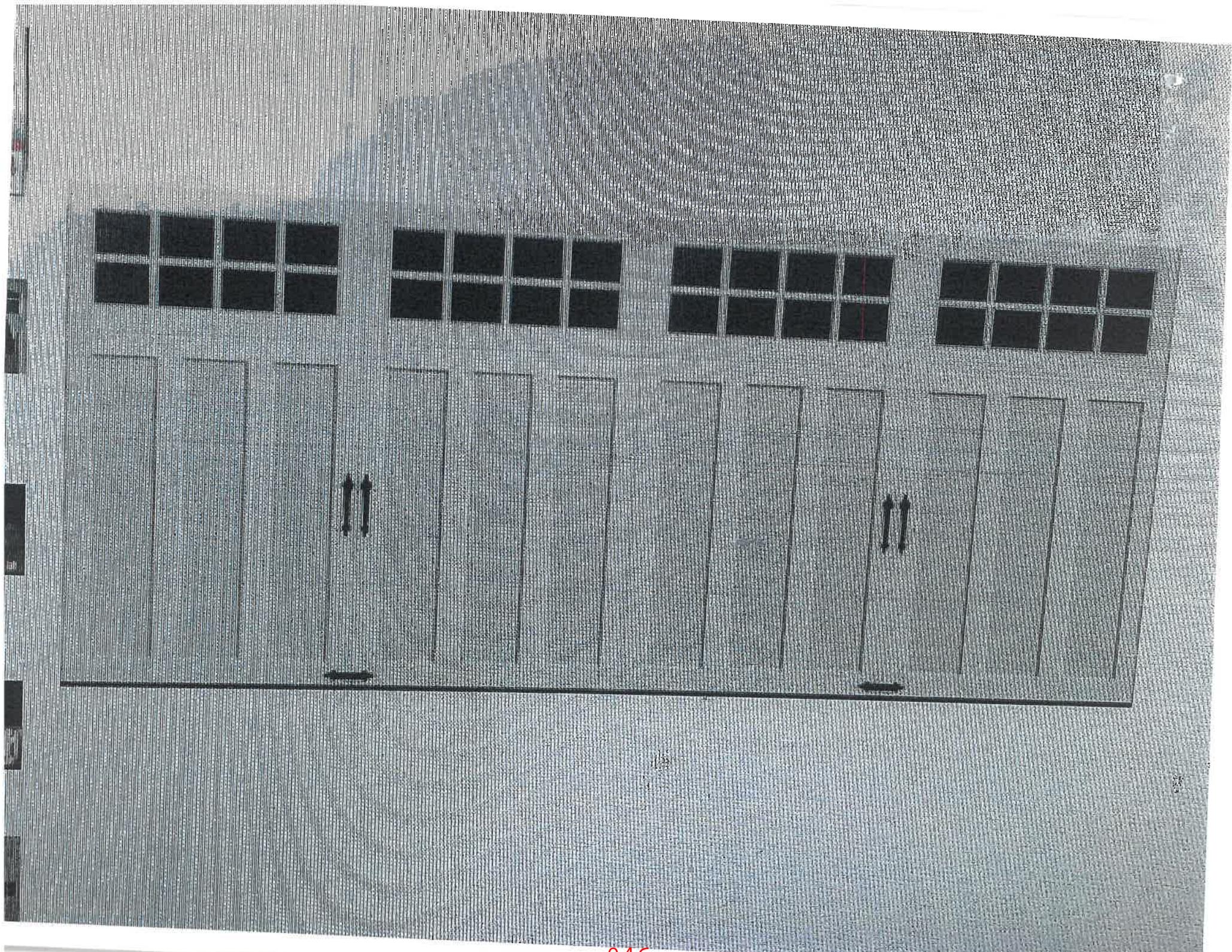


Town of Barnstable GIS Unit

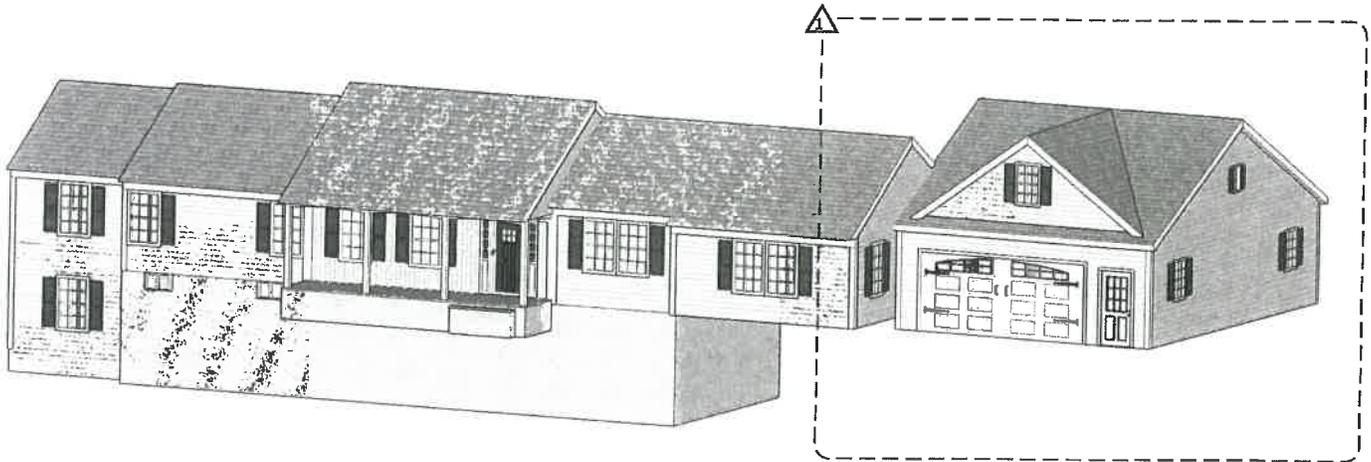
367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



1 NEW WORK



OKH APPROVED ON 10/16/19

RECEIVED
SEP 19 2019
PLANNING & DEVELOPMENT



Marisa Garrity
1621 Origins Road
East Herwich, MA, 02645
508-945-0300

50 Merion Way
Barnstable, MA 02630