



Town of Barnstable
Barnstable Historical Commission
367 Main Street, 3rd Floor, Hyannis, MA 02601
P 508.862.4787 [Web link](#)

Commission Members

Nancy Clark – Chair • Nancy Shoemaker – Vice Chair • Marilyn Fifield – Clerk
George Jessop, AIA • Cheryl Powell • Frances Parks • Jack Kay

AGENDA

Tuesday, September 21, 2021, 3:00PM

The Barnstable Historical Commission meeting will be held by remote participation; see instructions below.

1. Real-time access: Applicants, their representatives and individuals required or entitled (*public comment*) to appear before the Barnstable Historical Commission may participate through accessing the link or telephone number provided below:

Link: Join Zoom Meeting <https://zoom.us/j/96989069346>

Phone: 1- 888-475-4499 and entering Meeting ID: 969 8906 9346

2. Following the meeting, a recording will be televised via Channel 18 and may be viewed via the Channel 18 website at <http://streaming85.townofbarnstable.us/CablecastPublicSite/>

3. Documentary exhibits and/or visual presentations should be submitted in advance of the meeting to Kaitlyn.maldonado@town.barnstable.ma us so that they may be displayed for remote public access viewing.

4. Members of the public wishing to review plans and applications prior to the meeting are instructed to contact Assistant Director, Kate Maldonado, by calling 508.862.4791 or by emailing Kaitlyn.maldonado@town.barnstable.ma

NOTICE OF RECORDING

Please note that this meeting is recorded and broadcast on Channel 18 and in accordance with Massachusetts General Law Chapter 30A §20. I must inquire whether anyone is taping this meeting and to please make their presence known.

CALL TO ORDER

Acting under the provisions of the Code of the Town of Barnstable, §112-1 through §112-7, the Historical Commission will hold a Public Hearing on the following applications. The following Applications have been determined significant and were referred to a Public Hearing:

CONTINUED APPLICATIONS

Dacey, Brian, 20 Grand Island Drive, Osterville, Map 072, Parcel 014/000, built 1920

Full demolition of the single family structure and all out buildings

Stiles, Jane E. Trust; Jane E. Stiles Trust, 24 Maple Avenue, Centerville, Map 207, Parcel 037, built 1936

Full demolition of the single family structure and garage structure

Babcock Holdings, LLC, 11 Marchant Avenue, Hyannis, Map 286, Parcel 026/000, David Scudder Homestead, built c.1797, contributing structure in the Hyannis Port Historic District

Full demolition of the detached garage structure

OTHER

- Correspondence – Sunrise Wind Farm Project – Invitation to consult on the Sunrise Wind Farm Project and notification of using the NEPA process to fulfill Section 106 obligations.
- Update – Historical Commission Regulations Sub-Committee
- Update – Community Preservation Committee
- Historic events open to the public

APPROVAL OF MINUTES

August 17, 2021

MATTERS NOT REASONABLY ANTICIPATED BY CHAIR

ADJOURNMENT

Next Meeting Date: October 19, 2021 & November 16, 2021

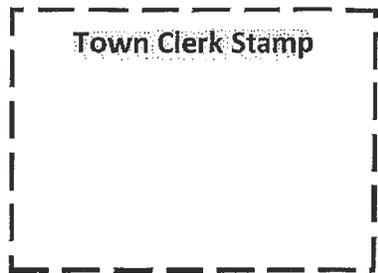
Please Note:

The list of matters, are those reasonably anticipated by the chair, which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law. It is possible that if it so votes, the Committee may go into executive session. The Committee may also act on items in an order other than they appear on this agenda.

ORIGINAL SUBMISSION
FOR THE AUGUST 17TH MEETING



TOWN OF BARNSTABLE
Planning & Development Department
Barnstable Historical Commission
www.town.barnstable.ma.us/historicalcommission



NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application 7/19/12 Full Demotion Partial Demolition

Building Address: 20 Grand Island Drive
Number Street

Centerville 021655 Assessor's Map # 072 Assessor's Parcel # 014
Village ZIP

Property Owner: Brian Dacey 771-1040
Name Phone#

Property Owner Mailing Address (if different than building address) PO Box 95, Centerville MA

Property Owner e-mail address: brian@baysidebuilding.com

Contractor/Agent: Bayside Building

Contractor/Agent Mailing Address: PO Box 95, Centerville

Contractor/Agent Contact Name and Phone #: 508-771-1040 Nick Bowes
Name Phone #

Contractor/Agent Contact e-mail address: nick@baysidebuilding.com

Demolition Proposed - please itemize all changes:

Demolition of all structures existing on property

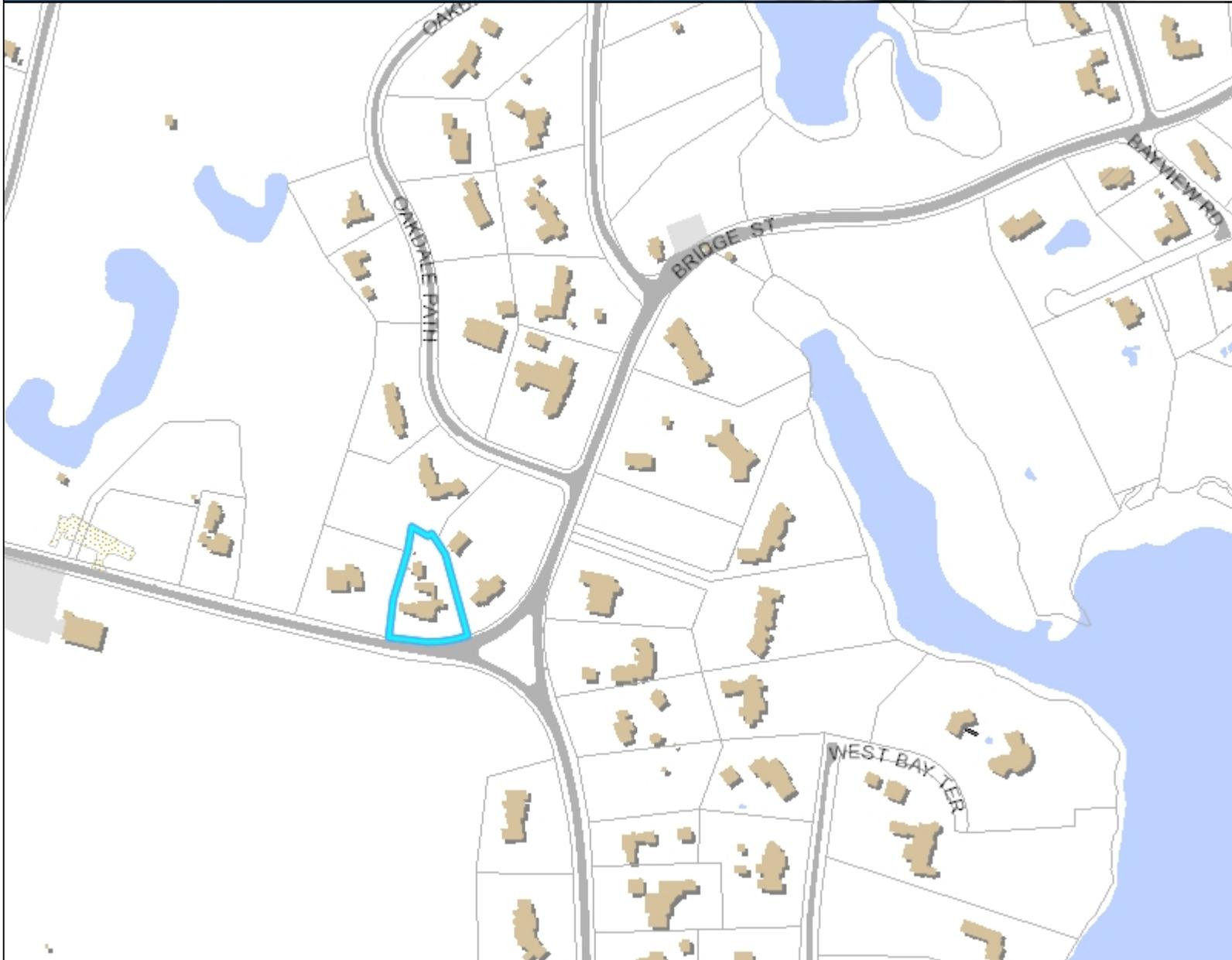
Type of New Construction Proposed: Cape Style home per attached plan

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1939 Additions Year Built: _____

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
 No Yes

[Signature]
 Property Owner/Agent Signature



Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Parking Lots
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - ▨ Bridge
 - Paved Median
- Water Bodies

Map printed on: 3/25/2021



Approx. Scale: 1 inch = 333 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 3/25/2021



Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Parcel: 072-014

Location: 20 GRAND ISLAND DRIVE, Osterville

Owner: DACEY, BRIAN T TR



Parcel
072-014

Location
20 GRAND ISLAND DRIVE

Village
Osterville

Town sewer account
No

CWMP Sewer Expansion (subject to change with final engineering design)
None planned at this time

Developer lot:
LOTS 87, 88 & 89

Road type
Private

Fire district
C-O-MM

Secondary road

Road index
0646

Interactive map



Asbuilt septic scan
[072014_1](#)

Owner: DACEY, BRIAN T TR

Owner
DACEY, BRIAN T TR

Co-Owner
20 GRAND ISLAND DRIVE REALTY TRUST

Book page
C224516/0

Street1
PO BOX 95

Street2

City
CENTERVILLE

State
MA

Zip
02632

Country

Land

Acres: 0.74 Use: Multi Hses M-01 Zoning: RF-1 Neighborhood: 0117

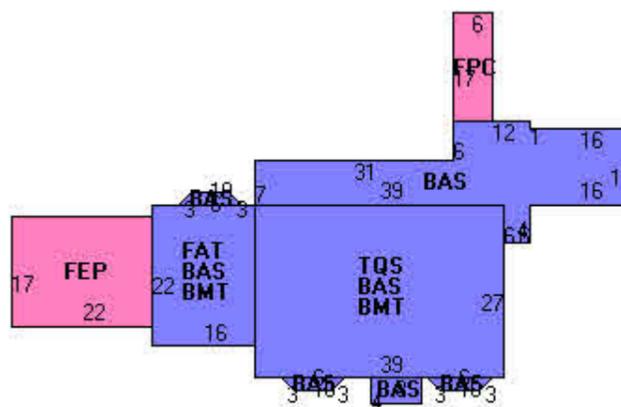
Topography: Level Street factor: Paved Town Zone of Contribution: AP (Aquifer Protection Overlay District)

Utilities: Public Water,Septic Location factor: State Zone of Contribution: OUT

Construction

Building 1 of 2

Year built 1939	Roof structure Gable/Hip	Heat type Hot Water
Living area 2811	Roof cover Asph/F Gls/Cmp	Heat fuel Oil
Gross area 5360	Exterior wall Wood Shingle	AC type None
Style Cape Cod	Interior wall Plastered	Bedrooms 6 Bedrooms
Model Residential	Interior floor Hardwood, Pine/Soft Wood	Bath rooms 4 Full-0 Half
Grade Average Plus	Foundation	Total rooms 10 Rooms
Stories 1.75		



Building 2 of 2

Year built 1939	Roof structure Gable/Hip	Heat type Hot Water
Living area 822	Roof cover Asph/F Gls/Cmp	Heat fuel Oil
Gross area 1230	Exterior wall Wood Shingle	AC type None
Style Cape Cod	Interior wall Drywall, Wall Brd/Wood	Bedrooms 2 Bedrooms
Model Residential	Interior floor Vinyl/Asphalt	Bath rooms 1 Full-0 Half
Grade Average	Foundation	Total rooms 4 Rooms
Stories 1.15		



Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
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Issue Date	Purpose	Permit Number	Amount	Inspection Date	Comments
10/02/2017	Insulation	17-3314	\$4,700		Weatherization

▼ Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	11/23/2020	DACEY, BRIAN T TR	C224516/0	\$1,370,000
2	07/11/2018	DELOREY, BRIAN & DENISE	D1369122/0	\$0
3	06/23/2010	DELOREY, WALTER & BRIAN & DENISE	C191757/0	\$945,000
4	06/15/1991	SULLIVAN, ANNE M TR	C123745/0	\$1
5	01/16/1981	FALVEY, ANNE M	C84313/0	\$0

▼ Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2021	\$374,800	\$54,200	\$13,500	\$1,012,200	\$1,454,700
2	2020	\$337,100	\$47,100	\$12,600	\$1,012,200	\$1,409,000
3	2019	\$292,200	\$47,100	\$13,600	\$925,500	\$1,278,400
4	2018	\$242,700	\$47,100	\$14,100	\$974,200	\$1,278,100
5	2017	\$227,000	\$47,500	\$14,100	\$974,200	\$1,262,800
6	2016	\$223,600	\$46,900	\$4,300	\$948,000	\$1,222,800
7	2015	\$197,100	\$35,900	\$4,400	\$964,600	\$1,202,000
8	2014	\$197,100	\$35,900	\$4,600	\$964,600	\$1,202,200
9	2013	\$197,100	\$35,900	\$4,800	\$1,037,000	\$1,274,800
10	2012	\$193,800	\$34,000	\$4,500	\$699,400	\$931,700
11	2011	\$206,600	\$9,400	\$4,600	\$699,400	\$920,000
12	2010	\$314,600	\$12,300	\$5,300	\$1,205,800	\$1,538,000
13	2009	\$350,800	\$8,600	\$4,000	\$958,800	\$1,322,200
14	2008	\$360,400	\$8,600	\$4,000	\$999,300	\$1,372,300
16	2007	\$408,100	\$8,600	\$4,000	\$999,300	\$1,420,000
17	2006	\$402,100	\$8,600	\$4,200	\$985,200	\$1,400,100
18	2005	\$371,500	\$8,600	\$4,500	\$1,041,200	\$1,425,800
19	2004	\$288,100	\$8,600	\$4,600	\$1,041,200	\$1,342,500
20	2003	\$254,600	\$8,600	\$4,800	\$416,700	\$684,700
21	2002	\$254,600	\$8,600	\$4,800	\$416,700	\$684,700
22	2001	\$254,600	\$9,000	\$4,800	\$416,700	\$685,100
23	2000	\$223,500	\$7,000	\$4,900	\$331,800	\$567,200
24	1999	\$221,900	\$7,000	\$4,000	\$331,900	\$564,800
25	1998	\$221,900	\$7,000	\$4,000	\$331,900	\$564,800
26	1997	\$179,700	\$0	\$0	\$331,800	\$514,100
27	1996	\$179,700	\$0	\$0	\$331,800	\$514,100
28	1995	\$179,700	\$0	\$0	\$331,800	\$514,100
29	1994	\$172,900	\$0	\$0	\$353,600	\$529,400
30	1993	\$172,900	\$0	\$0	\$353,600	\$529,400
31	1992	\$196,800	\$0	\$0	\$392,900	\$593,000
32	1991	\$247,800	\$0	\$0	\$429,600	\$684,200
33	1990	\$247,800	\$0	\$0	\$429,600	\$684,200
34	1989	\$247,800	\$0	\$0	\$429,600	\$684,200
35	1988	\$262,000	\$0	\$0	\$240,400	\$508,900

Historical Commission Abutter List for Subject Parcel 072014

All property owners within 300 feet of the subject property's boundaries

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
071004001	OYSTER HARBORS CLUB INC		1 GRAND ISLAND RD		OYSTER HARBORS	MA	02655
071008	BILEZIKIAN, JEFFREY D & NANCY J		29 ADAMS AVENUE		WATERTOWN	MA	02472
071011001	CONDRON, DEVIN C & ERIN T		66 EDMUNDS ROAD		WELLESLEY	MA	02481
072013	CURREY, ROBERT M & PATRICIA F TRS	FAIRVIEW REALTY TRUST	113 HAWKSBILL WAY		JUPITER	FL	33458
072014	DACEY, BRIAN T TR	20 GRAND ISLAND DRIVE REALTY TRUST	PO BOX 95		CENTERVILLE	MA	02632
072015	CASEY, THOMAS C & MARTHA		17 SHEFFIELD W		WINCHESTER	MA	01890-3526
072016	B & B CRAIG LLC		219 ECHO DRIVE		JUPITER	FL	33458
072017	IGLEHEART, FAITH TR	43 OAKDALE PATH REALTY TRUST	1210 HARBOR COURT		HOLLYWOOD	FL	33019
072020001	HASEOTES, BYRON G JR, TRS	MARINO, MICHAEL S, TRS	48 OYSTER WAY IRREV TRUST	55 PINE ST, 5TH FLOOR	PROVIDENCE	RI	02903
072020002	DRURY, CHRISTOPHER & RORY		145 PARSONAGE ROAD		GREENWICH	CT	06830
072042	STEINKRAUSS, KURT R TR	115 SHORE DRIVE WEST REALTY TRUST	ONE FINANCIAL CENTER		BOSTON	MA	02111
072043	CTS FIDUCIARY LLC TR	C/O TURTLE ROCK LLC	231 WILLOW STREET		YARMOUTH PORT	MA	02675
072044	GENERAZIO, FRANK W JR & PATRICIA A		18526 SE VILLAGE CIR		TEQUESTA	FL	33469-1724

Sal #	Year	Building	XF Value	OB Value	LS	Total Paid
36	1987	\$262,000	\$0	\$0	\$240,400	\$508,900
37	1986	\$262,000	\$0	\$0	\$240,400	\$508,900

Photos







































DIRECTIONS:

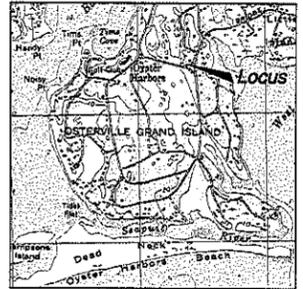
From Hyannis - Take Route 2B into Osterville; At the lights by White Hen Pantry take a left onto Osterville West Barnstable Road and follow to the end; Take a left onto Main Street; Take a right onto Parker Road; At the stop sign take a right onto West Bay Road; Bear left onto Bridge Street, and follow to the Gate House; Continue Straight and stay Left onto Oyster Way and Turn Right onto Grand Island Drive #20 is on the right.

ZONE:

RF-1
 Area (min.) 87,120 SF (RPOD)
 Frontage (min) 20'
 Width (min) 125'
 Setbacks:
 Front 30'
 Side 15'
 Rear 15'

FLOOD ZONE:

Zone X (Min Flood Hazard)
 Community Panel No. #250001 C0755 J
 July 16, 2014



LOCATION MAP:
 Scale: 1" = 2000'

ASSESSORS REF.:

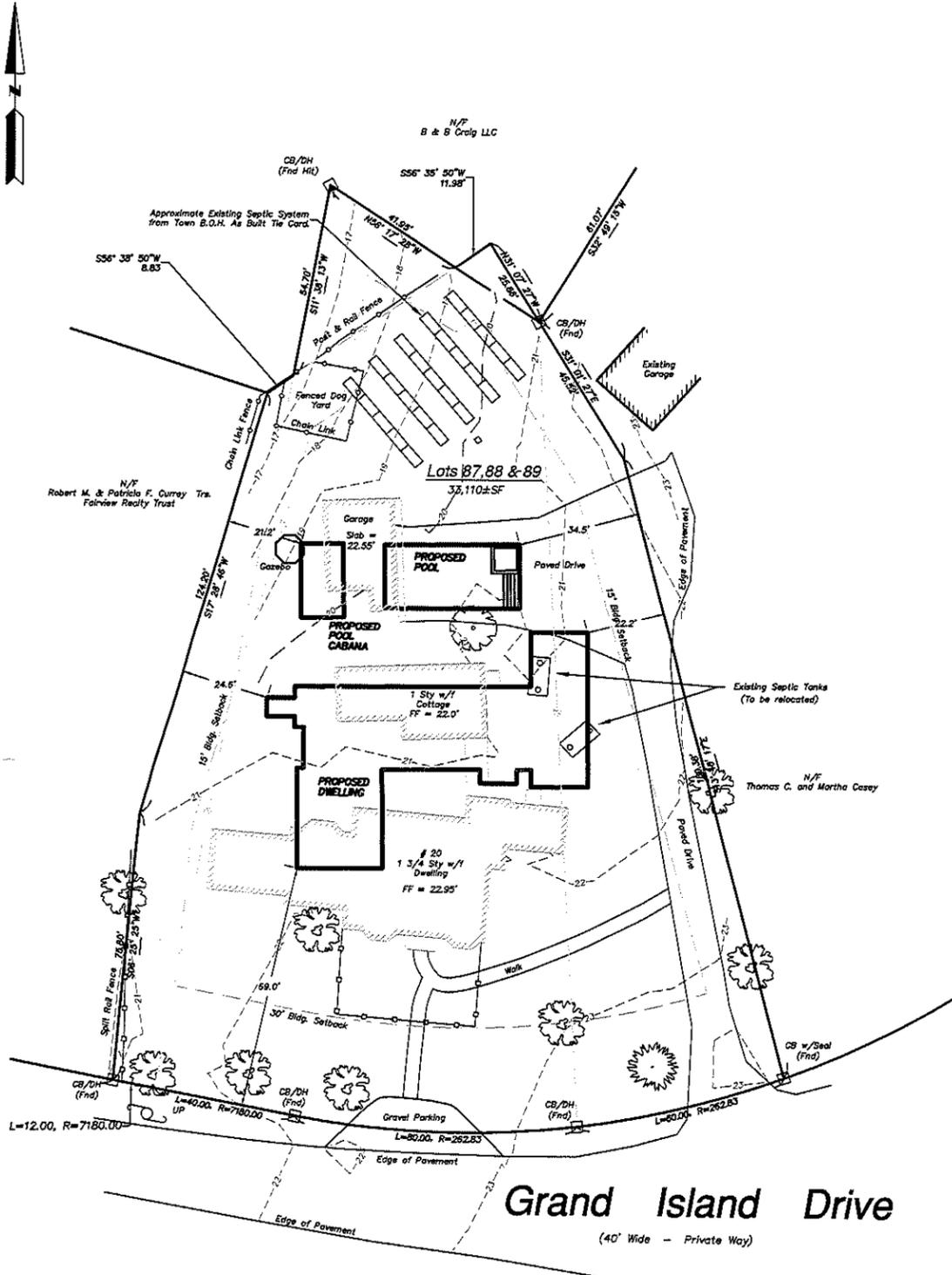
Map 072 Parcel 014

OVERLAY DISTRICT:

AP - Aquifer Protection District
 Resource Protection Overlay District

REFERENCES:

Deed: C244516
 Plans: LCP 15304-91
 Plan Bk. 18B Pg. 45

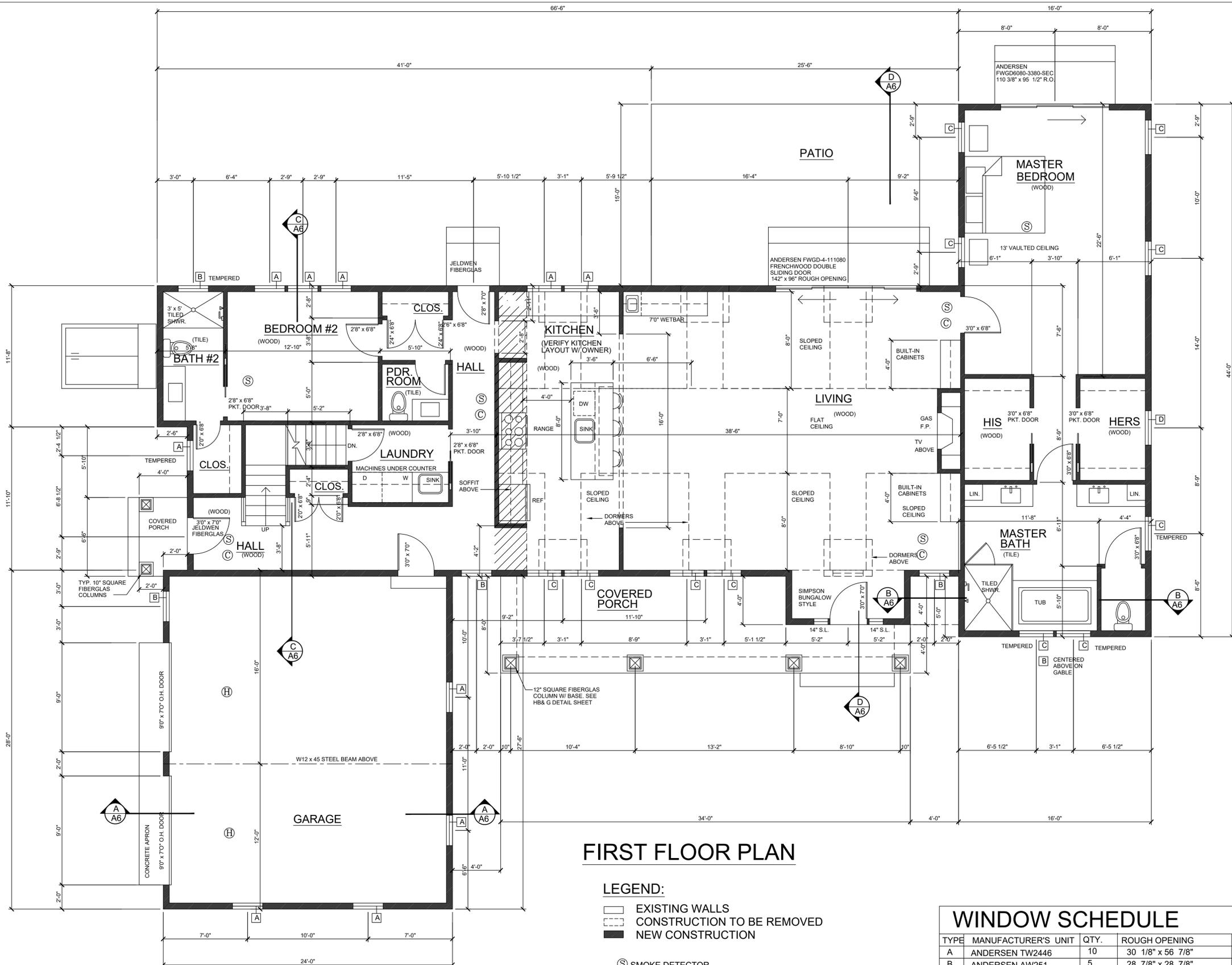


LEGEND:

- CDT Cedar Tree
- HT Holly Tree
- DT Deciduous Tree
- CT Coniferous Tree
- Utility Pole
- Electric
- Gas
- Wetland Flag
- ☆ Light Post
- CB/DH
- OHW Overhead Wires
- 25 Elevation Contour

DRAFT

<p>TITLE: Site Plan Proposed Improvements At 20 Grand Island Drive Barnstable (Oyster Harbors) Mass.</p>	<p>PREPARED BY: Sullivan Engineering & Consulting, Inc. (508) 428-3344 • P.O. Box 659 • 711 Main Street, Osterville, MA 02655 seci@sullivanengn.com • www.sullivanengn.com</p>	<p>PREPARED FOR: Bayside Building, Inc.</p>	<p>NOTES: 1) The property line information shown was compiled from available record information. 2) The topographic information was obtained from an on the ground survey performed on 3/17/2021 using GPS RTK. 3) The structures were located by an on the ground survey 3/16/2021. 4) The datum used is NAVD '88, a fixed mean sea level datum.</p>
<p>DATE: March 23, 2021 SCALE: 1" = 20'</p>	<p>Draft: ASL/CTR Field: WHK/CTR/JDD Review: CTR/JOD Comp./Review: CTR/JOD/ASL Project: Dacey Project#: 1998101</p>		<p style="text-align: right;">SHEET 1 OF 1</p>



FIRST FLOOR PLAN

- LEGEND:**
- EXISTING WALLS
 - CONSTRUCTION TO BE REMOVED
 - NEW CONSTRUCTION
 - S SMOKE DETECTOR
 - C CARBON MONOXIDE DETECTOR
 - H HEAT DETECTOR

AREA CALCULATIONS

FIRST FLOOR	2201 S.F.
SECOND FLOOR	1017 S.F.
GARAGE	661 S.F.
COVERED PORCH	277 S.F.

WINDOW SCHEDULE

TYPE	MANUFACTURER'S UNIT	QTY.	ROUGH OPENING	REMARKS
A	ANDERSEN TW2446	10	30 1/8" x 56 7/8"	DOUBLEHUNG
B	ANDERSEN AW251	5	28 7/8" x 28 7/8"	AWNING
C	ANDERSEN TW2852	11	34 1/8" x 64 7/8"	D.H. COTTAGE
D	ANDERSEN TWT2823	1	34 1/8" x 29 7/8"	DOUBLEHUNG TRANSOM
E	ANDERSEN TW2442	7	30 1/8" x 52 7/8"	DOUBLEHUNG
F	ANDERSEN TW24310	6	30 1/8" x 48 7/8"	DOUBLEHUNG
G	ANDERSEN CW13	8	28 7/8" x 36 1/2"	CASEMENT (FRACTIONAL GRILLE)

IECC2018 RESIDENTIAL ENERGY EFFICIENCY DETAILS
 CLIMATE ZONE 5 (USE EITHER PRESCRIPTIVE VALUES OR RESCHECK CALCULATION)

FENESTRATION	SKYLIGHT	CEILING	WOOD FRAMED WALL	FLOOR	BASEMENT WALL	BASEMENT SLAB	CRAWL SPACE WALL		
U-FACTOR	U-FACTOR	R-VALUE	R-VALUE	R-VALUE	R-VALUE	R-VALUE	R-VALUE		
0.30	MASS	AMEND.	0.55	49	20 or 13 + 5	30	15/19	10 (4 FT. DEEP)	15/19

NOTES:

- R-VALUES ARE MINIMUMS & U-FACTORS ARE MAXIMUMS.
- 15/19 MEANS R=15 CONTINUOUS INSULATED SHEATHING ON THE INTERIOR OR EXTERIOR OF THE HOME OR R=19 INSULATION CAVITY AT THE INTERIOR OF THE BASEMENT WALL.
- REFER TO IECC 2018 CHAPTER 4 FOR ALL INSULATION & ENERGY REQUIREMENTS.
- 13 + 5 MEANS R5 CONTINUOUS INSULATED SHEATHING ON THE WALL EXTERIOR & R13 CAVITY INSULATION.

COTUIT BAY DESIGN, LLC
 43 BREWSTER ROAD
 MASHPEE, MA 02649
 PH. (508) 274-1166

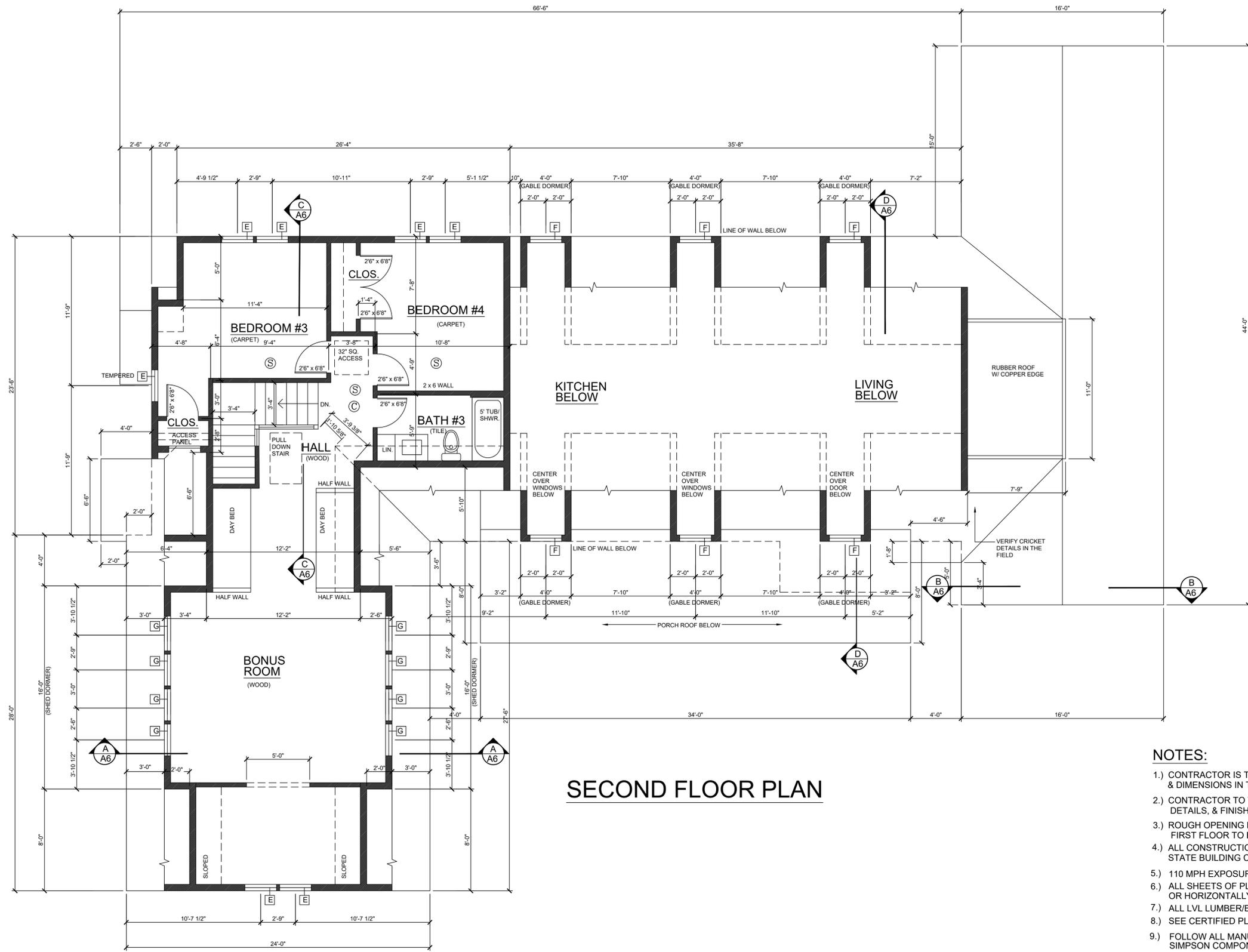
NEW HOUSE FOR:
CARROLL RESIDENCE
 149 PINELEIGH PATH OSTERVILLE, MA

THE DESIGNER SHALL BE ADVISED IF ANY ERRORS OR OMISSIONS ARE FOUND IN THESE DRAWINGS PRIOR TO START OF CONSTRUCTION. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THESE DRAWINGS. COMMENCES WITHOUT NOTIFYING THE ARCHITECT. THESE DRAWINGS ARE SOLELY FOR THE USE OF THE OWNER NOTED. ANY OTHER USE OF THESE DRAWINGS REQUIRES THE WRITTEN ARCHITECTURAL COPYRIGHT PROTECTION ACT OF 1990.

SCALE:
 1/4" = 1'-0"

DATE:
 10/26/2020

DRAWING NO.:
A1

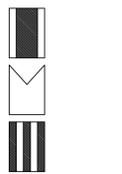


SECOND FLOOR PLAN

NOTES:

- 1.) CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS & DIMENSIONS IN THE FIELD
- 2.) CONTRACTOR TO VERIFY ALL INTERIOR & EXTERIOR MATERIALS, DETAILS, & FINISHES IN THE FIELD WITH OWNER
- 3.) ROUGH OPENING HEAD HEIGHT OF WINDOWS AT FIRST FLOOR FIRST FLOOR TO BE 7'0" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED
- 4.) ALL CONSTRUCTION TO CONFORM TO 780 CMR MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION AMENDEMENT & IRC2015
- 5.) 110 MPH EXPOSURE B WIND ZONE
- 6.) ALL SHEETS OF PLYWOOD WALL SHEATHING TO BE INSTALLED VERTICALLY, OR HORIZONTALLY W/ BLOCKING AT EDGES, 3"EDGE/12" FIELD NAILING
- 7.) ALL LVL LUMBER/BEAMS TO BE 1.9e L/360 LOAD
- 8.) SEE CERTIFIED PLOT PLAN FOR ALL PROPOSED & EXISTING DETAILS
- 9.) FOLLOW ALL MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF ALL SIMPSON COMPONENTS
- 10.) ALL CONCRETE USED FOR FOUNDATION WALLS, FOOTINGS & SLABS TO BE 3000 PSI AT 28 DAYS
- 11.) VERIFY ALL PLUMBING & ELECTRICAL DETAILS W/ OWNERS ON THE SITE DURING FRAMING CONSTRUCTION
- 12.) TIMBER FRAMING TO BE SPRUCE/PINE/FIR NO. 2 GRADE, 900 PSI MIN.
- 13.) PROVIDE UTILITY INSTALLATIONS FROM STREET TO NEW HOUSE VIA UNDERGROUND CONNECTIONS TO COMPLY W/ ALL LOCAL CODES
- 14.) FOLLOW ALL REQUIREMENTS OF THE IECC2018 RESIDENTIAL ENERGY EFFICIENCY REQUIREMENTS & VERIFY ALL DETAILS WITH THE INSULATION INSTALLER/CONTRACTOR FOR THE STRETCH ENERGY CODE
- 15.) ALL WINDOW AND DOOR HEADERS 4"0" OR LESS TO BE 3- 2 x 8 W/ 2K,2J
- 16.) INSTALL ALL ROOF TO WALL, CHIMNEY, & OTHER FLASHING PER MANUFACTURER'S INSTRUCTIONS
- 17.) FOLLOW ALL MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION OF ALL WINDOWS AND DOORS

COTUIT BAY DESIGN, LLC
 43 BREWSTER ROAD
 MASHPEE, MA 02649
 PH. (508) 274-1166



NEW HOUSE FOR:
CARROLL RESIDENCE
 149 PINELEIGH PATH OSTERVILLE, MA

THE USER SHALL BE ADVISED IF ANY ERRORS OR OMISSIONS ARE FOUND IN THESE DRAWINGS PRIOR TO START OF CONSTRUCTION. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS. THE CONTRACTOR SHALL COMMENCE CONSTRUCTION WITHOUT NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES. THESE DRAWINGS ARE SOLELY FOR THE USE OF THE OWNER NOTED. ANY OTHER USE OF THESE DRAWINGS REQUIRES THE WRITTEN PERMISSION OF THE ARCHITECT. ARCHITECTURAL COPYRIGHT PROTECTION ACT OF 1990.

SCALE :
 1/4" = 1'-0"

DATE :
 10/26/2020

DRAWING NO. :
A2



FRONT ELEVATION



LEFT ELEVATION

COTUIT BAY DESIGN, LLC
 43 BREWSTER ROAD
 MASHPEE, MA 02649
 PH. (508) 274-1166



NEW HOUSE FOR:
CARROLL RESIDENCE
 149 PINELEIGH PATH OSTERVILLE, MA

THE DESIGNER SHALL BE NOTIFIED IF ANY CHANGES ARE MADE TO THESE DRAWINGS PRIOR TO START OF CONSTRUCTION. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CONTRACTOR IN THESE DRAWINGS IF CONSTRUCTION COMMENCES WITHOUT NOTIFYING THE DESIGNER. THESE DRAWINGS ARE SOLELY FOR THE USE OF THE OWNER AND NO OTHER USE OF THESE DRAWINGS REQUIRES THE WRITTEN PERMISSION OF THE DESIGNER. ARCHITECTURAL COPYRIGHT PROTECTION ACT OF 1990.

SCALE :
 1/4" = 1'-0"

DATE :
 10/26/2020

DRAWING NO. :
A3

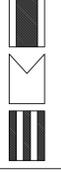


REAR ELEVATION



RIGHT ELEVATION

COTUIT BAY DESIGN, LLC
 43 BREWSTER ROAD
 MASHPEE, MA 02649
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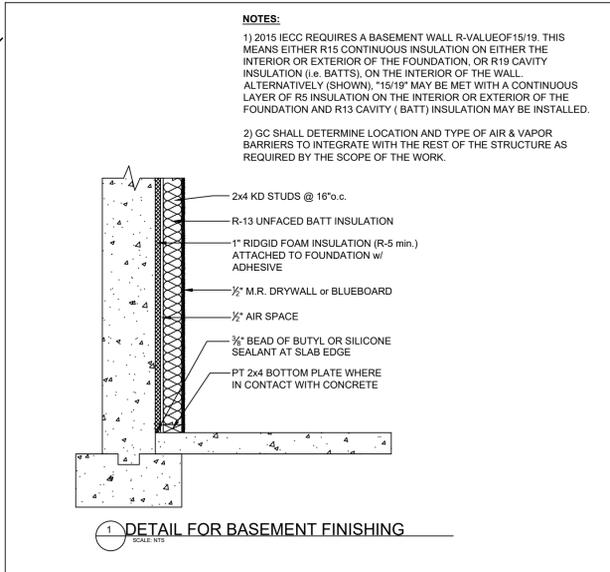
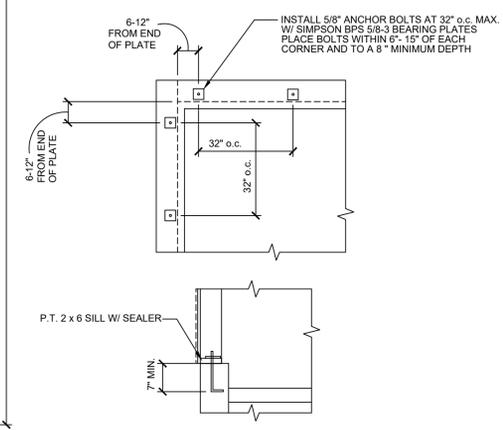
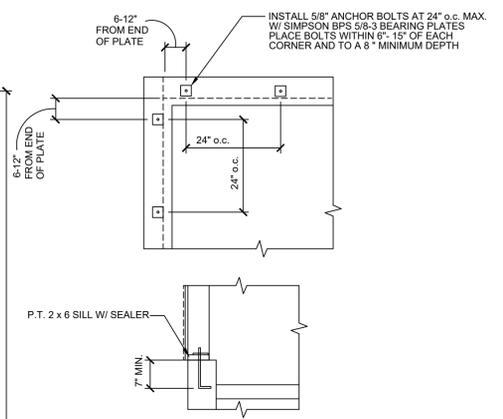
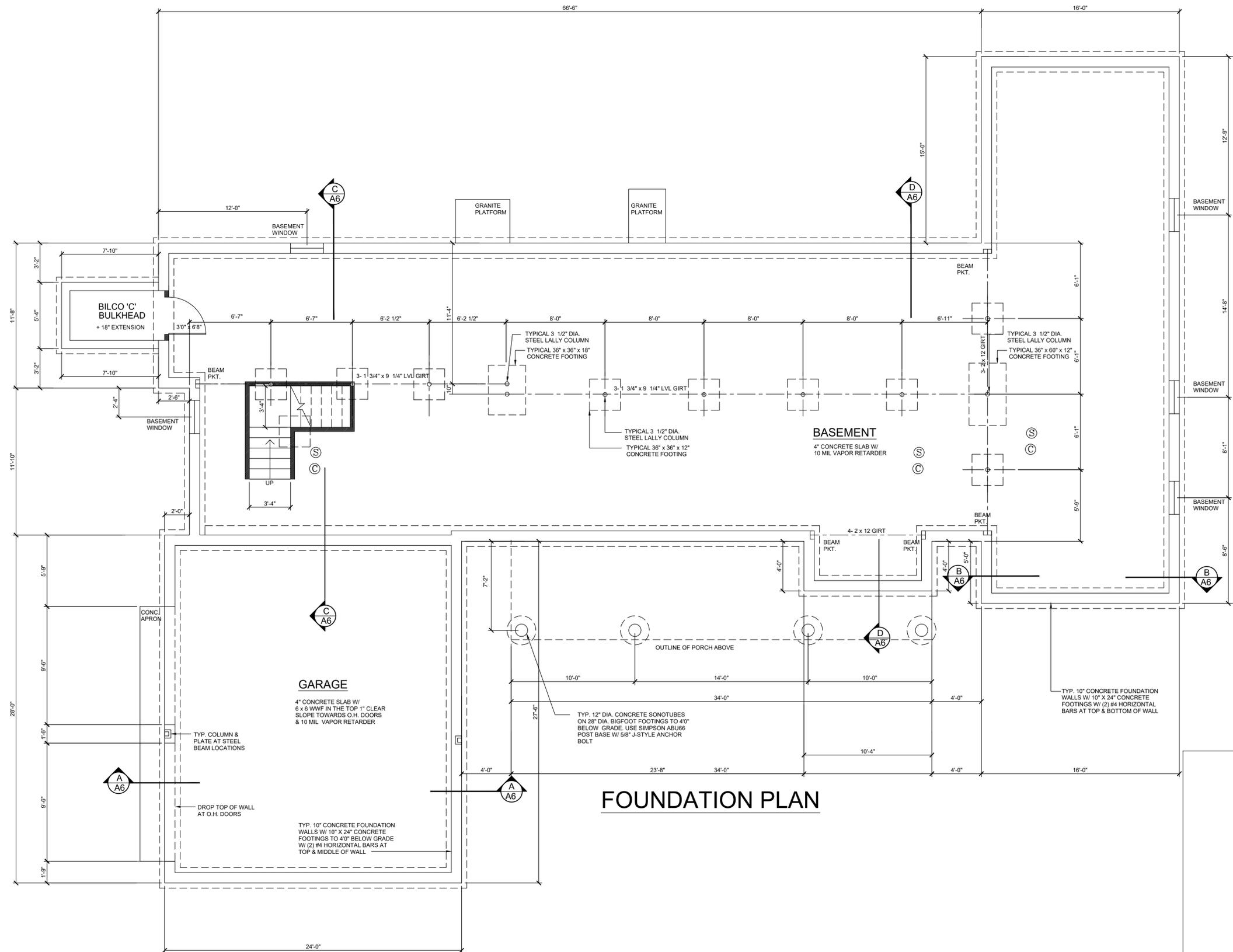
NEW HOUSE FOR:
CARROLL RESIDENCE
 149 PINELEIGH PATH OSTERVILLE, MA

THE DESIGNER SHALL BE NOTIFIED IF ANY CHANGES ARE MADE TO THESE DRAWINGS PRIOR TO START OF CONSTRUCTION. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COMMENTS WITHOUT NOTIFYING THE DESIGNER. THESE DRAWINGS ARE SOLELY FOR THE USE OF THE OWNER AND NO OTHER USE. THESE DRAWINGS REQUIRE THE WRITTEN CONSENT OF THE DESIGNER TO BE REPRODUCED OR COPIED. ARCHITECTURAL COPYRIGHT PROTECTION ACT OF 1990.

SCALE :
 1/4" = 1'-0"

DATE :
 10/26/2020

DRAWING NO. :
A4



COTUIT BAY DESIGN, LLC
43 BREWSTER ROAD
MASHPEE, MA 02649
PH. (508) 274-1166

NEW HOUSE FOR:
CARROLL RESIDENCE
149 PINELEIGH PATH OSTERVILLE, MA

THE DESIGNER SHALL BE NOTIFIED IF ANY CHANGES ARE MADE TO THESE DRAWINGS PRIOR TO START OF CONSTRUCTION. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS IN THESE DRAWINGS IF CONSTRUCTION COMMENCES WITHOUT NOTIFYING THE DESIGNER. THESE DRAWINGS ARE SOLELY FOR THE USE OF THE OWNER AND ANY OTHER USE OF THESE DRAWINGS REQUIRES THE WRITTEN PERMISSION OF THE DESIGNER. ARCHITECTURAL COPYRIGHT PROTECTION ACT OF 1990.

SCALE:
1/4" = 1'-0"

DATE:
10/27/2020

DRAWING NO.:
A5

**REQUEST TO BE CONTINUED
TO THE OCTOBER 19TH MEETING**

Maldonado, Kaitlyn

From: Jimmy Bowes <jimmy@baysidebuilding.com>
Sent: Tuesday, September 14, 2021 3:32 PM
To: Maldonado, Kaitlyn
Subject: Re: Barnstable Historical Commission Meeting Materials

Follow Up Flag: Follow up
Flag Status: Flagged

Kate

I just sent a voicemail saying we have to postpone because I want have the actual mold/science report back until next Monday.

Therefore can you put us on The October meeting now.

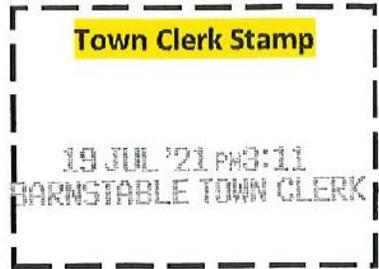
I'll still have everything to you next week but I think it's safest to have all the information in hand for the meeting.

Thanks
Jimmy

Sent from my iPhone



TOWN OF BARNSTABLE
Planning & Development Department
Barnstable Historical Commission
www.town.barnstable.ma.us/historicalcommission



NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application: 7/19/2021 Full Demotion Partial Demolition

Building Address: 24 Maple Ave.
Number Street

Centerville, Ma. 02632 Assessor's Map # 207 Assessor's Parcel # 207037
Village ZIP

Property Owner: Jane E. Stiles, Trustee of Jane E. Stiles Trust (617) 851-7665
Name Phone#

Property Owner Mailing Address (if different than building address) 141 Dorchester Ave, Apt 602
Boston, Ma. 02127

Property Owner e-mail address: shames.stiles@comcast.net

Contractor/Agent: Mcagher Construction Inc.

Contractor/Agent Mailing Address: 776 Main St., Osterville, Ma. 02655

Contractor/Agent Contact Name and Phone #: Kim Almqvist (617) 406 7051
Name Phone #

Contractor/Agent Contact e-mail address: Kim@mcagherinc.com

Demolition Proposed - please itemize all changes:

Propose to demo main house, garage, landscape walls, stairs and asphalt driveway

Type of New Construction Proposed: Construct a new single family home with attached garage

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1936 Additions Year Built: 1936

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
 No Yes

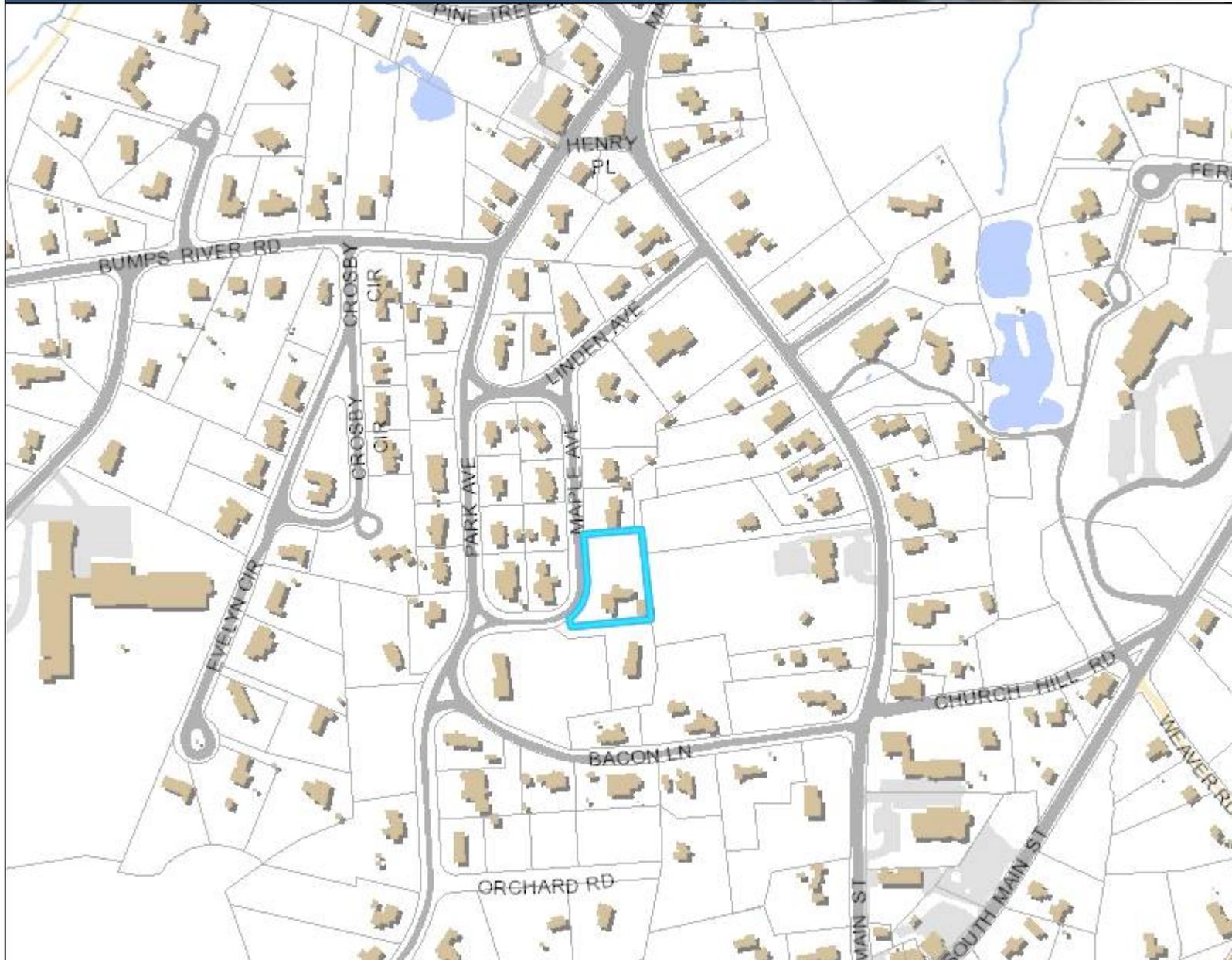
Kim Almqvist
 Property Owner/Agent Signature

24 Maple Ave
Centerville, Ma.
July 19, 2021

Project Narrative

Meagher Construction plans to demolish the existing residence at 24 Maple Ave in its entirety including the following, Foundation, Structure, porches, patio's, garage and existing septic system. 24 Maple street abutes only Maple Street.

The new Owner is appreciative of the land the house is on, but the house and garage have been neglected for many years and are in quite bad shape. A rehab of the existing structure would be at a considerable cost which would be close or exceed new construction. We formally request the demolition of the existing structures So new build can happen with attached architectural drawings and conceptual elevations by Nickolaeff Architects and site plan/location of new design by Sudbury Design Group.



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Parking Lots
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - Bridge
 - Paved Median
- Water Bodies

Map printed on: 7/26/2021



Approx. Scale: 1 inch = 333 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

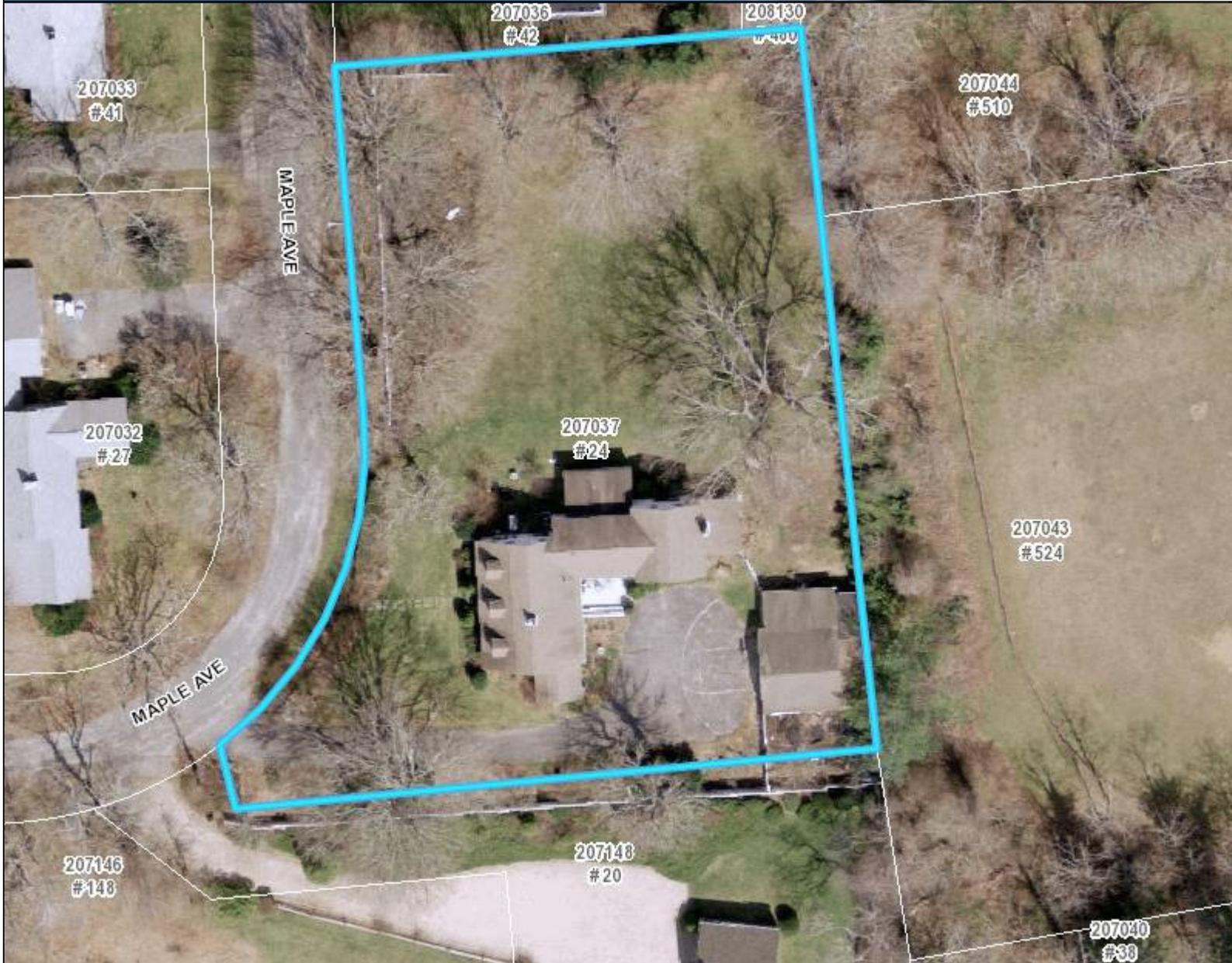
508-862-4624

gis@town.barnstable.ma.us



Legend

Road Names



Map printed on: 7/26/2021



Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Parcel: 207-037

Location: 24 MAPLE AVENUE, Centerville

Owner: STILES, JANE E TR



Parcel
207-037

Location
24 MAPLE AVENUE

Village
Centerville

Town sewer account
No

CWMP Sewer Expansion (subject to change with final engineering design)
Phase 1 (0-10 years)

Developer lot:
LOTS B-1, 8 & 9

Road type
Town

Fire district
C-O-MM

Secondary road

Road index
0962

Interactive map



Asbuilt septic scan
[207037_1](#), [207037_2](#)

Owner: STILES, JANE E TR

Owner
STILES, JANE E TR
Street1
24 MAPLE AVENUE
City
CENTERVILLE

Co-Owner
JANE E STILES TRUST
Street2

State Zip Country
MA 02632

Book page
C224803/0

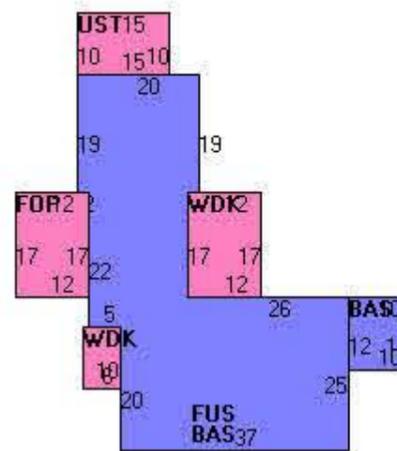
Land

Acres 0.66	Use Single Fam M-01	Zoning RD-1	Neighborhood 0109
Topography Level	Street factor Paved	Town Zone of Contribution AP (Aquifer Protection Overlay District)	
Utilities Public Water,Gas,Septic	Location factor	State Zone of Contribution OUT	

Construction

Building 1 of 1

Year built 1936	Roof structure Gambrel	Heat type Hot Water
Living area 3324	Roof cover Asph/F Gls/Cmp	Heat fuel Gas
Gross area 3942	Exterior wall Vinyl Siding	AC type None
Style Colonial	Interior wall Plastered	Bedrooms 5 Bedrooms
Model Residential	Interior floor Pine/Soft Wood	Bath rooms 3 Full-0 Half
Grade Average Plus	Foundation	Total rooms 10 Rooms
Stories 2		



Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
12/04/2019	Insulation	19-4070	\$6,794		weatherization
05/03/2002	New Roof	61079	\$7,500	10/15/2002	
10/28/1997	Addition	26606	\$4,000	03/24/1998	AD'N GAR

Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	12/18/2020	STILES, JANE E TR	C224803/0	\$640,000
2	11/15/1993	CRABTREE, DOUGLAS R & MARJORIE M	C132033/0	\$185,000
3	06/15/1991	BROOKS, MARLA KAYE	C123557/0	\$205,000
4	01/15/1991	MANNAL, KAREN L TR	C122554/0	\$100
5	05/01/1978	MANNAL, RICHARD K & KAREN	C72010/0	\$0

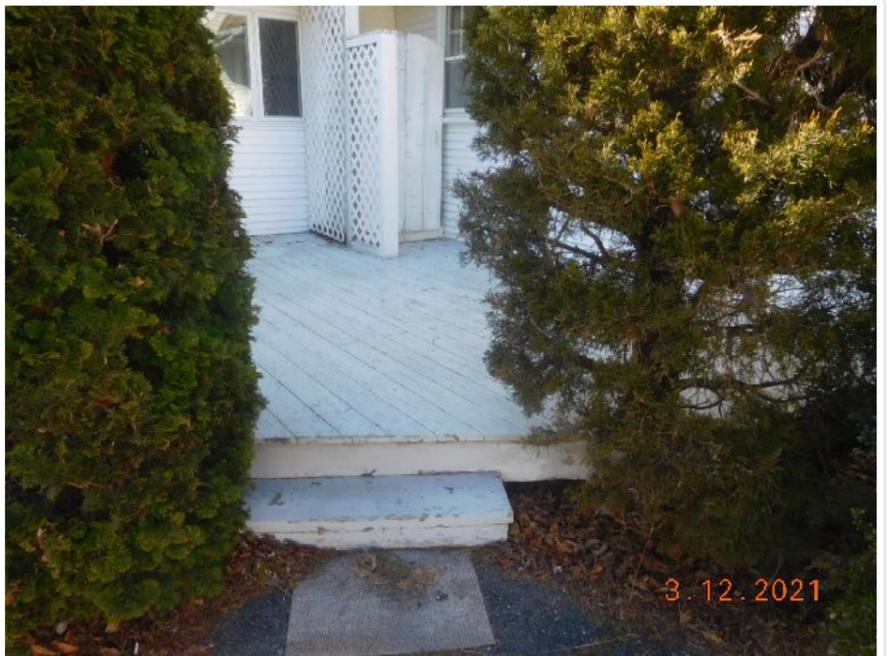
▼ Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2021	\$305,800	\$15,800	\$6,700	\$260,400	\$588,700
2	2020	\$245,600	\$13,300	\$5,700	\$260,400	\$525,000
3	2019	\$245,600	\$13,300	\$6,500	\$271,700	\$537,100
4	2018	\$204,600	\$13,300	\$6,800	\$274,100	\$498,800
5	2017	\$196,500	\$12,800	\$6,900	\$274,100	\$490,300
6	2016	\$196,500	\$12,800	\$6,900	\$268,000	\$484,200
7	2015	\$234,300	\$14,700	\$9,000	\$271,400	\$529,400
8	2014	\$234,300	\$14,700	\$9,400	\$271,400	\$529,800
9	2013	\$234,300	\$14,700	\$9,900	\$271,400	\$530,300
10	2012	\$239,600	\$14,400	\$8,500	\$271,400	\$533,900
11	2011	\$261,800	\$6,600	\$5,600	\$271,400	\$545,400
12	2010	\$262,200	\$6,600	\$6,100	\$277,300	\$552,200
13	2009	\$288,400	\$4,800	\$4,100	\$268,700	\$566,000
14	2008	\$288,400	\$4,800	\$4,400	\$304,100	\$601,700
16	2007	\$288,400	\$4,800	\$4,400	\$304,100	\$601,700
17	2006	\$273,500	\$4,800	\$4,600	\$295,000	\$577,900
18	2005	\$230,400	\$4,500	\$5,200	\$271,700	\$511,800
19	2004	\$192,900	\$4,500	\$5,200	\$214,300	\$416,900
20	2003	\$163,600	\$4,500	\$5,200	\$124,500	\$297,800
21	2002	\$174,300	\$4,800	\$5,200	\$124,500	\$308,800
22	2001	\$174,300	\$5,100	\$5,200	\$124,500	\$309,100
23	2000	\$137,100	\$5,000	\$4,800	\$54,100	\$201,000
24	1999	\$137,100	\$4,700	\$4,000	\$54,100	\$199,900
25	1998	\$125,300	\$4,700	\$3,200	\$54,100	\$187,300
26	1997	\$124,400	\$0	\$0	\$49,900	\$175,900
27	1996	\$124,400	\$0	\$0	\$49,900	\$175,900
28	1995	\$124,400	\$0	\$0	\$49,900	\$175,900
29	1994	\$200,100	\$0	\$0	\$52,400	\$258,900
30	1993	\$200,100	\$0	\$0	\$52,400	\$258,900
31	1992	\$228,300	\$0	\$0	\$58,200	\$293,800
32	1991	\$244,200	\$0	\$0	\$83,200	\$338,900
33	1990	\$244,200	\$0	\$0	\$83,200	\$338,900
34	1989	\$244,200	\$0	\$0	\$83,200	\$338,900
35	1988	\$169,200	\$0	\$0	\$45,000	\$223,400
36	1987	\$169,200	\$0	\$0	\$45,000	\$223,400
37	1986	\$169,200	\$0	\$0	\$45,000	\$223,400

▼ Photos









VIEW FROM ROAD - FRONT
24 MAPLE ST.



FRONT



SIDE RIGHT FROM DRIVEWAY



SIDE RIGHT



BACK AND SIDE @ DRIVE



RIGHT SIDE BACK



BACKSIDE HOUSE



BACK LEFT



SIDE LEFT



SIDE LEFT TO FRONT



PORCH SIDE



GARAGE FRONT



GARAGE RIGHT





GARAGE LEFT

Historical Commission Abutter List for Subject Parcel 207037

All property owners within 300 feet of the subject property's boundaries

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
207020	CURRAN, SUE M TR	CURRAN MACARTHUR 2013 REALTY TRUST	69 BACON LANE		CENTERVILLE	MA	02632
207026	WRY, CHARLES A & RUTHANN		45 THOMPSON DR		SUDBURY	MA	01776
207027	QUEENEY, ELLEN L		129 PARK AVENUE		CENTERVILLE	MA	02632
207028	STANARD, MAURA TR	BUCKEYE REALTY TRUST	119 PARK AVENUE		CENTERVILLE	MA	02632
207029	HENNESSEY, DEBRA BACKUS		569 CURRIER ROAD		EAST FALMOUTH	MA	02536
207030	MINOT, MICHAEL J & JANICE F		ONE ORCHARD ST		ANDOVER	MA	01810
207031	CONWAY, GARY & LISA HALL, TRS	GALI TRUST	132 PARK AVENUE		CENTERVILLE	MA	02601
207032	KK MAPLE AVE LLC		871 WASHINGTON STREET		HANOVER	MA	02339
207033	BROWN, SCOTT A & CORI J		41 MAPLE AVE		CENTERVILLE	MA	02632
207034	KLOTZ, KATE E TR	KLOTZ FAMILY IRREVOCABLE TRUST	9800 CROMWELL DRIVE		EDEN PRAIRIE	MN	55347
207035	GALLAGHER, HUDSON H		52 MAPLE AVENUE		CENTERVILLE	MA	02632
207036	COSTELLO, PAUL A JR & KATHLEEN K TRS	COSTELLO FAM 2019 RLT DATED 01/23/2019	42 MAPLE AVENUE		CENTERVILLE	MA	02632
207037	STILES, JANE E TR	JANE E STILES TRUST	24 MAPLE AVENUE		CENTERVILLE	MA	02632
207039	ANTHONY, DAVID W & ELAINE M		56 BACON LN		CENTERVILLE	MA	02632

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
207040	MAHDAVI,REZA&DILLENSEGER, MARIEPIERRE TRS	REZA MAHDAVI&MP DILLENSEGER 2020 LIV TRS	38 BACON LANE		CENTERVILLE	MA	02632
207041	FAIR, GERALDINE K TR	558 MAIN STREET REALTY TRUST	3 FAIRWAY CIRCLE		NATICK	MA	01760
207042	SPROUL, JAMES A & MOLLY M		548 MAIN ST		CENTERVILLE	MA	02632
207043	BARNSTABLE, TOWN OF (REC)		367 MAIN STREET		HYANNIS	MA	02601
207044	FULLER, MARY ELLEN TR	MARY ELLEN FULLER TRUST	60 LINCOLN STREET		SEEKONK	MA	02771
207046	KERNS, JOHN J IV & NADINE		490 MAIN STREET		CENTERVILLE	MA	02632
207108	GIORDANA, LOUIS & JEANMARIE		48 STRONG PLACE		BROOKLYN	NY	11231
207143	CRONIN, JUSTIN C & LESLIE K		4535 VERONE STREET		BELLAIRE	TX	77401
207144	HORGAN, FRANCIS L JR & LINDA H TRS	HORGAN LIVING TRUST	180 PARK AVENUE		CENTERVILLE	MA	02632
207146	148 PARK AVE LLC		11 ELKINS STREET		SOUTH BOSTON	MA	02127
207148	MCELLIGOTT, KEVIN M & LINDA G		3660 EXECUTIVE DR		PALM HARBOR	FL	34685
208005	JACKSON, ROBERT F TR	JACKSON TRUST	105 PARK AVENUE		CENTERVILLE	MA	02632
208130	KASETA, STEVEN J & SHARON V TRS	%JACKSON, PAUL D & LERNER, LAURA	480 MAIN STREET		CENTERVILLE	MA	02632
208131	WELCH, RONALD & CATRINA		PO BOX 982		OSTERVILLE	MA	02655
208132	TECENO, FREDERICK SCOTT & DIANNE L		454 MAIN STREET		CENTERVILLE	MA	02632
208133	HENDERSON, ERNEST F III TR	ERNEST F HENDERSON III REV TRUST 01	PO BOX 420		SUDBURY	MA	01776

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
208134	MANCINI, PETER P & ZENDA M TRS	65 MAPLE AVENUE QPRT	4 ESSEX ROAD		BELMONT	MA	02478
208135	FITZGERALD, SEAN M & JONES, SANDRA L TRS	J & F REALTY TRUST	98 PARK AVENUE		CENTERVILLE	MA	02632

24 Maple Ave
Centerville, Ma.
July 19, 2021

Project Narrative

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The new Owner is appreciative of the land the house is on, but the house and garage have been neglected for many years and are in quite bad shape. A rehab of the existing structure would be at a considerable cost which would be close or exceed new construction. We formally request the demolition of the existing structures So new build can happen with attached architectural drawings and conceptual elevations by Nickolaeff Architects and site plan/location of new design by Sudbury Design Group.

STILES RESIDENCE

24 MAPLE AVENUE
CENTERTVILLE, MA

GENERAL NOTES:

The drawing and all of the ideas, arrangements, designs and plans indicated thereon or represented thereby are owned by and remain the property of Dorava Nicholaeff, Architect Inc. No part thereof shall be used by any person, firm or corporation for any purpose, except with specific written permission of the firm Dorava Nicholaeff Architect, Inc.

Any errors or discrepancies on the drawings, shop drawings and details are to be brought to the attention of the architect before the work has commenced.

Dimensions are to be used and no drawings are to be scaled.



NICHOLAEFF ARCHITECTURE + DESIGN

891 Main Street
Centerville, MA 02655
T 508 420 5298
F 508 420 2240
nicholaeff.com

ISSUED FOR PERMIT
07/22/2021

PROJECT NUMBER: STL01

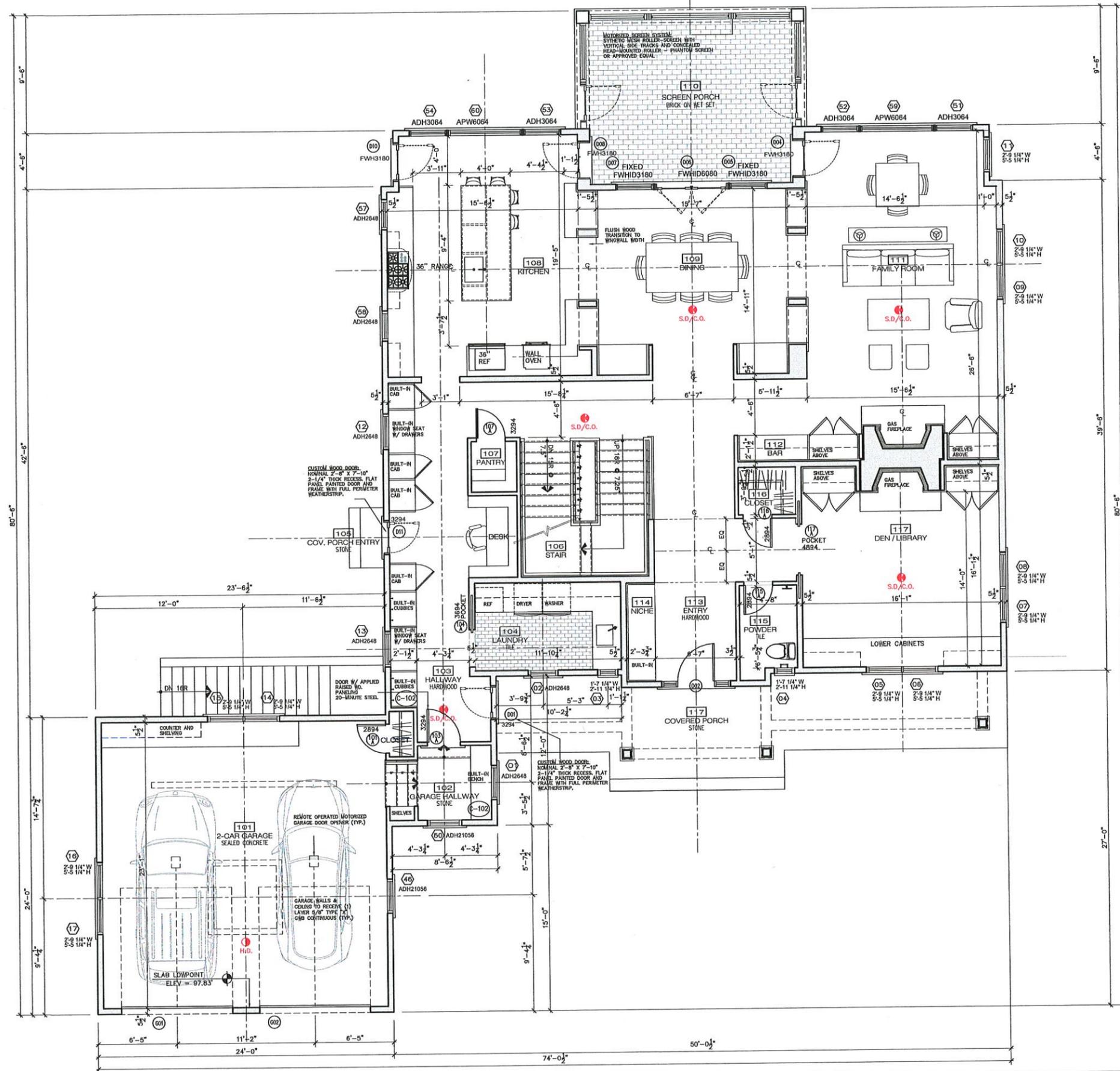
DRAWN BY: DV

SCALE: AS NOTED

DATE: JULY 22, 2021

TITLE:
FIRST FLOOR PLAN
2,135 SQ.FT.

A1.1



1. INTERIOR DOOR DIMENSIONS SHOWN ARE NOMINAL DOOR LEAF SIZES IN INCHES. G.C. TO CONFIRM ACTUAL ROUGH OPENING SIZES REQUIRED WITH THE INTERIOR DOOR FABRICATOR. INTERIOR AND EXTERIOR DOOR & WINDOW HEAD CASINGS TO ALIGN UNLESS NOTED OTHERWISE.
2. DIMENSIONS ARE TAKEN TO FACE OF ROUGH STUD FRAMING, CENTER-LINE OF DOOR OR WINDOW, OR CONTROL POINT LINE, UNLESS INDICATED OTHERWISE.
3. ALL EXTERIOR WALLS SHALL BE 2X6 FRAMING, UNLESS NOTED OTHERWISE.
4. ALL INTERIOR PARTITIONS SHALL BE FULLY INSULATED W/ 3/4" UNFACED FIBERGLASS SOUND INSULATION.
5. SECOND FLOOR DECK SHALL BE INSULATED WITH 9" UNFACED FIBERGLASS SOUND INSULATION.
6. ROOF FRAMING SHALL BE INSULATED W/ R-30 FIBERGLASS INSULATION.

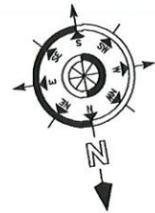
GENERAL NOTES | 4

- HARD-WIRED PHOTOELECTRIC SMOKE DETECTOR WITH BATTERY BACKUP
- Ⓢ HARD-WIRED FIXED TEMPERATURE HEAT DETECTOR WITH BATTERY BACKUP
- Ⓜ HARD-WIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP

FIRE PROTECTION | 3

BASEMENT HEATED	: 270 SQ.FT.
FIRST FLOOR HEATED	: 2,135 SQ.FT.
SECOND FLOOR HEATED	: 1,810 SQ.FT.
TOTAL	: 4,215 SQ.FT.
GARAGE	: 580 SQ.FT.
SCREEN PORCH	: 250 SQ.FT.

AREA CALCULATIONS | 2



STILES RESIDENCE

24 MAPLE AVENUE
CENTERVILLE, MA

GENERAL NOTES:

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NICHOLAEFF ARCHITECTURE + DESIGN

891 Main Street
Osterville, MA 02655
T 508 420 5298
F 508 420 2240
nicholaeff.com

ISSUED FOR PERMIT
07/22/2021

PROJECT NUMBER: STL01

DRAWN BY: DV

SCALE: AS NOTED

DATE: JULY 22, 2021

TITLE:
SECOND FLOOR PLAN
1,810 SQ.FT.

A1.2

1. INTERIOR DOOR DIMENSIONS SHOWN ARE NOMINAL DOOR LEAF SIZES IN INCHES. G.C. TO CONFIRM ACTUAL ROUGH OPENING SIZES REQUIRED WITH THE INTERIOR DOOR FABRICATOR. INTERIOR AND EXTERIOR DOOR & WINDOW HEAD CASINGS TO ALIGN UNLESS NOTED OTHERWISE.
2. DIMENSIONS ARE TAKEN TO FACE OF ROUGH STUD FRAMING, CENTER-LINE OF DOOR OR WINDOW, OR CONTROL POINT LINE, UNLESS INDICATED OTHERWISE.
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GENERAL NOTES 4

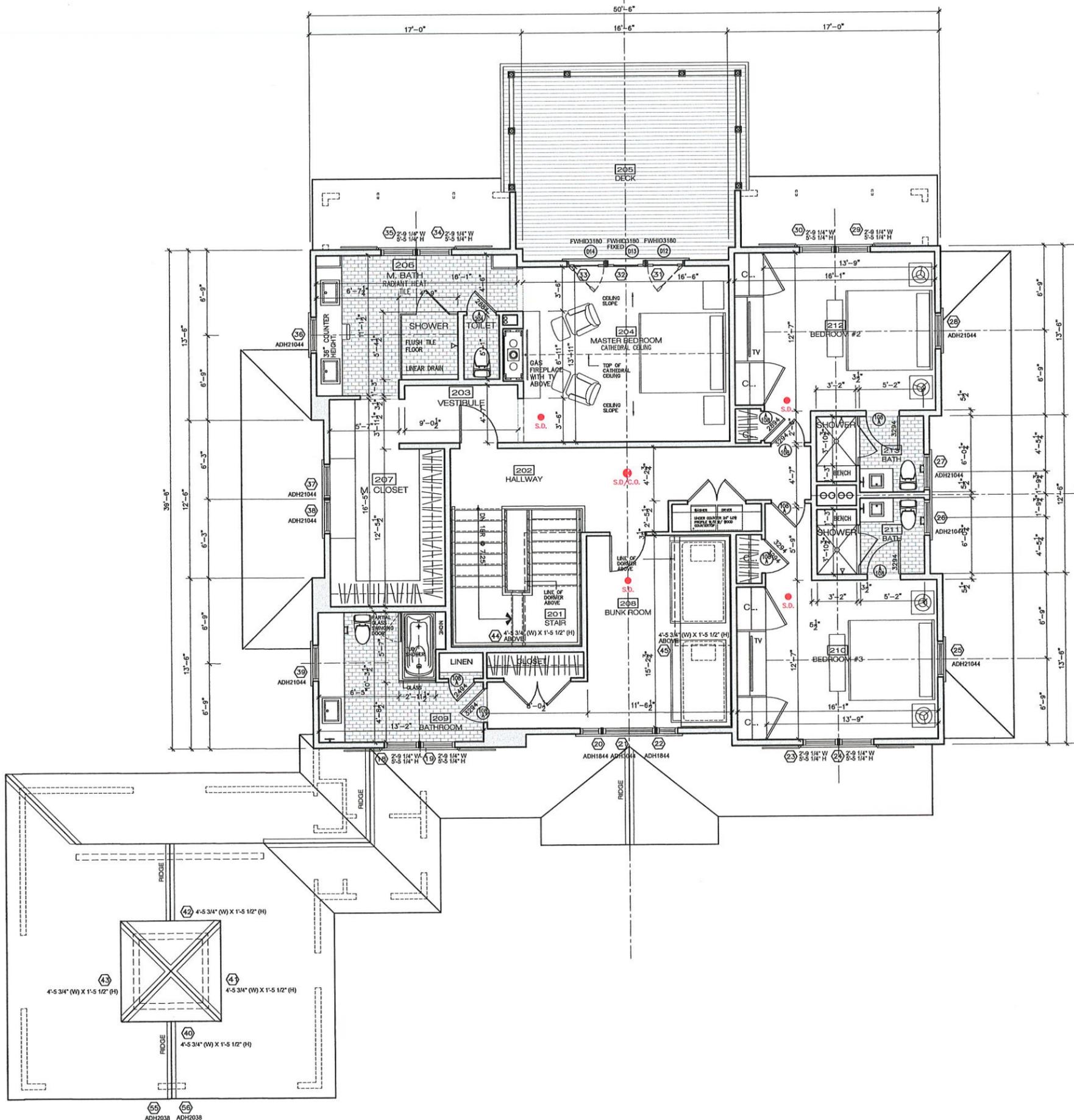
- S.D. HARD-WIRED PHOTOELECTRIC SMOKE DETECTOR WITH BATTERY BACKUP
- Ⓢ H.D. HARD-WIRED FIXED TEMPERATURE HEAT DETECTOR WITH BATTERY BACKUP
- Ⓢ C.O. HARD-WIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP

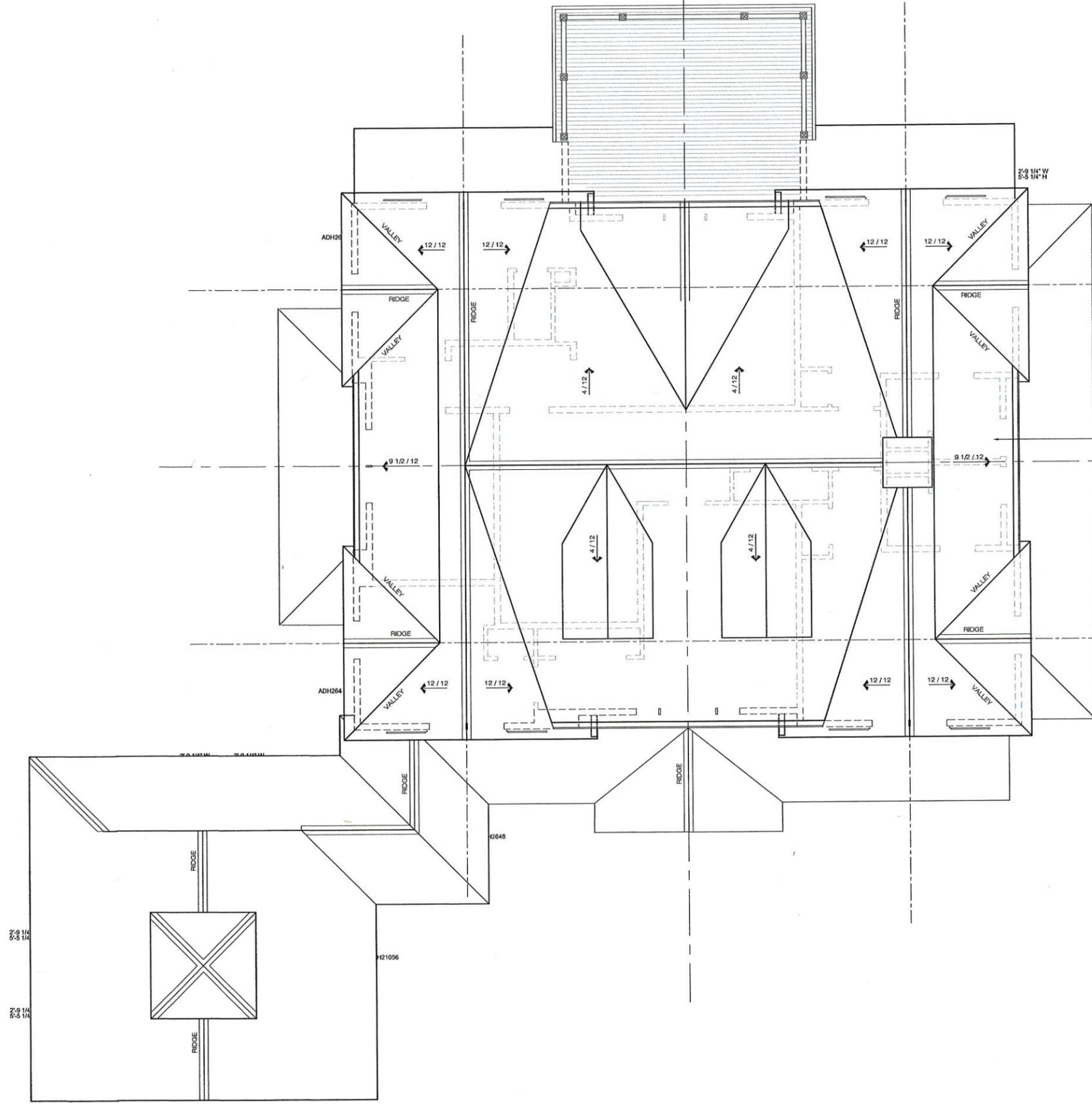
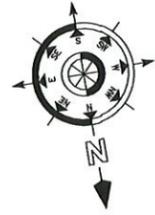
FIRE PROTECTION 3

BASEMENT HEATED : 270 SQ.FT.
FIRST FLOOR HEATED : 2,135 SQ.FT.
SECOND FLOOR HEATED : 1,810 SQ.FT.
TOTAL : 4,215 SQ.FT.

GARAGE : 580 SQ.FT.
SCREEN PORCH : 250 SQ.FT.

AREA CALCULATIONS 2





TYPICAL ROOF CONSTRUCTION:
 CERTI-SAWN WESTERN RED CEDAR TAPERSAWN SHAKES, PERFECTION
 GRADE #1 BLUE LABEL, 3/4" X 18" WITH 5" +/- EXPOSURE, INSTALLED WITH STAINLESS TYPE 316 NAILS, OVER BENJAMIN OBOYKE "CEDARBREATHER", OVER HENRY BLUESKIN ROOFING MEMBRANE, OVER 5" EXTERIOR GRADE PLYWOOD SHEATHING, OVER 2X10 @ 16" O.C. RAFTERS WITH R-49 HIGH DENSITY CLOSED-CELL FOAM INSULATION, CONTINUOUS WOVEN SHINGLE RIDGE CAPS, "BOSTON WEAVE" WOVEN SHINGLE HPS. ALL VALLEYS SHALL BE CLOSED AND WOVEN WITH 16 OZ. RED COPPER FLASHING. ALL EXPOSED FLASHING TO BE 16 OZ. L.C. COPPER U.N.O.

STILES RESIDENCE
 24 MAPLE AVENUE
 CENTERVILLE, MA

GENERAL NOTES:
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 Dimensions are to be used and no drawings are to be scaled.



Nicholaeff

NICHOLAEFF ARCHITECTURE + DESIGN
 891 Main Street
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 T 508 420 5298
 F 508 420 2240
 nicholaeff.com

ISSUED FOR PERMIT
 07/22/2021

PROJECT NUMBER: STL01

DRAWN BY: DV

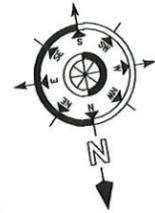
SCALE: AS NOTED

DATE: JULY 22, 2021

TITLE:

ROOF PLAN

A1.3



**STILES
RESIDENCE**
24 MAPLE AVENUE
CENTERVILLE, MA

GENERAL NOTES:

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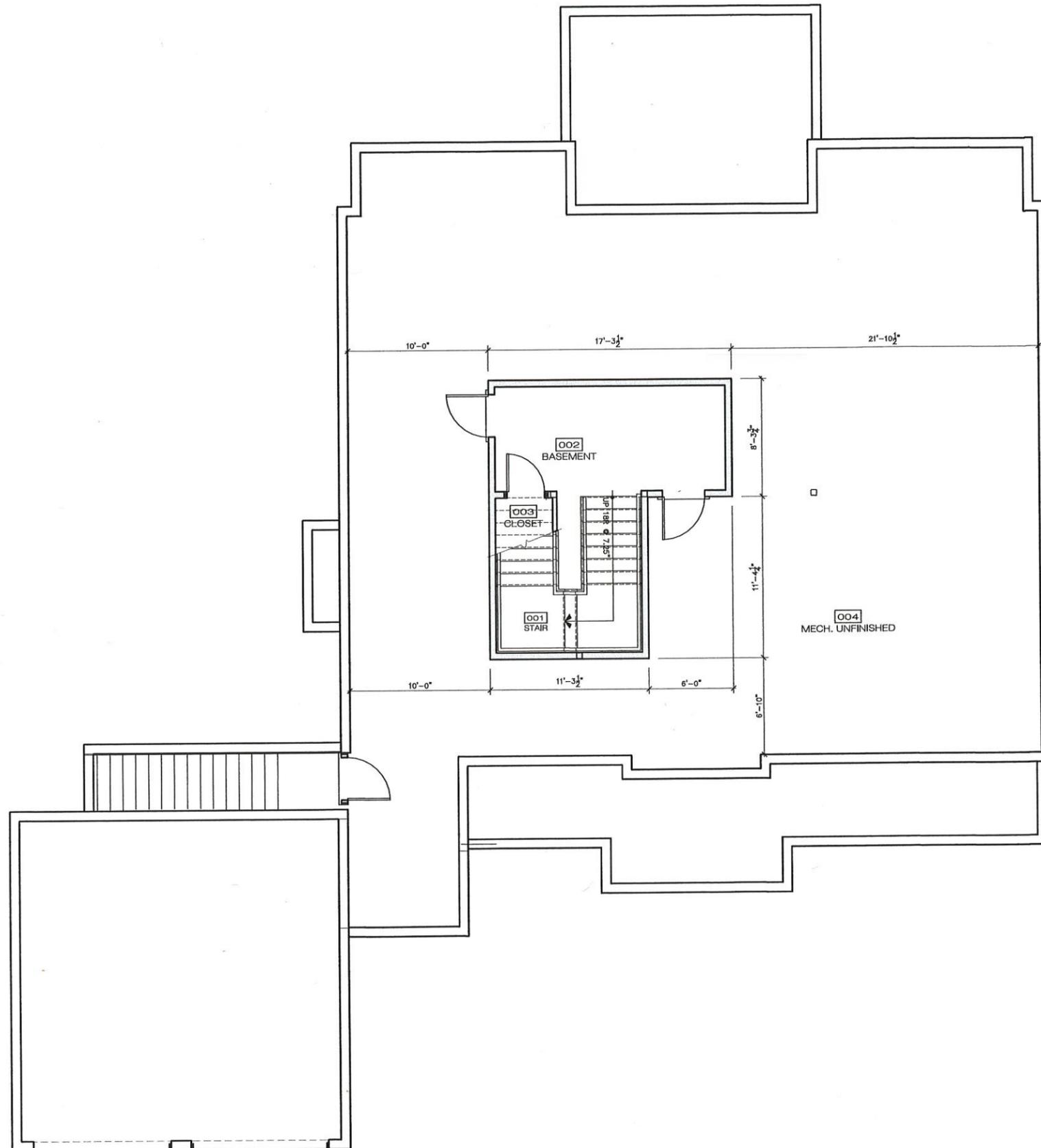
DRAWN BY: DV

SCALE: AS NOTED

DATE: JULY 22, 2021

TITLE:
BASEMENT PLAN

A1.4



1. INTERIOR DOOR DIMENSIONS SHOWN ARE NOMINAL DOOR LEAF SIZES IN INCHES. C.C. TO CONFIRM ACTUAL ROUGH OPENING SIZES REQUIRED WITH THE INTERIOR DOOR FABRICATOR, INTERIOR AND EXTERIOR DOOR & WINDOW HEAD CASINGS TO ALIGN UNLESS NOTED OTHERWISE
2. DIMENSIONS ARE TAKEN TO FACE OF ROUGH STUD FRAMING, CENTER-LINE OF DOOR OR WINDOW, OR CONTROL POINT LINE, UNLESS INDICATED OTHERWISE.
3. ALL EXTERIOR WALLS SHALL BE 2X6 FRAMING, UNLESS NOTED OTHERWISE
4. ALL INTERIOR PARTITIONS SHALL BE FULLY INSULATED W/ 3/2" UNFACED FIBERGLASS SOUND INSULATION
5. SECOND FLOOR DECK SHALL BE INSULATED WITH 9" UNFACED FIBERGLASS SOUND INSULATION
6. ROOF FRAMING SHALL BE INSULATED W/ R-30 FIBERGLASS INSULATION

GENERAL NOTES 4

- S.D. HARD-WIRED PHOTOELECTRIC SMOKE DETECTOR WITH BATTERY BACKUP
- Ⓛ H.D. HARD-WIRED FIXED TEMPERATURE HEAT DETECTOR WITH BATTERY BACKUP
- Ⓢ C.O. HARD-WIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP

FIRE PROTECTION 3

BASEMENT HEATED : 270 SQ.FT.
FIRST FLOOR HEATED : 2,135 SQ.FT.
SECOND FLOOR HEATED : 1,810 SQ.FT.
TOTAL : 4,215 SQ.FT.

GARAGE : 580 SQ.FT.
SCREEN PORCH : 250 SQ.FT.

AREA CALCULATIONS 2

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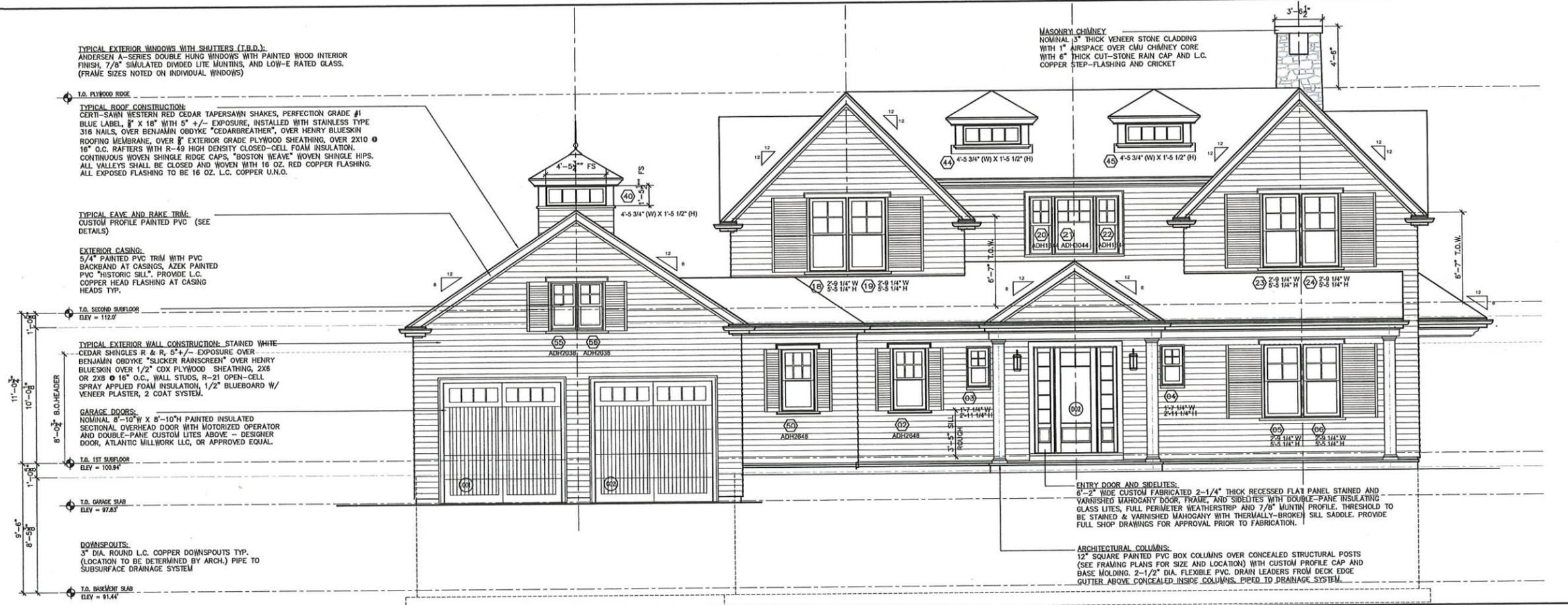
PROJECT NUMBER: STL01
DRAWN BY: DV
SCALE: AS NOTED
DATE: JULY 22, 2021

TITLE:
BUILDING ELEVATIONS

A2.1



EAST ELEVATION SCALE 1/4"=1'-0" 2



NORTH ELEVATION - OPTION B SCALE 1/4"=1'-0" B

STILES RESIDENCE

24 MAPLE AVENUE
CENTERVILLE, MA

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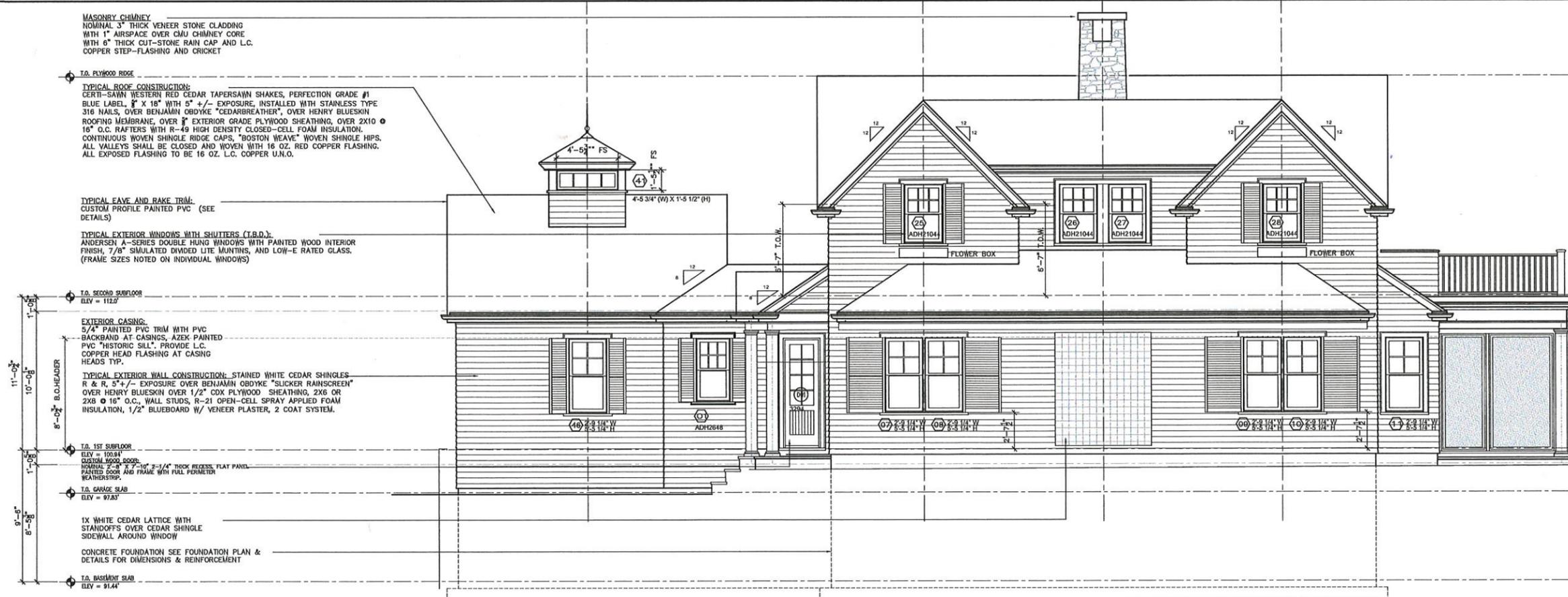
DATE: JULY 22, 2021

TITLE:
BUILDING ELEVATIONS

A2.2



NORTH ELEVATION SCALE 1/4"=1'-0" 2



WEST ELEVATION SCALE 1/4"=1'-0" 1

STILES RESIDENCE

24 MAPLE AVENUE
CENTERTVILLE, MA

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PROPOSED WEST ELEVATION SCALE 1/4"=1'-0" 1

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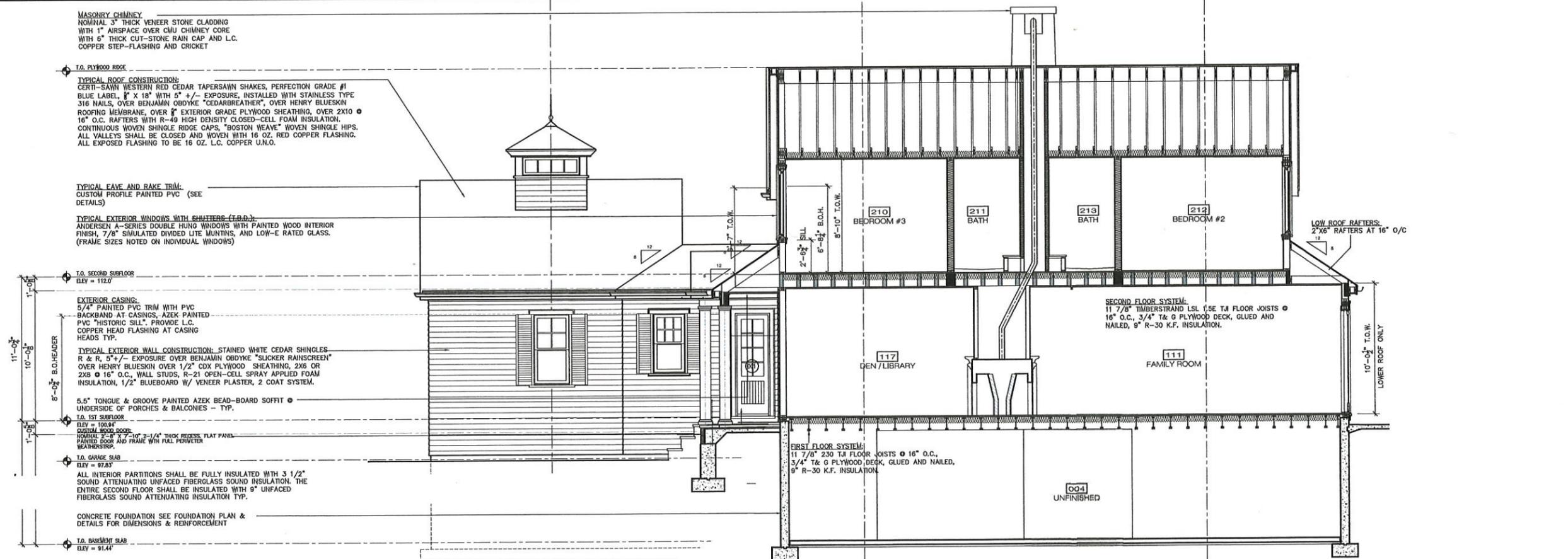
SCALE: AS NOTED

DATE: JULY 22, 2021

TITLE:
BUILDING SECTIONS

A3.1

ISSUED FOR PERMIT
07/22/2021



BUILDING SECTION SCALE 1/4"=1'-0" 1

**STILES
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24 MAPLE AVENUE
CENTERVILLE, MA

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SCALE: AS NOTED

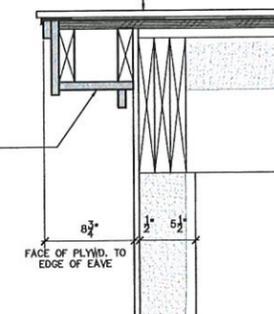
DATE: JULY 22, 2021

TITLE:
WALL SECTION DETAILS

A4.1

5/8" X 18" WITH 5" +/- EXPOSURE CERT-SAWN WESTERN RED CEDAR TAPERSAWN SHAKES, PERFECTION GRADE #1 BLUE LABEL, INSTALLED WITH STAINLESS TYPE 316 NAILS, CONTINUOUS WOVEN SHINGLE RIDGE CAPS, "BOSTON WEAVE" WOVEN SHINGLE HIPS. ALL VALLEYS SHALL BE CLOSED AND WOVEN WITH 16 OZ. RED COPPER FLASHING. ALL EXPOSED FLASHING TO BE 16 OZ. L.C. COPPER U.N.O. BENJAMIN OBDYKE "CEDARBREATHER", OVER HENRY BLUESKIN ROOFING MEMBRANE.

1X8 PVC/AZEK SOFFIT



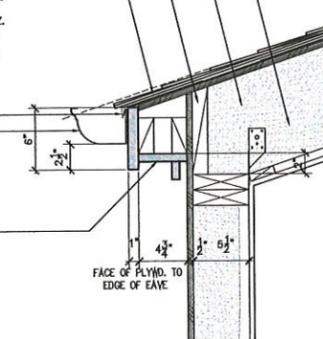
RAKE DETAIL SCALE 1 1/2"=1'-0" 3

R-49 HIGH DENSITY CLOSED-CELL FOAM INSULATION
2X8 @ 16" O.C. RAFTERS UNLESS NOTED OTHERWISE
2X INSULATION STOP

5/8" X 18" WITH 5" +/- EXPOSURE CERT-SAWN WESTERN RED CEDAR TAPERSAWN SHAKES, PERFECTION GRADE #1 BLUE LABEL, INSTALLED WITH STAINLESS TYPE 316 NAILS, CONTINUOUS WOVEN SHINGLE RIDGE CAPS, "BOSTON WEAVE" WOVEN SHINGLE HIPS. ALL VALLEYS SHALL BE CLOSED AND WOVEN WITH 16 OZ. RED COPPER FLASHING. ALL EXPOSED FLASHING TO BE 16 OZ. L.C. COPPER U.N.O. BENJAMIN OBDYKE "CEDARBREATHER", OVER HENRY BLUESKIN ROOFING MEMBRANE.

20 OZ. ZINC-COATED COPPER LINER CONTINUOUS @ GUTTER W/ LOCK SEAM @ GUTTER EDGE
5" "K" STYLE BERGER COPPER SYSTEM OR SIMILAR W/ 3" DIA COPPER DOWNSPOUTS, TYP..

1X PVC/AZEK SOFFIT



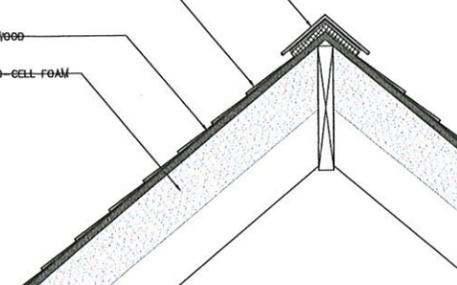
EAVE DETAIL SCALE 1 1/2"=1'-0" 2

CONTINUOUS WOVEN SHINGLE RIDGE CAPS, "BOSTON WEAVE" WOVEN SHINGLE HIPS. COPPER FOIL INTERLAYMENT @ EACH COURSE. ALL VALLEYS SHALL BE CLOSED AND WOVEN WITH 16 OZ. RED COPPER FLASHING. ALL EXPOSED FLASHING TO BE 16 OZ. L.C. COPPER U.N.O.

5/8" X 18" WITH 5" +/- EXPOSURE CERT-SAWN WESTERN RED CEDAR TAPERSAWN SHAKES, PERFECTION GRADE #1 BLUE LABEL, INSTALLED WITH STAINLESS TYPE 316 NAILS,

5/8" EXTERIOR GRADE PLYWOOD SHEATHING

R-49 HIGH DENSITY CLOSED-CELL FOAM INSULATION



RIDGE DETAIL SCALE 1 1/2"=1'-0" 4

R-49 HIGH DENSITY CLOSED-CELL FOAM INSULATION
NOTED OTHERWISE
2X10 @ 16" O.C. RAFTERS UNLESS NOTED OTHERWISE
2X INSULATION STOP

5/8" X 18" WITH 5" +/- EXPOSURE CERT-SAWN WESTERN RED CEDAR TAPERSAWN SHAKES, PERFECTION GRADE #1 BLUE LABEL, INSTALLED WITH STAINLESS TYPE 316 NAILS, CONTINUOUS WOVEN SHINGLE RIDGE CAPS, "BOSTON WEAVE" WOVEN SHINGLE HIPS. ALL VALLEYS SHALL BE CLOSED AND WOVEN WITH 16 OZ. RED COPPER FLASHING. ALL EXPOSED FLASHING TO BE 16 OZ. L.C. COPPER U.N.O.

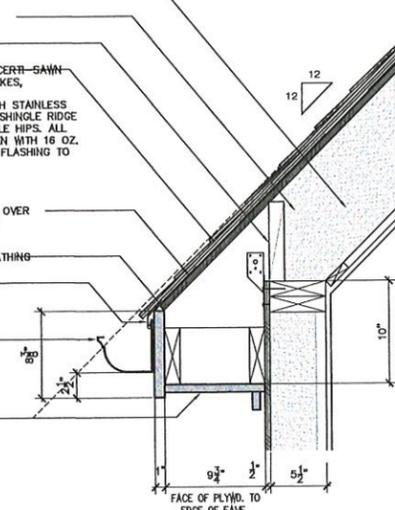
BENJAMIN OBDYKE "CEDARBREATHER", OVER HENRY BLUESKIN ROOFING MEMBRANE

5/8" EXTERIOR GRADE PLYWOOD SHEATHING

20 OZ. ZINC-COATED COPPER LINER CONTINUOUS @ GUTTER W/ LOCK SEAM @ GUTTER EDGE

5" "K" STYLE BERGER COPPER SYSTEM OR SIMILAR W/ 3" DIA COPPER DOWNSPOUTS, TYP..

1X PVC/AZEK SOFFIT



EAVE DETAIL TYPICAL SCALE 1 1/2"=1'-0" 1

DOOR SCHEDULE							
CURRENT ISSUE							
Project Name:	STILES						
#	REFERENCE	AND ERSE N A-SE RIES	TYPE	FRAME SIZE		SWING	COMMENTS
				WIDTH	HEIGHT		
FIRST FLOOR EXTERIOR DOORS							
D01	CUSTOM WOOD DOOR			2-8"	7-10"	RH	2 1/4" THICK RECESS FLAT PANEL
D02	CUSTOM ENTRY DOOR ASSEMBLY			6-2"	7-10"	RH	2 1/4" THICK RECESS FLAT PANEL
D03	NOT USED						
D04	FWHD3180	✓		3-0 1/8"	7-11 1/2"	LH	
D05	FWHD3180	✓	FIXED	3-0 1/8"	7-11 1/2"	F	
D06	FWHD6050	✓		5-11 1/4"	7-11 1/2"		OPERABLE IN SWING
D07	FWHD3180	✓	FIXED	3-0 1/8"	7-11 1/2"	F	
D08	FWHD3180	✓		3-0 1/8"	7-11 1/2"	RH	
D09	NOT USED						
D10	FWHD3180	✓		3-0 1/8"	7-11 1/2"	LH	
D11	CUSTOM WOOD DOOR			2-8"	7-10"	LH	2 1/4" THICK RECESS FLAT PANEL
SECOND FLOOR EXTERIOR DOORS							
D12	FWHD3180	✓		3-0 1/8"	7-11 1/2"	LH	
D13	FWHD3180	✓	FIXED	3-0 1/8"	7-11 1/2"		
D14	FWHD3180	✓		3-0 1/8"	7-11 1/2"	RH	

DOOR SCHEDULE 2

WINDOW SCHEDULE							
CURRENT ISSUE							
Project Name:	STILES						
#	REFERENCE	A-SE RIES	TYPE	FRAME SIZE		SWING	COMMENTS
				WIDTH	HEIGHT		
FIRST FLOOR							
01	ADH2648	✓	DH	2-5 1/4"	4-7 1/4"		SHUTTERS
02	ADH2648	✓	DH	2-5 1/4"	4-7 1/4"		SHUTTERS
03	CUSTOM	✓	DH	1-7 1/4"	2-11 1/4"		1 1/4" EXTERIOR TRIM
04	CUSTOM	✓	DH	1-7 1/4"	2-11 1/4"		1 1/4" EXTERIOR TRIM
05	CUSTOM HEIGHT	✓	DH	2-9 1/4"	5-5 1/4"		CUSTOM HEIGHT
06	CUSTOM HEIGHT	✓	DH	2-9 1/4"	5-5 1/4"		CUSTOM HEIGHT
07	CUSTOM HEIGHT	✓	DH	2-9 1/4"	5-5 1/4"		CUSTOM HEIGHT
08	CUSTOM HEIGHT	✓	DH	2-9 1/4"	5-5 1/4"		CUSTOM HEIGHT
09	CUSTOM HEIGHT	✓	DH	2-9 1/4"	5-5 1/4"		CUSTOM HEIGHT
10	CUSTOM HEIGHT	✓	DH	2-9 1/4"	5-5 1/4"		CUSTOM HEIGHT
11	CUSTOM HEIGHT	✓	DH	2-9 1/4"	5-5 1/4"		CUSTOM HEIGHT
12	ADH2648	✓	DH	2-5 1/4"	4-7 1/4"		
13	ADH2648	✓	DH	2-5 1/4"	4-7 1/4"		
14	CUSTOM HEIGHT	✓	DH	2-9 1/4"	5-5 1/4"		CUSTOM HEIGHT
15	CUSTOM HEIGHT	✓	DH	2-9 1/4"	5-5 1/4"		CUSTOM HEIGHT
16	CUSTOM HEIGHT	✓	DH	2-9 1/4"	5-5 1/4"		CUSTOM HEIGHT
17	CUSTOM HEIGHT	✓	DH	2-9 1/4"	5-5 1/4"		CUSTOM HEIGHT
18	CUSTOM HEIGHT	✓	DH	2-9 1/4"	5-5 1/4"		CUSTOM HEIGHT / SHUTTERS
46	CUSTOM HEIGHT	✓	DH	2-9 1/4"	5-5 1/4"		SHUTTERS - TYPICAL EXT TRIM
50	ADH2648	✓	DH	2-5 1/4"	4-7 1/4"		
51	ADH3064	✓	DH	2-11 1/4"	6-3 1/4"		
52	ADH3064	✓	DH	2-11 1/4"	6-3 1/4"		
53	ADH3064	✓	DH	2-11 1/4"	6-3 1/4"		
54	ADH3064	✓	DH	2-11 1/4"	6-3 1/4"		
55	ADH2038	✓	DH	1-11 1/4"	3-7 1/4"		SHUTTERS - TYPICAL EXT TRIM
56	ADH2038	✓	DH	1-11 1/4"	3-7 1/4"		SHUTTERS - TYPICAL EXT TRIM
57	ADH2648	✓	DH	2-5 1/4"	4-7 1/4"		
58	ADH2648	✓	DH	2-5 1/4"	4-7 1/4"		
59	APW6064	✓	PICTURE	5-11 1/4"	6-3 1/4"		PICTURE WINDOW TEMPERED
60	APW6064	✓	PICTURE	5-11 1/4"	6-3 1/4"		PICTURE WINDOW TEMPERED
SECOND FLOOR							
18	CUSTOM HEIGHT	✓	DH	2-9 1/4"	5-5 1/4"		CUSTOM HEIGHT
19	CUSTOM HEIGHT	✓	DH	2-9 1/4"	5-5 1/4"		CUSTOM HEIGHT
20	ADH1844	✓	DH	1-7 1/4"	4-3 1/4"		
21	ADH1844	✓	FIXED	2-11 1/4"	4-3 1/4"		
22	ADH1844	✓	DH	1-7 1/4"	4-3 1/4"		
23	CUSTOM HEIGHT	✓	DH	2-9 1/4"	5-5 1/4"		CUSTOM HEIGHT
24	CUSTOM HEIGHT	✓	DH	2-9 1/4"	5-5 1/4"		CUSTOM HEIGHT
25	ADH21044	✓	DH	2-9 1/4"	4-3 1/4"		
26	ADH21044	✓	DH	2-9 1/4"	4-3 1/4"		
27	ADH21044	✓	DH	2-9 1/4"	4-3 1/4"		
28	ADH21044	✓	DH	2-9 1/4"	4-3 1/4"		
29	CUSTOM HEIGHT	✓	DH	2-9 1/4"	5-5 1/4"		CUSTOM HEIGHT
30	CUSTOM HEIGHT	✓	DH	2-9 1/4"	5-5 1/4"		CUSTOM HEIGHT
31	TRANSOM	✓	F	2-11 1/4"	1-5 3/4"		
32	TRANSOM	✓	F	2-11 1/4"	1-5 3/4"		
33	TRANSOM	✓	F	2-11 1/4"	1-5 3/4"		
34	CUSTOM HEIGHT	✓	DH	2-9 1/4"	5-5 1/4"		CUSTOM HEIGHT
35	CUSTOM HEIGHT	✓	DH	2-9 1/4"	5-5 1/4"		CUSTOM HEIGHT
36	ADH21044	✓	DH	2-9 1/4"	4-3 1/4"		
37	ADH21044	✓	DH	2-9 1/4"	4-3 1/4"		
38	ADH21044	✓	DH	2-9 1/4"	4-3 1/4"		
39	ADH21044	✓	DH	2-9 1/4"	4-3 1/4"		
40	CUPOLA	✓	FIXED	4-5 3/4"	1-5 1/2"		CUPOLA
41	CUPOLA	✓	FIXED	4-5 3/4"	1-5 1/2"		CUPOLA
42	CUPOLA	✓	FIXED	4-5 3/4"	1-5 1/2"		CUPOLA
43	CUPOLA	✓	FIXED	4-5 3/4"	1-5 1/2"		CUPOLA
44	HIGH DORMER CUSTOM	✓	FIXED	4-5 3/4"	1-5 1/2"		HIGH DORMER
45	HIGH DORMER CUSTOM	✓	FIXED	4-5 3/4"	1-5 1/2"		HIGH DORMER

WINDOW SCHEDULE 1

STILES
RESIDENCE
24 MAPLE AVENUE
CENTERVILLE, MA

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SCALE: AS NOTED
DATE: JULY 22, 2021

TITLE:
SCHEDULES

A5.1

GENERAL NOTES

- ALL STRUCTURAL WORK SHALL BE COORDINATED WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING SPECIFICATIONS, INCLUDING THE FOLLOWING GOVERNING STANDARDS:
 - THE MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION (FOR ONE-AND TWO FAMILY DWELLINGS) AND ALL OTHER AGENCIES HAVING JURISDICTION.
 - AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", LATEST EDITION.
 - ACI "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE." (ACI 318-LATEST EDITION)
 - THE CODE FOR WELDING IN BUILDING CONSTRUCTION BY THE AMERICAN WELDING SOCIETY (AWS D1.1)
 - THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS), LATEST EDITION.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AND BRACING AND MAKE SAFE ALL FLOORS, ROOFS, WALLS AND ADJACENT PROPERTY AS PROJECT CONDITIONS REQUIRE.
- ALL CONSTRUCTION IS TO CONFORM TO THE MASSACHUSETTS STATE BUILDING CODE AND ALL APPLICABLE PRODUCT AND DESIGN STANDARDS. ABSENCE OF SPECIFIC ITEMS FROM THESE DRAWINGS DOES NOT INFER THAT THE CONTRACTOR IS RELIEVED FROM THE STATUTORY CODE REQUIREMENTS.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPROVED RULES AND STANDARDS FOR MATERIALS, TESTS, AND REQUIREMENTS OF ACCEPTED ENGINEERING PRACTICE AS LISTED THE MASSACHUSETTS BUILDING CODE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK. ANY DISCREPANCY BETWEEN WHAT IS SHOWN ON THE DRAWING AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED BACK TO THE ENGINEER IN WRITING BEFORE PROCEEDING WITH ANY WORK.
- OPENINGS THROUGH THE FRAMING AND FOUNDATION MAY NOT ALL BE SHOWN ON THESE DRAWINGS. THE GENERAL CONTRACTOR SHALL DETERMINE REQUIRED OPENINGS FOR MECHANICAL OR OTHER PURPOSES AS HE SHALL PROVIDE ADDITIONAL FRAMING AND REINFORCING STEEL FOR ALL OPENINGS WHERE REQUIRED. THE GENERAL CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL OPENINGS. ANY DEVIATION FROM THE OPENINGS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE BROUGHT TO THE ENGINEER'S IMMEDIATE ATTENTION FOR REVIEW.
- FOUNDATIONS, FIRST FLOOR AND ROOF FRAMING HAVE BEEN DESIGNED FOR THE FOLLOWING LIVE LOADS:
 - GRAVITY LOADS:
 - GROUND SNOW: pg=25 PSF, pf=30 PSF (UNBALANCED: 30 PSF)
 - OTHER ROOMS, EXTERIOR DECKS = 40 PSF
 - BEDROOMS = 30 PSF
- WIND LOAD [-CONTROLLING LATERAL FORCE] (PER MASS. BUILDING CODE AND ASCE7-10):
 - WIND SPEED: Vult=140 mph / Vasd=108 MPH;
 - EXPOSURE "B"
- NOTIFY THE ENGINEER OF ANY ARCHITECTURAL MODIFICATION OR DIMENSION CHANGES THAT MAY AFFECT THE STRUCTURAL DESIGN.

FOUNDATION NOTES

- ALL FOOTINGS SHALL BEAR LEVEL ON ACCEPTABLE SOIL OR COMPACTED STRUCTURAL FILL, HAVING A MINIMUM ALLOWABLE BEARING CAPACITY OF 2,000 LB PER SQUARE FOOT. ACCEPTABLE MATERIALS ARE CONSIDERED TO BE PROPER ROLLED EXISTING GRANULAR FILL.
- SUBSOIL BEARING STRATA SHALL BE FREE FROM ALL VEGETATION, LOAM, AND ORGANIC MATERIAL. ALL SILT, FILL, TOPSOIL, AND OTHER UNACCEPTABLE SOIL MATERIALS SHALL BE EXCAVATED AND REMOVED FROM THE SITE AT ALL FOUNDATION AND SLAB-ON-GRADE LOCATIONS. SPECIFIED STRUCTURAL, COMPACTED FILL SHALL BE SUBSTITUTED AT THESE LOCATIONS.
- IF BEARING MATERIALS (OTHER THAN THOSE DESCRIBED ABOVE) WITH A LOWER ALLOWABLE BEARING CAPACITY THAN 2,000 LB PER SQUARE FOOT ARE ENCOUNTERED, THE UNSUITABLE MATERIALS SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL AS SPECIFIED AND APPROVED BY THE STRUCTURAL ENGINEER.
- DO NOT BACKFILL PRIOR TO COMPLETE CONSTRUCTION OF THE 1ST FLOOR FRAMING & FLOOR SHEATHING. FDN WALLS DO NOT WITHSTAND EXISTING LATERAL SOIL PRESSURES UNTIL THE NEW FLOORS ARE IN PLACE AND COMPLETELY CONNECTED.
- ALL FOOTINGS SHALL BE PLACED ATOP PROOFROLLED ACCEPTABLE SOILS OR COMPACTED STRUCTURAL FILL. COMPACTED TO 95% MODIFIED PROCTOR DENSITY, AFTER REMOVAL OF UNSUITABLE MATERIALS. BACKFILL UNDER ANY PORTION OF THE BUILDING FOUNDATIONS SHALL BE COMPACTED IN 6" TO 8" LIFTS OF 95% MODIFIED PROCTOR DENSITY.
- THE STRUCTURAL ENGINEER ASSUMES NO RESPONSIBILITY FOR THE VALIDITY OF THE SUBSURFACE CONDITIONS. CONTACT THE E.O.R. PRIOR TO FOOTING CONSTRUCTION TO ALLOW REVIEW AND APPROVAL OF EXISTING SITE SOIL CONDITIONS, OR ENGAGE A LICENSED GEOTECHNICAL ENGINEER FOR VERIFICATION OF SUFFICIENT BEARING CONDITIONS.
- NO FOUNDATION OR SLAB SHALL BE PLACED IN WATER OR ON FROZEN GROUND. SUCH FOUNDATIONS OR SLABS PLACED IN SUCH CONDITIONS WILL BE IMMEDIATELY REJECTED AND REQUIRED TO BE FULLY REPLACED AT NO ADDITIONAL COST OR CONTRACT TIME EXTENSION.
- ALTHOUGH GROUNDWATER ISSUES DURING CONSTRUCTION ARE NOT EXPECTED TO BE AN ISSUE, THE CONTRACTOR SHALL PROVIDE ALL SUFFICIENT MEANS OF SITE DEWATERING, AS NECESSARY, TO ENSURE FOUNDATIONS AND SLABS ARE PLACED AS SPECIFIED.
- THE FOUNDATIONS HAVE NOT BEEN DESIGNED FOR BUOYANCY UPLIFT, FLOODING OR HYDROSTATIC PRESSURES.
- STRUCTURAL FILL: IMPORTED STRUCTURAL FILL MUST BE FREE OF ORGANIC, FROZEN, OR OTHER DELETERIOUS MATERIAL AND CONFORM TO THE GRADATION REQUIREMENTS OUTLINED BELOW. STRUCTURAL FILL SHOULD BE PLACED IN LOOSE LIFTS NOT EXCEEDING 12 INCHES THICK FOR SELF-PROPELLED VIBRATORY ROLLERS, AND 8 INCHES FOR VIBRATORY PLATE COMPACTORS. STRUCTURAL FILL SHALL BE PLACED WITHIN THE FOOTING-BEARING (1H:1V) ZONE AND BELOW ALL SLABS.

SIEVE SIZE	STRUCTURAL FILL* (PERCENT PASSING BY WEIGHT)
8"	100
3"	70-100
3/4"	45-95
NO. 4	30-90
NO. 10	25-80
NO. 40	10-50
NO. 200	0-12

*NOTES: THREE INCH MAXIMUM PARTICLE SIZE WITHIN 12 INCHES OF SLAB GRADE.
- CRUSHED STONE SHALL BE 3/4" ANGULAR, WASHED STONE (NO FINES) OF LIMESTONE OR GRANITE QUARRY, COMPACTED TO ACHIEVE AN EQUIVALENT OF 95% MODIFIED PROCTOR DENSITY COMPACTION.

CONCRETE NOTES

- CONCRETE MIXTURE, FORM-WORK, DELIVERY AND PLACEMENT SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301 (LATEST EDITION), UNLESS OTHERWISE NOTED.
- CONCRETE MATERIALS SHALL BE: TYPE 1 OR 2 PORTLAND CEMENT, SAND AND GRAVEL AGGREGATES. CONCRETE SHALL BE AIR-ENTRAINED PER ACI RECOMMENDATIONS. CONCRETE COMPRESSIVE STRENGTH, (F'c) IN 28 DAYS, WHEN TESTED IN ACCORDANCE WITH ACI 318-LATEST EDITION, SHALL BE AS FOLLOWS: ALL CONCRETE WORK - 3,000 PSI.
- THE MAXIMUM CONCRETE SLUMP FOR FOUNDATION WALLS, FOOTINGS, PIERS, ETC., SHALL BE 4". THE MAXIMUM CONCRETE SLUMP FOR SLABS SHALL BE 3". EXCEPT FOR NON-EXPOSED INTERIOR CONCRETE SLABS ON GRADE AND INTERIOR DECK SLABS. ALL CONCRETE SHALL BE AIR ENTRAINED TO 5% (+/- 1%).
- ALL MIXING, TRANSPORTING, PLACING AND CURING OF CONCRETE SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE CURRENT AMERICAN CONCRETE INSTITUTE SPECIFICATIONS AND GUIDELINES.
- NO SLAB-ON-GRADE INFILLS HAVE BEEN DESIGNED FOR BUOYANCY UPLIFT FORCES DUE TO GROUNDWATER OR FLOODING.
- ALL GROUT SHALL BE NON-SHRINK AND NON-METALLIC WITH A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI. THE MAXIMUM APPLICATION THICKNESS OF GROUT UNDER COLUMN BASES SHALL BE 1 1/2".
- REINFORCING STEEL SHALL BE NEW DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60, EXCEPT WHERE NOTED. ALL REINFORCING BARS WELDED TO A STEEL SECTION SHOULD BE OF WELDING GRADE 40. RUSTED BARS WILL BE IMMEDIATELY REJECTED AND REQUIRED TO BE REPLACED AT NO ADDITIONAL COST.
- DETAILING OF CONCRETE REINFORCEMENT AND ACCESSORIES SHALL BE IN ACCORDANCE WITH ACI PUBLICATION 315 AND CURRENT CRSI SPECIFICATIONS, LATEST EDITIONS.
- UNLESS OTHERWISE SHOWN ON THE DRAWINGS, REINFORCING STEEL SHALL BE PLACED TO PROVIDE THE FOLLOWING MINIMUM CONCRETE COVER:

BOTTOM OF FOOTINGS	3"
FORMED SIDES OF FOOTINGS	2"
FOUNDATION WALLS	1 1/2"
SLAB ON GRADE	2" BELOW TOP SURFACE
- COLUMN ANCHOR BOLTS ARE TO BE FURNISHED AND INSTALLED ACCORDING TO DESIGN PLAN. ALL COLUMN ANCHOR BOLTS SHALL BE SET BY TEMPLATE.
- ALL CONCRETE SHALL BE PROTECTED AGAINST FROST UNTIL PROJECT IS COMPLETED. PROVIDE PROPER CONCRETE PROTECTION OR HEAT IN COLD WEATHER AND MAINTAIN PROPER CURING PROCEDURES IN ACCORDANCE WITH ALL CURRENT ACI CODE OF STANDARD PRACTICE SPECIFICATIONS AND GUIDELINES.
- ALL REINFORCING BARS SHALL BE COLD BENT IN ACCORDANCE TO THE PROPER RADIUS ESTABLISHED BY THE ACI. UNDER NO CIRCUMSTANCES SHALL HEAT BE APPLIED TO THE BARS TO OBTAIN BENDS.
- ADDITION OF WATER TO CONCRETE MIXES AT THE SITE IS NOT ALLOWED EXCEPT FOR SUPRERPLASTICIZED MIXES, AND ONLY IN ACCORDANCE WITH THE MANUFACTURER'S MIX DESIGN SPECIFICATIONS.
- ALL CONCRETE SHALL BE READI-MIXED AT PLANT COMPLYING WITH ASTM C94 AND ASTM C1116. SITE MIXING IS NOT ALLOWED.
- CHAIR BARS FOR SECURE PLACEMENT AND POSITIONING OF REINFORCING STEEL IS TO BE PROVIDED. REINFORCING SUPPORTS SHALL BE OF PROPER HEIGHT, LENGTH, SPACING, SIZE AND MATERIAL TYPE; IN NO CASE SHALL BRICK, WOOD, OR OTHER NON-CONFORMING REINFORCING STEEL SUPPORTS BE USED.

STRUCTURAL STEEL NOTES

- STRUCTURAL STEEL ROLLED SHAPES SHALL BE NEW STEEL CONFORMING TO THE FOLLOWING ASTM DESIGNATIONS:

ASTM A36	ALL ANGLES, CHANNELS, PLATES AND MISC. FRAMING MEMBERS, UNLESS OTHERWISE NOTED, (MINIMUM YIELD STRENGTH FY=36,000 PSI).
ASTM A307 GR."A"	ALL ANCHOR BOLTS, LAG SCREWS UNLESS NOTED OTHERWISE.
ASTM A325	ALL BOLTS CONNECTING STRUCTURAL STEEL MEMBERS.
ASTM A500 GR."B"	ALL HSS TUBE STEEL COLUMNS (MINIMUM YIELD STRENGTH FY=46,000 PSI).
ASTM A53 GR. "B"	ALL STEEL PIPE COLUMNS (MIN. YIELD STRENGTH FY=35,000 PSI).
ASTM A572 OR A992	ALL W-SHAPE BEAMS (MINIMUM YIELD STRENGTH FY=50,000 PSI). HOT DIP GALVANIZED, WHERE EXPOSED.
- ANCHOR BOLTS OR FASTENERS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT DIP GALVANIZED OR STAINLESS STEEL.
- GROUT USED UNDER COLUMN BASE PLATES SHALL BE NON-SHRINK AND NON-METALLIC WITH A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI IN 28 DAYS. UNLESS OTHER APPROVED BY THE ENGINEER MAXIMUM APPLICATION THICKNESS OF THE GROUT SHALL BE 1 1/2 INCHES.
- ALL STRUCTURAL STEEL DETAILS AND CONNECTIONS SHALL CONFORM TO THE STANDARDS OF THE CURRENT AISC SPECIFICATIONS FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
- ALL WELDING SHALL CONFORM TO THE CURRENT STANDARD OF THE AMERICAN WELDING SOCIETY (A.W.S.). ALL SHOP AND FIELD WELDS MUST BE MADE BY APPROVED CERTIFIED WELDERS.
- ELECTRODES FOR ALL FIELD AND SHOP WELDING SHALL CONFORM TO ASTM A233 (CLASS 70). ALL WELDS NOT SHOWN SHALL BE AWS MINIMUM. ALL WELDS SHALL DEVELOP THE FULL STRENGTH OF THE MATERIAL BEING WELDED.
- SPLICING STRUCTURAL MEMBERS WHERE NOT DETAILED ON THE DRAWING IS PROHIBITED.
- DURING THE CONSTRUCTION PHASE IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY, TEMPORARY SHORING AND BRACING TO MAKE THE STRUCTURE STABLE AND PLUMB BEFORE COMPLETION OF CONNECTIONS, STEEL FRAMES, SHEAR WALLS AND FLOORS.
- TEMPORARY BRACING SHALL NOT BE REMOVED UNTIL THE STRUCTURAL FRAME IS PROPERLY SECURED TO THE LATERAL LOAD RESISTING ELEMENTS IN THE BUILDING. THE STABILITY OF THE FRAME DURING ERECTION IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL STEEL SHALL RECEIVE SHOP APPLIED PRIMER PAINT. TOUCH UP ALL WELDS, SCRATCHES OR SCRAPES IN PAINT AFTER ERECTION.
- TORCH CUTTING OR HOLE BURNING IS NOT ALLOWED.
- GENERAL CONTRACTOR SHALL SUBMIT FULL SET OF STEEL SHOP DRAWINGS FOR ALL STRUCTURAL STEEL MEMBERS FOR REVIEW AND WRITTEN APPROVAL BY THE ENGINEER OF RECORD.

WOOD FRAMING NOTES

- ALL FRAMING LUMBER SHALL CONFORM TO THE LATEST EDITION OF THE AFPA "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" (NDS), AND SUPPLEMENT "DESIGN VALUES FOR WOOD CONSTRUCTION", LATEST EDITION. MAXIMUM MOISTURE CONTENT SHALL BE 19%.
- PRESSURE TREATED WOOD MEMBERS USED FOR PLACEMENT AGAINST CONCRETE OR MASONRY (SILLS, PLATES, ETC.) SHALL BE PRESSURE TREATED WITH ACQ PRESERVATIVE, OR APPROVED EQUAL, TO MINIMUM RETENTION OF 0.6 PCF IN ACCORDANCE WITH AWPA C3.
- ALL EXPOSED WOOD MEMBERS USED FOR STRUCTURAL FRAMING, DECKING, STAIRS, RAILS, BRACING, ETC. SHALL BE PRESSURE TREATED WITH ACQ PRESERVATIVE, OR APPROVED EQUAL, TO MINIMUM DETENTION OF 0.6 PCF IN ACCORDANCE WITH AWPA C3.
- ALL CONNECTORS, CONNECTIONS, FASTENERS, ETC. USED TO SECURE ACQ PRESSURE TREATED LUMBER SHALL BE TRIPLE ZINC COATED HOT DIPPED GALVANIZED OR STAINLESS STEEL.
- THE FRAMING LUMBER SHALL BE OF THE FOLLOWING MINIMUM GRADE AND SPECIES FOR THE SPECIFIED USE. ALL LUMBER SHALL BE GRADE STAMPED BY A RECOGNIZED GRADING AGENCY AND SHALL BE KILN DRY. ALL WOOD WALL FRAMING (STUDS, SILLS, PLATES, BRIDGING, BLOCKING ETC. SHALL BE 2x6 SPF#2 OR VERSA-STUD 1.7 2650 AS MANUFACTURED BY BOISE CASCADE. VERSA-COLUMNS SHALL HAVE A MINIMUM ALLOWABLE FIBER BENDING STRESS Fb=2,750 PSI, AND MINIMUM AXIAL COMPRESSIVE STRENGTH Fc=3,000 PSI; AND MINIMUM MODULUS OF ELASTICITY (E)=1,800,000 PSI. SIZE OF STUDS AND COLUMNS PER PLAN SPECIFICATIONS.
- LUMBER WHICH IS SPLIT, CRACKED, NOTCHED OR OTHERWISE ALTERED OR DAMAGED SHALL BE IMMEDIATELY REJECTED AND NOT ALLOWED FOR USE, UNLESS OTHERWISE APPROVED IN WRITING BY THE STRUCTURAL ENGINEER.
- THE FRAMING LUMBER SHALL BE OF THE FOLLOWING MINIMUM GRADE AND SPECIES FOR THE SPECIFIED USE. ALL LUMBER SHALL BE GRADE STAMPED BY A RECOGNIZED GRADING AGENCY AND SHALL BE SURFACE DRY:
 - DIMENSIONAL LUMBER (FOR NON-EXPOSED MEMBERS):
 - FLOOR JOISTS & BEAMS: 1-JOIST AND LVL PER SPECIFIED MANUFACTURER MODEL AND/OR STRENGTH
 - TYPICAL FRAME WALL STUDS: #2 SPRUCE PINE FIR: FC = 1150 PSI, E = 1.4E6 PSI
 - TIMBERS AND POSTS: PER PLAN SPECIFICATION FOR SIZE AND STRENGTH
- EXPOSED WOOD FRAMING SHALL BE SOUTHERN PINE, GRADE NO. 2 OR BETTER AND PRESSURE TREATED.
- ALL LAMINATED VENEER LUMBER (LVL) TO HAVE A MINIMUM ALLOWABLE BENDING STRESS (Fb) OF 2,600 PSI. THE MINIMUM ALLOWABLE COMPRESSION STRESS (Fc) PERPENDICULAR TO THE GRAIN SHALL BE 750 PSI. THE MINIMUM ALLOWABLE MODULUS OF ELASTICITY (E) SHALL BE 1,900,000 PSI. INSTALL LVL'S IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. REFER TO FRAMING PLANS FOR HIGHER STIFFNESS LVL MEMBERS, IF NOTED AS "LVL (2.0E)", PROVIDE LVL WITH ALLOWABLE BENDING STRESS (Fb) OF 2,600 PSI, AND MODULUS OF ELASTICITY (E) OF 2,000,000 PSI.
- DETAILS OF WOOD FRAMING SUCH AS NAILING, BLOCKING, BRIDGING, FIRESTOPPING, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL DESIGN SPECIFICATION (AFPA), THE TIMBER CONSTRUCTION MANUAL (AITC).
- ALL ENGINEERED LUMBER PRODUCTS SHALL BE AS MANUFACTURED BY WEYERHAEUSER, BOISE CASCADE, LOUISIANA PACIFIC CORPORATION OR APPROVED EQUAL.
- WHERE DIMENSIONAL FRAMING LUMBER IS FLUSH FRAMED TO ENGINEERED LUMBER OR STEEL GIRDERS, SET THESE GIRDERS 1/4" CLEAR BELOW THE TOP OF FRAMING LUMBER TO ALLOW FOR SHRINKAGE.
- FOLLOW MANUFACTURERS' SPECIFICATIONS FOR ERECTION, INSTALLATION, AND PLACEMENT OF ENGINEERED LUMBER PRODUCTS. PENETRATIONS THROUGH ENGINEERED LUMBER PRODUCTS IS EXPRESSLY NOT PERMITTED WITHOUT PRIOR WRITTEN APPROVAL BY THE ENGINEER.
- USE DOUBLE TRIMMERS AND HEADERS AT ALL FLOOR OPENINGS WHERE BEAMS ARE NOT DESIGNATED.
- LAP ALL PLATES AND SILLS AT CORNERS AND AT ALL INTERSECTIONS OF PARTITIONS.
- STAGGER LAP ALL PLATES AND SILLS AT CORNERS AND AT ALL INTERSECTIONS OF PARTITIONS.
- UNLESS OTHERWISE NOTED, PROVIDE THE MINIMUM HEADER SIZES OVER ALL OPENINGS AS FOLLOWS:
 - INTERIOR WALLS - (2) 2X10
 - EXTERIOR WALLS - (3) 2X10
- UNLESS OTHERWISE NOTED, AT THE ENDS OF ALL BEAMS, HEADERS, AND GIRDERS PROVIDE A BUILT UP OR SOLID POST WHOSE WIDTH IS AT LEAST EQUAL TO THE WIDTH OF THE MEMBER IT IS SUPPORTING AND WHOSE DEPTH IS 4" AT THE INTERIOR WALLS AND 6" AT THE EXTERIOR WALLS.
- USE 3/4" THICK TONGUE AND GROOVE "EXTERIOR GRADE" PLYWOOD FLOOR SHEATHING, 5/8" THICK "EXTERIOR GRADE" PLYWOOD ROOF SHEATHING, AND 1/2" "EXTERIOR GRADE" PLYWOOD AT ALL WALLS, UNLESS OTHERWISE SHOWN ON PLANS. ALL JOINTS SHALL BE BLOCKED WITH LUMBER OR OTHER APPROVED SUPPORTS. ALL PLYWOOD SHALL BE APA RATED AND CLEARLY STAMPED.
- PROVIDE SOLID BLOCKING BETWEEN ALL FLOOR JOISTS AND DOUBLE ALL JOISTS UNDER EACH PARTITION. EACH END OF EACH JOIST SHALL BE FULL DEPTH BLOCKED AT THE SUPPORT LOCATION. PROVIDE JOIST BRIDGING AT MID-SPAN AND QUARTER POINTS, OR AS SHOWN ON DRAWINGS. BRIDGING PLACEMENT SHALL NOT EXCEED 8 FT. O.C. SPACING.
- USE FULLY NAILED METAL CONNECTORS (USP, SIMPSON, OR EQUAL), JOIST, OR BEAM HANGERS WHEN JOISTS OR BEAMS FRAME INTO OTHER JOISTS OR BEAMS. PROVIDE METAL POST CAPS AND BASES FOR ALL POSTS. REFER TO FRAMING PLAN FOR CONNECTOR TYPES.
- ALL NEW PLYWOOD FLOOR SHEATHING SHALL BE GLUED TO SUPPORTING WOOD FRAMING MEMBERS USING AMERICAN PLYWOOD ASSOCIATION (A.P.A.) GLUED FLOOR SYSTEM. WOOD GLUE TO BE CONTECH, INC., PL400 SUBFLOOR CONSTRUCTION ADHESIVE, OR APPROVED EQUAL.
- CROSS WALLS AND TIE BEAMS ARE TO PROVIDE THE LATERAL RESTRAINT FOR THE BUILDINGS AND SHOULD BE SECURELY ATTACHED AT EACH END AND/OR TO THE EXTERIOR WALLS.
- ALL SILLS AND TOP WALL PLATES SHALL BE DOUBLED 2X6'S WITH EACH CORNER STAGGER-LAPPED. SILLS AGAINST CONCRETE SHALL BE PRESSURE-TREATED.
- BUILT-UP BEAMS (3 PIECES MAXIMUM) USING CONVENTIONAL FRAMING LUMBER SHALL BE FULLY SPIKED TOGETHER WITH 2 ROWS OF 10d ANNULAR RING NAILS AND LVL'S WITH 3 ROWS OF 16d ANNULAR RING NAILS EACH SIDE AT 12" O.C., OR AS OTHERWISE NOTED ON THE DRAWINGS, OR AS RECOMMENDED BY THE MANUFACTURER. NAILS USED FOR BUILT-UP PIECES SHALL BE ANNULAR RING NAILS.
- ALL NAILS, FASTENERS, AND CONNECTORS EXPOSED TO THE WEATHER SHALL BE HOT-DIP GALVANIZED. ALL CONNECTORS AND FASTENERS WHICH ARE USED WITH PRESSURE TREATED WOOD SHALL BE AISI 304 OR 316 STAINLESS STEEL.
- ALL ROOF RAFTERS SHALL BE ATTACHED TO TOP WALL PLATES WITH SIMPSON H-1, H-10, (OR DRAWING DESIGNATED) TIES, FULLY FASTENED WITH MANUFACTURER'S NAILS.
- PLYWOOD FLOOR, ROOF AND WALL SHEATHING SHALL BE ATTACHED TO EACH SUPPORTING FRAME MEMBER. MIN. FASTENERS SHALL BE 8d COMMON SIZE, ANNULAR RING NAILS WITH A MINIMUM 1-3/4" PENETRATION INTO EACH FRAME MEMBER (STUD, JOIST, RAFTER, BEAM ETC.). PANEL PERIMETER FASTENING SHALL BE 4" OR 6" ON CENTER STAGGERED (REFER TO SHEAR WALL TYPE OR ROOF OR FLOOR DIAPHRAGM NAILING NOTES ON PLANS), AND SHEAR WALL PANEL FIELD FASTENING SHALL BE 8" OR 12" ON CENTER (OR AS OTHERWISE SHOWN ON DRAWINGS). JOINTS IN ALL SHEATHING SHALL BE STAGGERED, EACH DIRECTION.
- ALL WOOD PRODUCTS SHALL BE STORED IN A DRY LOCATION. ENGINEERED LUMBER PRODUCTS WHICH ARE NOT KEPT DRY WILL BE IMMEDIATELY REJECTED AND REQUIRED TO BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- IN NO CASE SHALL JOISTS, RAFTERS, BEAMS, POSTS, STUDS OR ANY OTHER FRAMING MEMBER BE CUT, NOTCHED, DRILLED, OR OTHERWISE MODIFIED WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER OR SPECIFIED ON THE DESIGN DRAWINGS.



REVISION	DATE	NUMBER

PROJECT TITLE: STILES RESIDENCE
 PROJECT LOCATION: 24 MAPLE AVENUE, CENTERVILLE, MA
 SHEET TITLE: STRUCTURAL NOTES

SCALE: AS NOTED
 DATE: 07/22/2021
 DESIGNED BY: LJ
 DRAWN BY: SM / LJ
 PROJECT #: ING21045

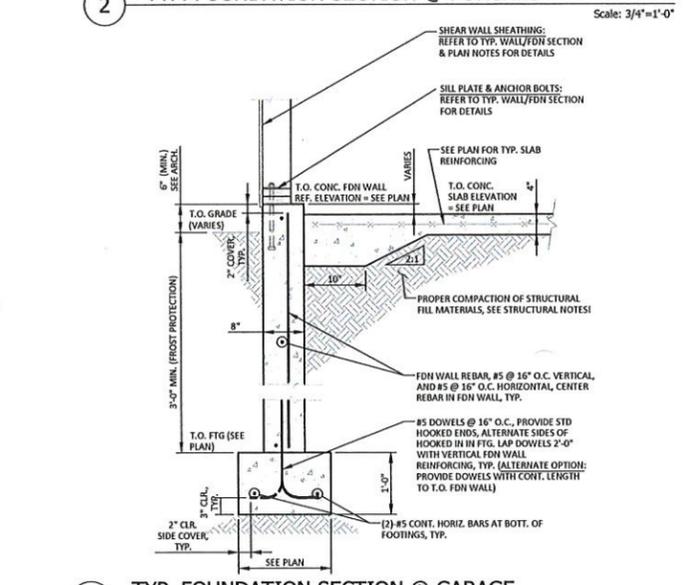
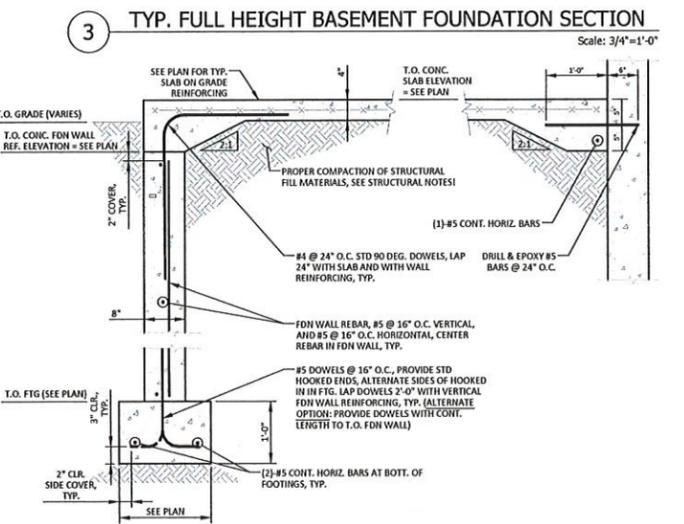
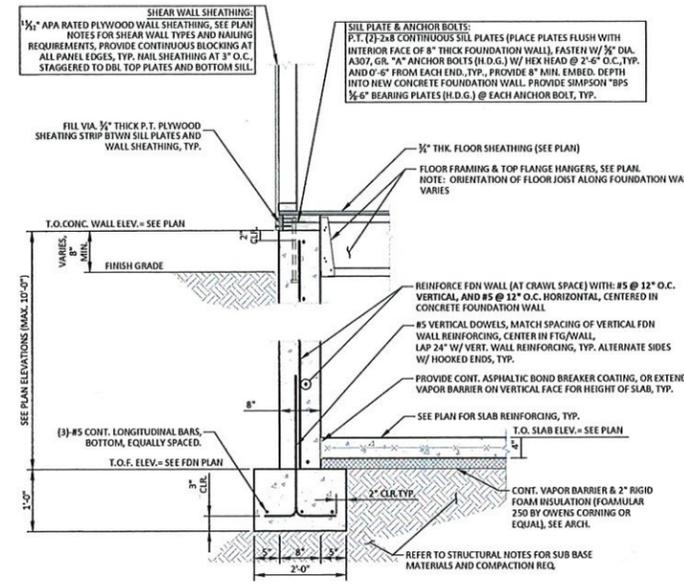
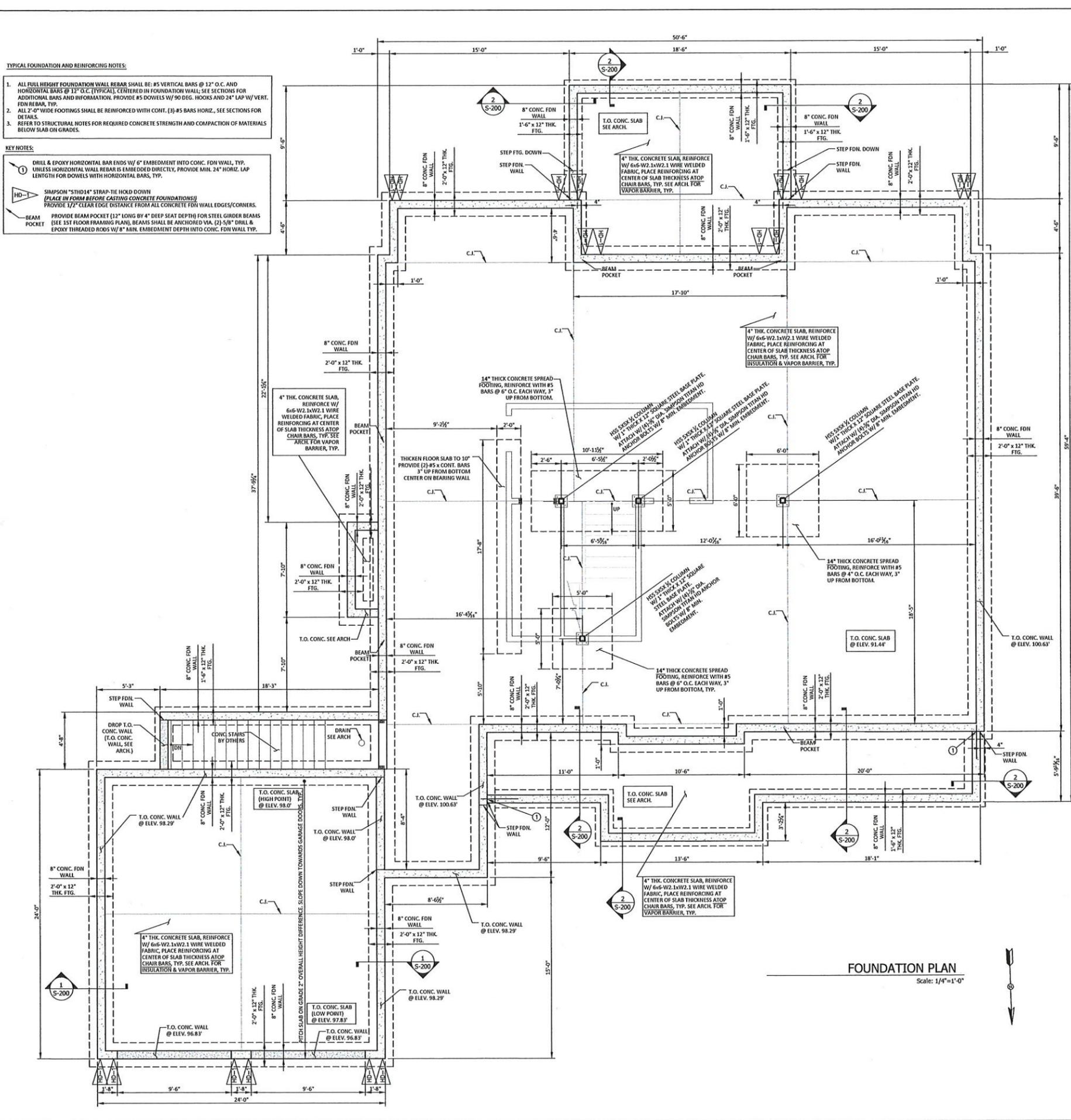
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TYPICAL FOUNDATION AND REINFORCING NOTES:

1. ALL FULL HEIGHT FOUNDATION WALL REBAR SHALL BE #5 VERTICAL BARS @ 12" O.C. AND HORIZONTAL BARS @ 12" O.C. (TYPICAL), CENTERED IN FOUNDATION WALL; SEE SECTIONS FOR ADDITIONAL BARS AND INFORMATION. PROVIDE #5 DOWELS W/ 90 DEG. HOOKS AND 24" LAP W/ VERT. FDN REBAR, TYP.
2. ALL 2'-0" WIDE FOOTINGS SHALL BE REINFORCED WITH CONT. (3) #5 BARS HORIZ., SEE SECTIONS FOR DETAILS.
3. REFER TO STRUCTURAL NOTES FOR REQUIRED CONCRETE STRENGTH AND COMPACTION OF MATERIALS BELOW SLAB ON GRADE.

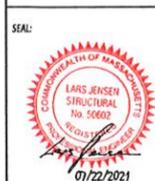
KEY NOTES:

- ① DRILL & EPOXY HORIZONTAL BAR ENDS W/ 6" EMBEDMENT INTO CONC. FDN WALL, TYP. UNLESS HORIZONTAL WALL REBAR IS EMBEDDED DIRECTLY, PROVIDE MIN. 24" HORIZ. LAP LENGTH FOR DOWELS WITH HORIZONTAL BARS, TYP.
- ② SIMPSON "STHD14" STRAP-TIE HOLD DOWN (PLACE IN FORM BEFORE CASTING CONCRETE FOUNDATIONS) PROVIDE 1/2" CLEAR EDGE DISTANCE FROM ALL CONCRETE FDN WALL EDGES/CORNERS.
- ③ PROVIDE BEAM POCKET (12" LONG BY 4" DEEP SEAT DEPTH) FOR STEEL GIRDER BEAMS (SEE 1ST FLOOR FRAMING PLAN), BEAMS SHALL BE ANCHORED VIA (2) 5/8" DRILL & EPOXY THREADED RODS W/ 8" MIN. EMBEDMENT DEPTH INTO CONC. FDN WALL, TYP.



REVISION	DATE	NUMBER

PROJECT TITLE: STILES RESIDENCE
PROJECT LOCATION: 24 MAPLE AVENUE, CENTERVILLE, MA
SHEET TITLE: FOUNDATION PLANS & SECTIONS
SCALE: AS NOTED
DATE: 07/22/2021
DESIGNED BY: JJJ
DRAWN BY: SM / LJ
PROJECT #: ING21045



REVISION	DATE	NUMBER

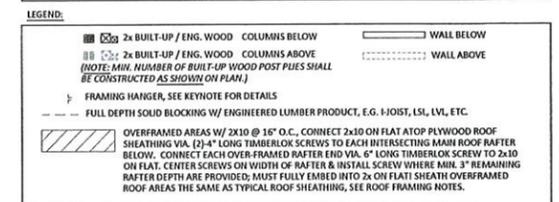
STILES RESIDENCE
2ND FLOOR FRAMING PLAN

PROJECT TITLE:
PROJECT LOCATION: 24 MAPLE AVENUE, CENTERVILLE, MA
SHEET TITLE:
SCALE: AS NOTED
DATE: 07/22/2021
DESIGNED BY: LJ
DRAWN BY: SM / LJ
PROJECT #: ING21045

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PAGE 4 OF 6

- 2ND FLOOR/LOWER ROOF & EXTERIOR DECK FRAMING NOTES:**
- NEW SUBFLOOR SHEATHING SHALL BE 3/4" THK. APA RATED, T&G, PLYWOOD SHEATHING, NAIL W/ 8d ANNUULAR RING NAILS @ 6" O.C. AT ALL PANEL EDGES AND IN FIELD, TYP. PROVIDE 8d ANNUULAR RING NAILS @ 6" O.C. ALONG FLOOR DIAPHRAGM EDGE. PROVIDE CONSTRUCTION ADHESIVE AT ALL SHEATHING TO FRAMING CONTACT SURFACES TO MINIMIZE SQUEAKING.
 - ALL LOW ROOF SHEATHING (UNBLOCKED DIAPHRAGM W/ PANEL LONG AXIS PERPENDICULAR TO RAFTERS, STAGGER JOINTS) SHALL BE NEW 3/4" THK. APA RATED SHEATHING, NAIL W/ 8d ANNUULAR RING NAILS (DIA. ~0.131" X 2.5" LONG) @ 4" O.C. AT BOTH PANEL EDGES AND IN FIELD.
 - CONNECT ALL FRAMING RAFTER ENDS AT TOP PLATE AND HEADER SUPPORTS (AT ALL EXTERIOR WALLS) W/ SIMPSON H2.5A HURRICANE TIES, TYP.
 - ALL EXTERIOR WALLS AND INTERIOR LOAD BEARING WALLS SHALL BE FRAMED VIA 2x STUDS @ 16" O.C., TYP.
 - PROVIDE FULL DEPTH SOLID BLOCKING BTWN FLOOR JOISTS AT ALL BEARING SUPPORTS, WALLS & BEAMS, AND WHERE SHOWN ON PLAN, TYP.
 - PROVIDE CODE COMPLIANT GUARD RAILINGS & STAIR FRAMING SYSTEMS, TYP. FOLLOW AWC-D06 GUIDELINES, TYP.
 - PROVIDE JOIST HANGERS TO MEET MEMBER REACTION REQUIREMENTS AND SIZE OF CONNECTING MEMBERS, TYP..

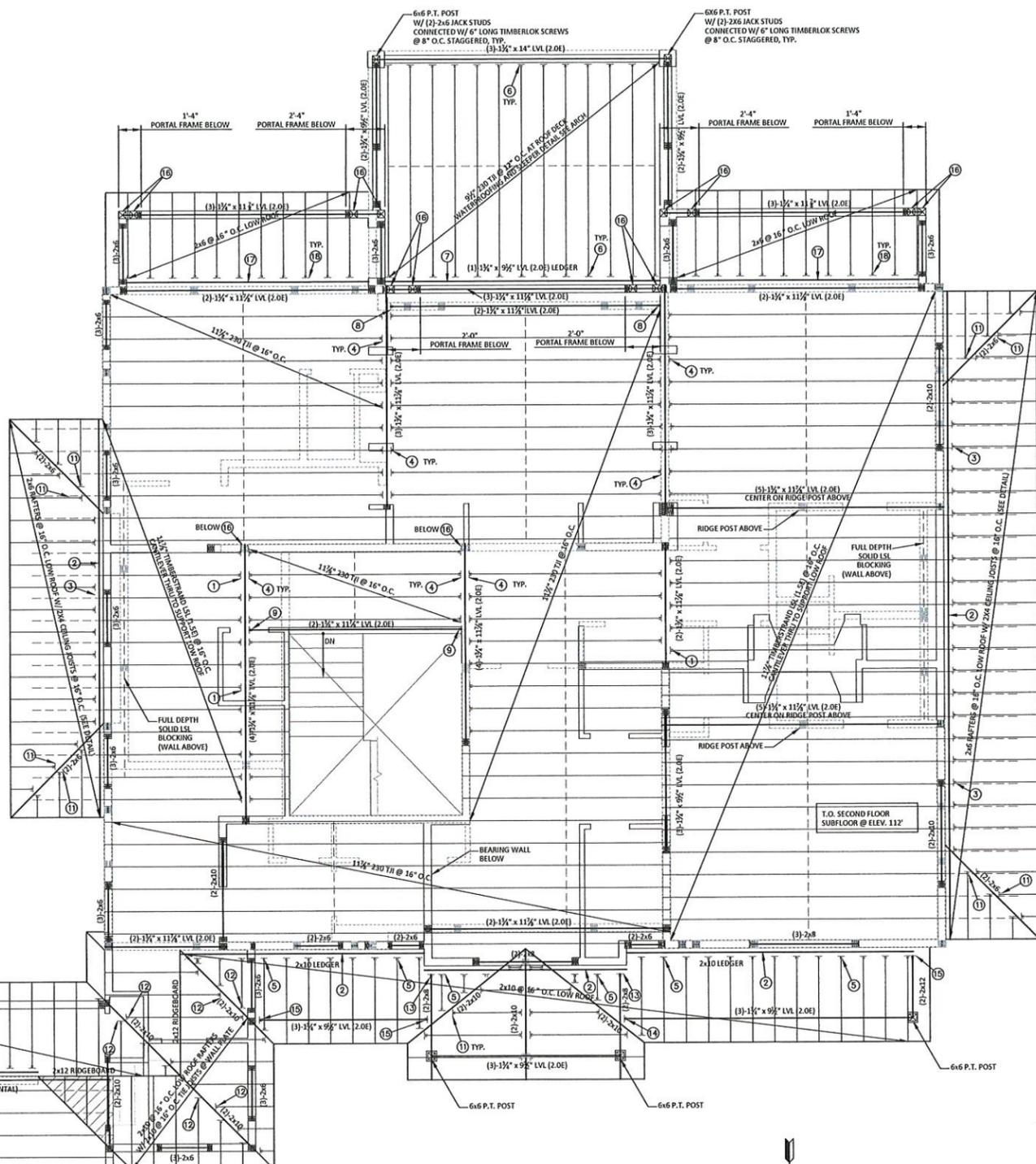


- KEY NOTES:**
- SIMPSON "LUS210" FACE MOUNT HANGER, NAIL W/ (8)-10d AT FACE, AND (4)-10d AT JOIST, TYP. USE ALL COMMON WIRE NAILS (0.148" DIA. X 1 1/2" LONG).
 - CONNECT 2x10 LEDGER ON EXTERIOR OF SHEATHING W/ (2)-5" LEDGER LOCK SCREWS @ 16" O.C. TO CENTER OF WALL STUDS W/ MIN. 2" EDGE DISTANCE ON LEDGER TOP & BOTTOM, TYP.
 - SIMPSON "LHUB2" ADJUSTABLE FACE MOUNT HANGER, NAIL W/ (4)-10d AT FACE, AND (5)-10d AT RAFTER, ALL COMMON WIRE NAILS W/ 0.148" DIA. X 3" LONG, TYP.
 - SIMPSON "LUS2.37/8.5" FACE MOUNT HANGER, NAIL W/ (8)-10d AT FACE, TYP. USE ALL COMMON WIRE NAILS (0.148" DIA. X 3" LONG).
 - SIMPSON "LHUB282" ADJUSTABLE FACE MOUNT HANGER, NAIL W/ (6)-10d AT FACE, AND (5)-10d AT RAFTER, ALL COMMON WIRE NAILS W/ 0.148" DIA. X 3" LONG, TYP.
 - SIMPSON "LHUB2.37/9" FACE MOUNT HANGER, NAIL W/ (16)-10d AT FACE, AND (2)-10d AT RAFTER, ALL COMMON WIRE NAILS W/ 0.148" DIA. X 3" LONG, TYP.
 - CONNECT LEDGER W/ (2)-5" LONG LEDGER LOCK SCREWS @ 8" O.C. W/ 2" EDGE DISTANCE ON LEDGER TOP & BOTTOM, TYP. SET LEDGER BELOW INTERIOR SUB FLOOR LEVEL TO PROVIDE ADEQUATE STEP AND FLASHING SPACE.
 - SIMPSON "LUS414" FACE MOUNT HANGER, NAIL W/ (10)-16d AT FACE, AND (6)-16d AT BEAM, ALL COMMON WIRE NAILS W/ 0.148" DIA. X 1.5" LONG, TYP.
 - SIMPSON "LHUB548" FACE MOUNT HANGER, NAIL W/ (22)-10d AT FACE, AND (8)-10d AT BEAM, ALL COMMON WIRE NAILS W/ 0.148" DIA. X 1.5" LONG, TYP.
 - SIMPSON "LHUB3.7/9.5" FACE MOUNT HANGER, NAIL W/ (8)-10d AT FACE, AND (2)-10d AT BEAM, ALL COMMON WIRE NAILS W/ 0.148" DIA. X 1.5" LONG, TYP.
 - SIMPSON "LUS-90" CLIP HANGER, FILL ALL HOLES W/ 8d COMMON WIRE NAILS W/ 0.148" DIA. X 3" LONG, TYP.
 - SIMPSON "LUS-70" CLIP HANGER, FILL ALL HOLES W/ 8d COMMON WIRE NAILS W/ 0.148" DIA. X 3" LONG, TYP.
 - SIMPSON "LHUB28-2" FACE MOUNT HANGER, NAIL W/ (6)-10d AT FACE AND (6)-10d AT VALLEY/HIP, ALL COMMON WIRE NAILS W/ 0.148" DIA. X 1.5" LONG, TYP.
 - SIMPSON "LUS210-3" FACE MOUNT HANGER, NAIL W/ (8)-16d AT FACE AND (6)-16d AT BEAM, ALL COMMON WIRE NAILS W/ 0.148" DIA. X 3" LONG, TYP.
 - SIMPSON "HUB8" FACE MOUNT HANGER, NAIL W/ (10)-10d AT FACE AND (4)-10d AT BEAM, ALL COMMON WIRE NAILS W/ 0.148" DIA. X 3" LONG, TYP.
 - 3/4" X 5/8" VERSA-LAM 1.8 (2750) POSTS AT ALL PORTAL FRAMES & AS NOTED ELSEWHERE, TYP.
 - CONNECT 2x6 LEDGER ON EXTERIOR OF SHEATHING W/ (2)-5" LEDGER LOCK SCREWS @ 16" O.C. TO CENTER OF WALL STUDS W/ MIN. 2" EDGE DISTANCE ON LEDGER TOP & BOTTOM, TYP.
 - SIMPSON "LHUB262" ADJUSTABLE FACE MOUNT HANGER, NAIL W/ (4)-10d AT FACE, AND (5)-10d AT RAFTER, ALL COMMON WIRE NAILS W/ 0.148" DIA. X 3" LONG, TYP.

GENERAL SHEAR WALL NOTES:

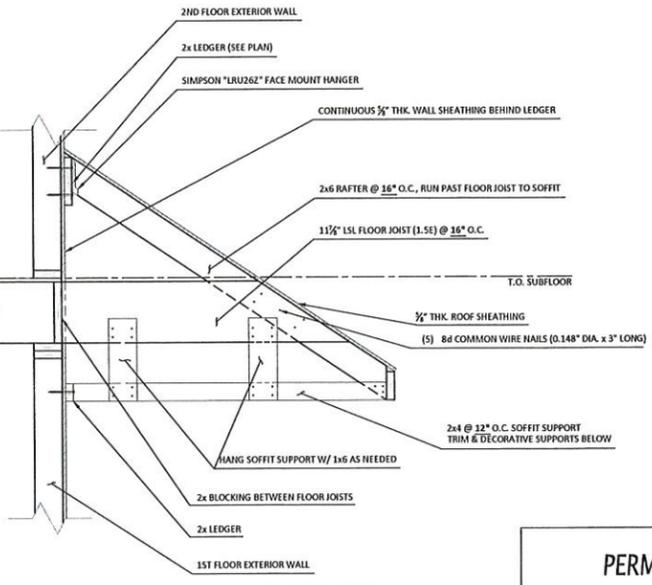
ALL EXTERIOR FRAME WALLS AND INTERIOR WALLS WHERE INDICATED SHALL BE CONSTRUCTED AS SHEAR WALLS MEETING THE FOLLOWING REQUIREMENTS (2x STUDS @ 16" O.C., TYP.):

SHEAR WALL TYPE "A": SHEATH WALL WITH 3/4" THK. APA RATED PLYWOOD SHEATHING, NAIL W/ 8d ANNUULAR COMMON RING NAILS (NAIL DIA. ~0.131" @ 4" O.C. AT ALL PANEL EDGES, AND 6" O.C. IN FIELD, PROVIDE BLOCKING AT ALL PANEL EDGES, OR USE FULL HEIGHT SHEATHING PANELS.



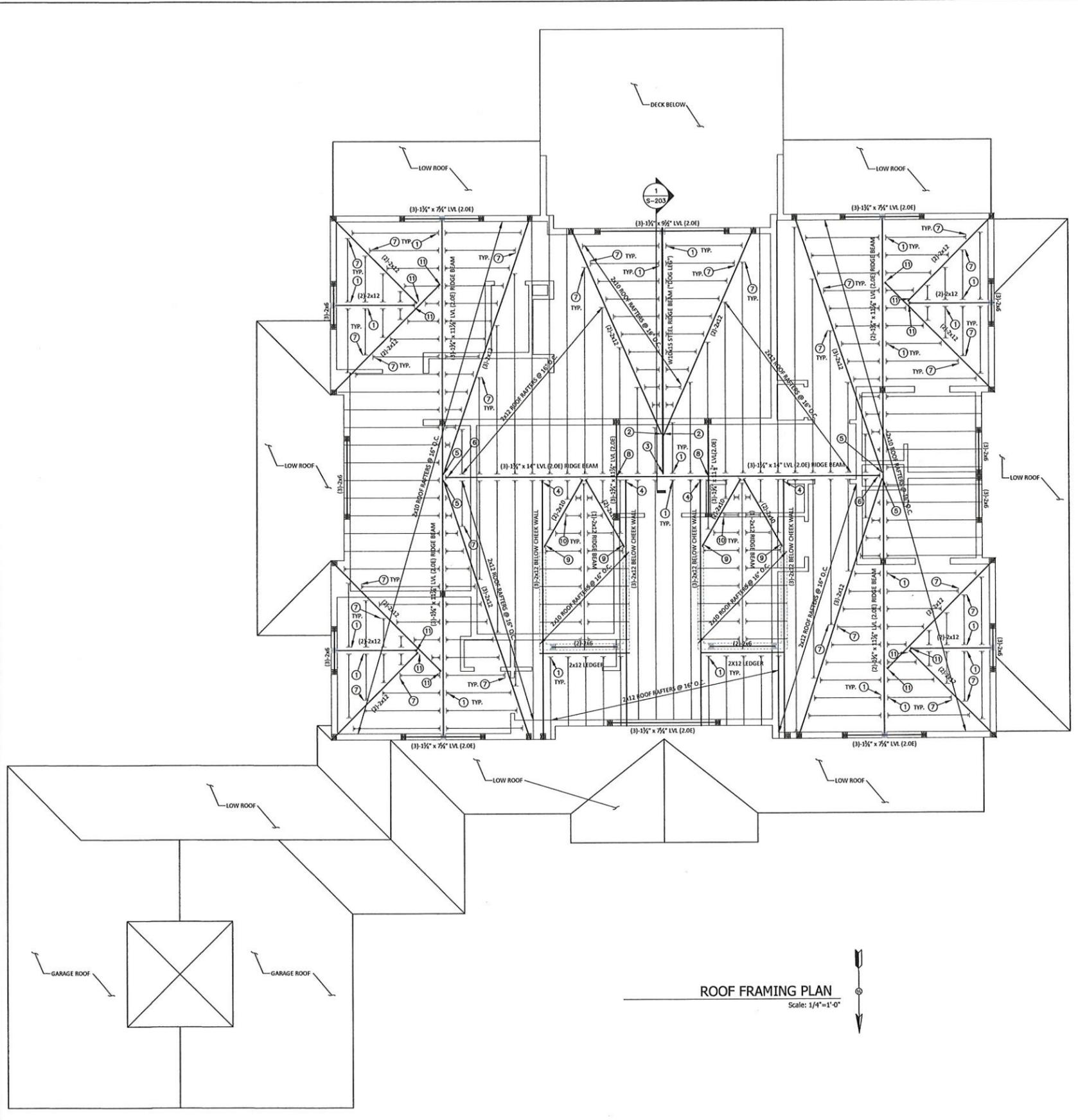
2ND FLOOR FRAMING PLAN
Scale: 1/4"=1'-0"

- CUPOLA NOTES:**
- SEE ARCH DRAWINGS FOR CUPOLA DETAILS AND LAYOUT.
 - 2x6 STUD WALLS AND 2x8 ROOF RAFTERS (HIP ROOF), EACH AT 16" O.C.
 - FRAME CUPOLA WALLS DIRECTLY ABOVE BLOCKING & DBL RAFTERS, AS SHOWN, CONNECT CORNER LAP SPICES OF DBL TOP PLATES VIA (4) HEADLOK SCREWS (BY FASTENMASTER) TO CREATE SQUARE TENSION RING.
 - ALL RAFTERS SHALL BE CONNECTED VIA SIMPSON H2.5A HURRICANE TIES TO DBL TOP PLATES.
 - SHEATH ROOF & WALLS W/ 5/8" THK. PLYWOOD SHEATHING. NAIL ALL SHEATHING VIA 8d ANNUULAR RING NAILS @ 4" O.C. AT PANEL EDGES AND 6" O.C. IN FIELD.
 - PROVIDE 6x6 CORNER POSTS, (4) TYP. CONNECT EACH CORNER POST VIA (2)-SIMPSON "H10" UPLIFT TIES TO INTERIOR FACE OF FRAMING BELOW (FILL ALL HOLES W/ 8d NAILS, TYP.).



1 LOW ROOF FRAMING SECTION
Scale: 1"=1'-0"

PERMIT SET



- ROOF FRAMING NOTES:**
1. ALL NEW ROOF SHEATHING (UNBLOCKED DIAPHRAGM W/ PANEL LONG AXIS PERPENDICULAR TO RAFTERS, STAGGER JOINTS) SHALL BE 3/4" THK. APA RATED SHEATHING, NAILED W/ 8d ANNUAL RING NAILS (DIA. = 0.131" x 2.5" LONG) @ 4" O.C. AT BOTH PANEL EDGES AND IN FIELD.
 2. ROOF DIAPHRAGM EDGE NAILING SHALL BE 8d ANNUAL RING NAILS (NAIL DIA. = 0.131" DIA. x 2.5" LONG) @ 3" O.C., TYP. (INTO CENTER OF RAKE JOISTS).
 3. CONNECT ALL FRAMING RAFTER ENDS AT TOP PLATE AND HEADER SUPPORTS (AT ALL EXTERIOR WALLS) W/ SIMPSON "H2.5A" HURRICANE TIES, TYP.
 4. REFER TO SHEET S-300 FOR TYPICAL DETAILS & FRAMING SECTIONS.
 5. PROVIDE 2x6 COLLAR TIES, DIRECTLY BELOW RIDGE BOARDS, FACE NAIL W/ (4)-10d COMMON WIRE NAILS EACH END.

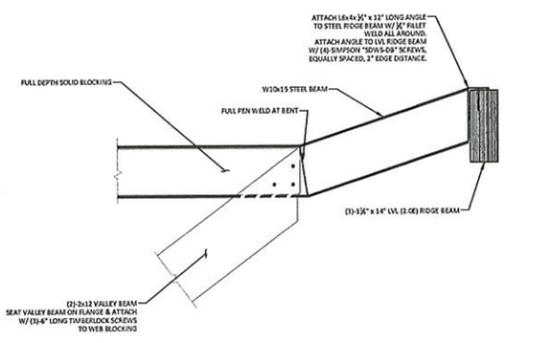
- LEGEND:**
- STL / 2x BUILT-UP / ENG. WOOD COLUMNS BELOW
 - WALL BELOW
 - STL / 2x BUILT-UP / ENG. WOOD COLUMNS ABOVE
 - WALL ABOVE
- (NOTE: MIN. NUMBER OF BUILT-UP WOOD POST PILES SHALL BE CONSTRUCTED AS SHOWN ON PLAN.)
- - - FULL DEPTH SOLID BLOCKING, USE 2x TOE NAIL EACH END OF BLOCK, TYP.
 - FRAMING HANGER, SEE KEYNOTE FOR DETAILS

- KEY NOTES:**
- 1 SIMPSON "LRU2B2" ADJUSTABLE FACE MOUNT HANGER, NAIL W/ (6)-10d AT FACE, AND (5)-10d AT RAFTER, ALL COMMON WIRE NAILS W/ 0.148" DIA. X 3" LONG, TYP.
 - 2 SEAT VALLEYS ON BOTTOM FLANGE OF STEEL BEAM, ATTACH EACH END VIA (3)-6" LONG TIMBERLOCK SCREWS TO SOLID, FULL DEPTH 2x WEB PACKING.
 - 3 ATTACH 16x4x3/4" x 12" (LLV) LONG ANGLE TO STEEL RIDGE BEAM W/ 3/4" FILLET WELD ON ALL SIDES. SCREW TO MAIN RIDGE BEAM WITH (2)-6" LONG SIMPSON "SDWS-DB".
 - 4 SIMPSON "U210-3X SLD18" ADJUSTABLE FACE MOUNT HANGER, NAIL W/ (14)-10d AT FACE, AND (6)-10d AT RAFTER, ALL COMMON WIRE NAILS W/ 0.148" DIA. X 3" LONG.
 - 5 ATTACH W/ (2)-3/8" DIA. ASTM A307 GR. "A" THRU BOLTS. MITER CUT VALLEY BEAM END AND USE SQUASH BLOCKING AS HIDEED.
 - 6 SIMPSON "H1HUS-50/10" FACE MOUNT HANGER, NAIL W/ (30)-10d AT FACE, AND (10)-10d AT BEAM, ALL COMMON WIRE NAILS W/ 0.148" DIA. X 3" LONG.
 - 7 SIMPSON "LS-70" ADJUSTABLE ANGLE, FILL ALL HOLES W/ 10d COMMON WIRE NAILS W/ 0.148" DIA. X 3" LONG.
 - 8 CONNECT RIDGE BEAM AT HEADER VIA SIMPSON "H2.5A" HURRICANE CLIP.
 - 9 SIMPSON "LS-90" ADJUSTABLE ANGLE, FILL ALL HOLES W/ 10d COMMON WIRE NAILS W/ 0.148" DIA. X 3" LONG.
 - 10 SIMPSON "A35" ADJUSTABLE ANGLE, FILL ALL HOLES W/ 8d COMMON WIRE NAILS W/ 0.148" DIA. X 3" LONG.
 - 11 SIMPSON "LSSR210-22" ADJUSTABLE FACE MOUNT HANGER, NAIL W/ (22)-16d AT FACE, AND (18)-16d AT RAFTER, ALL COMMON WIRE NAILS W/ 0.148" DIA. X 3" LONG.

GENERAL SHEAR WALL NOTES

ALL EXTERIOR FRAME WALLS (INCLUDING OVERFRAMED DORMER AND COUPOLA SYSTEMS) SHALL BE CONSTRUCTED AS SHEAR WALLS MEETING THE FOLLOWING REQUIREMENTS (2x STUDS @ 16" O.C., TYP.):

SHEAR WALL TYPE "A": SHEATH WALL WITH 3/4" THK. APA RATED PLYWOOD SHEATHING, NAIL W/ 8d ANNUAL COMMON RING NAILS (NAIL DIA. = 0.131") @ 4" O.C. AT ALL PANEL EDGES, AND 8" O.C. IN FIELD. PROVIDE BLOCKING AT ALL PANEL EDGES, OR USE FULL HEIGHT SHEATHING PANELS.



1 DOGLEG RIDGE BEAM SECTION
Scale: 1"=1'-0"

REVISION	DATE	NUMBER

PROJECT TITLE: STILES RESIDENCE

PROJECT LOCATION: 24 MAPLE AVENUE, CENTERVILLE, MA

SHEET TITLE: ROOF FRAMING PLAN

SCALE: AS NOTED

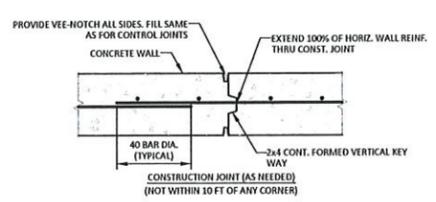
DATE: 07/22/2021

DESIGNED BY: LJ

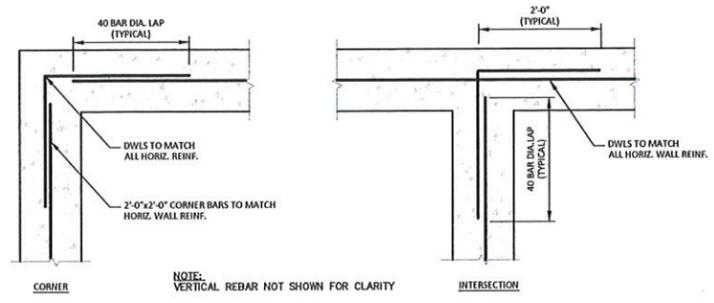
DRAWN BY: SM / LJ

PROJECT #: ING21045

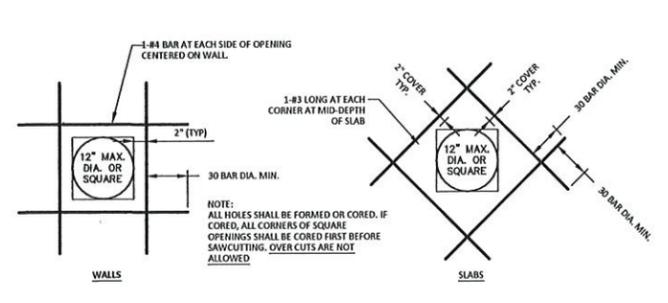
PERMIT SET



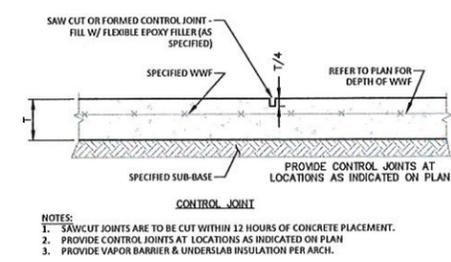
TYP. CONCRETE WALL JOINT DETAILS
SCALE: N.T.S (SCHEMATIC ONLY)



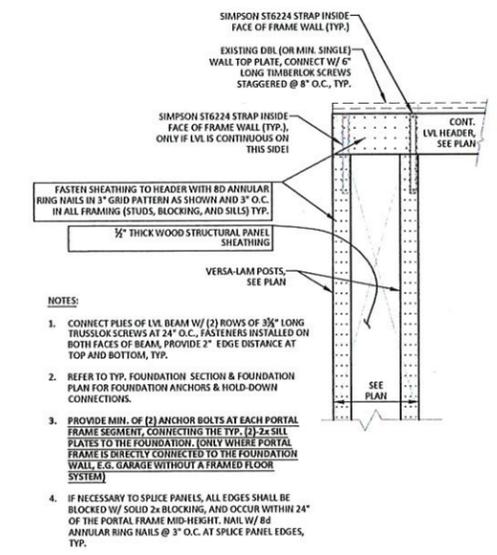
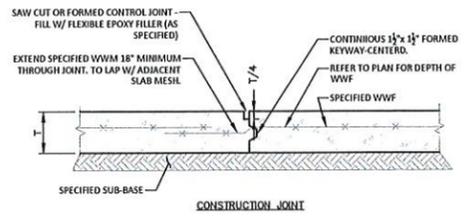
TYP. CONCRETE WALL REINFORCING DETAILS
SCALE: N.T.S (SCHEMATIC ONLY)



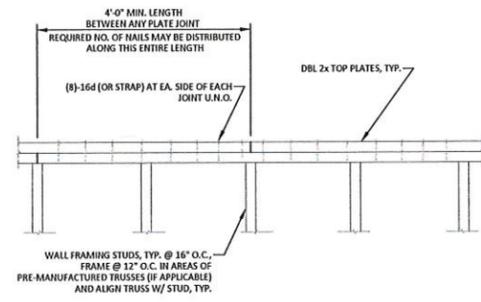
TYP. REINFORCING AT PENETRATIONS
SCALE: 3/4"=1'-0"



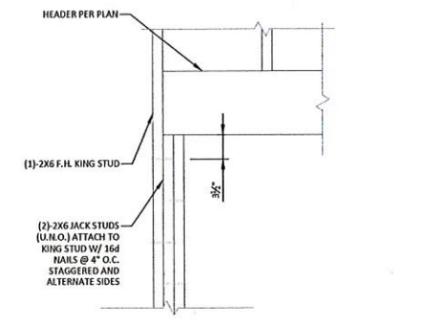
TYP. CONCRETE SLAB ON GRADE DETAILS
SCALE: N.T.S (SCHEMATIC ONLY)



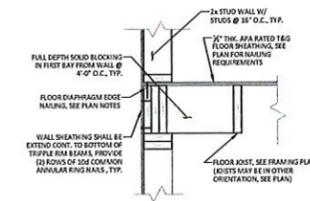
TYP. PORTAL FRAME DETAIL
Scale: 1"=1'-0"



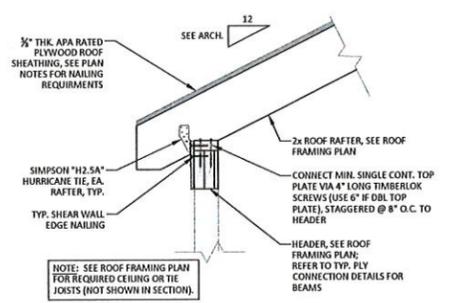
TYP. LAP SPLICE OF TOP PLATES
SCALE: 1/4"=1'-0"



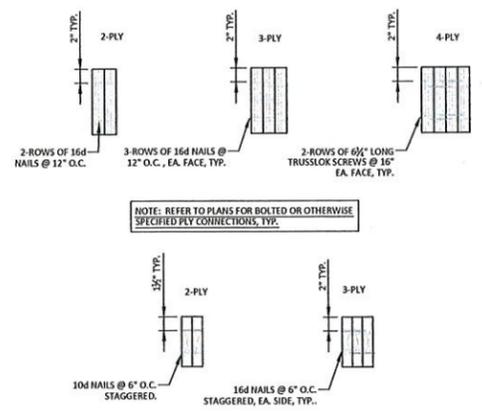
TYP. HEADER SUPPORT @ BUILT-UP COLUMNS
SCALE: 1/4"=1'-0"



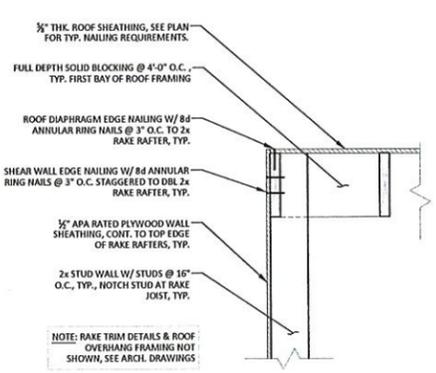
TYP. FRAMING SECTION FLOOR LEVEL
Scale: 1"=1'-0"



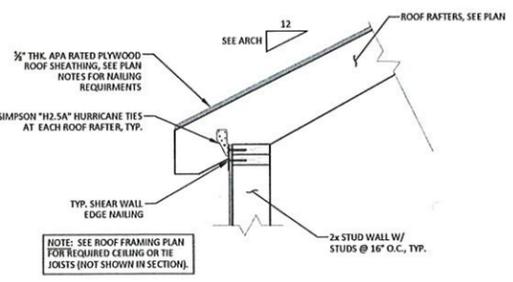
TYP. EAVE SECTION @ HEADER
Scale: 1"=1'-0"



TYP. MULTI PLY CONNECTIONS
SCALE: 1/4"=1'-0"



TYP. FRAMING SECTION @ RAKE
Scale: 1"=1'-0"

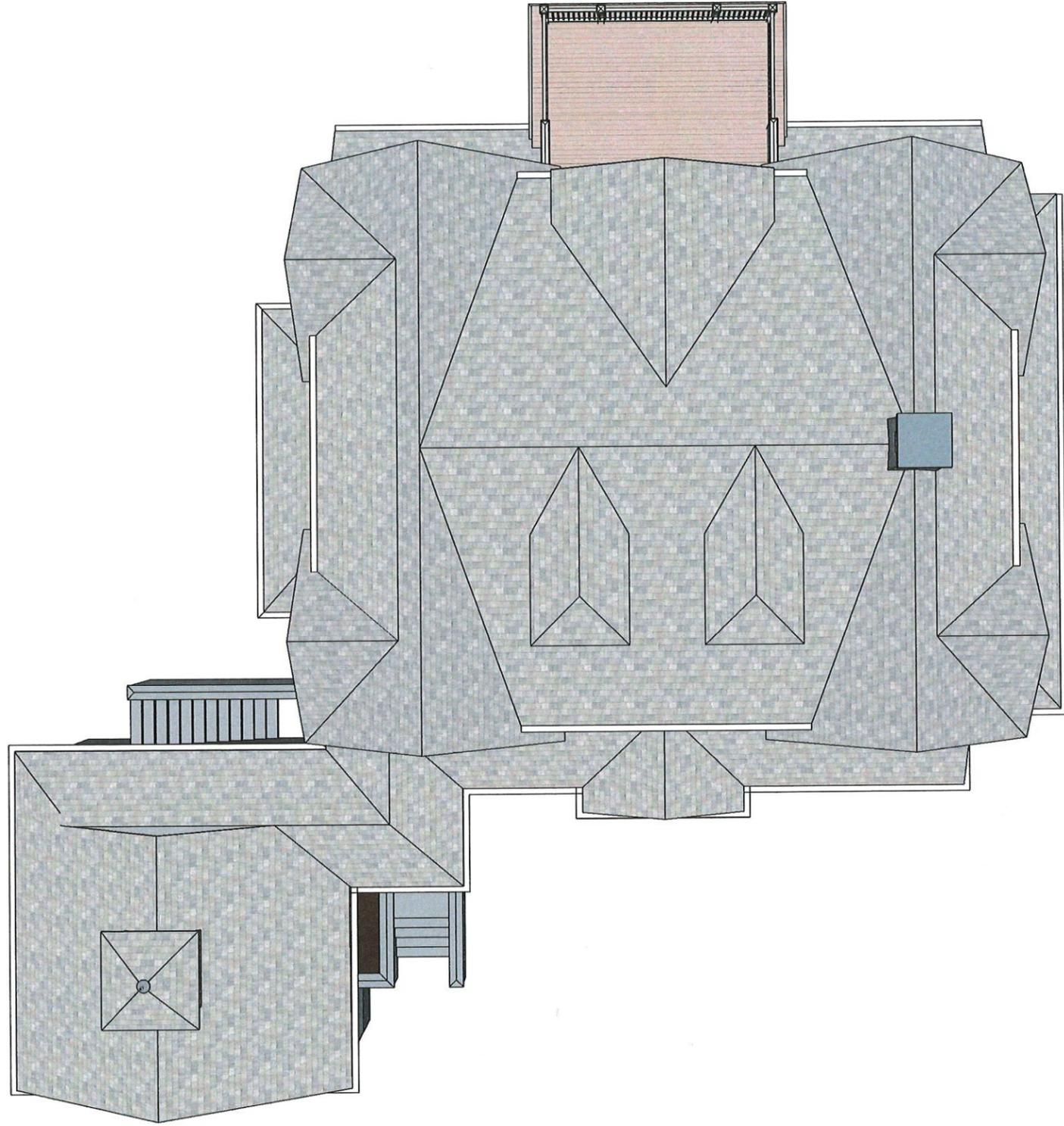


TYP. EAVE SECTION @ WALL
Scale: 1"=1'-0"

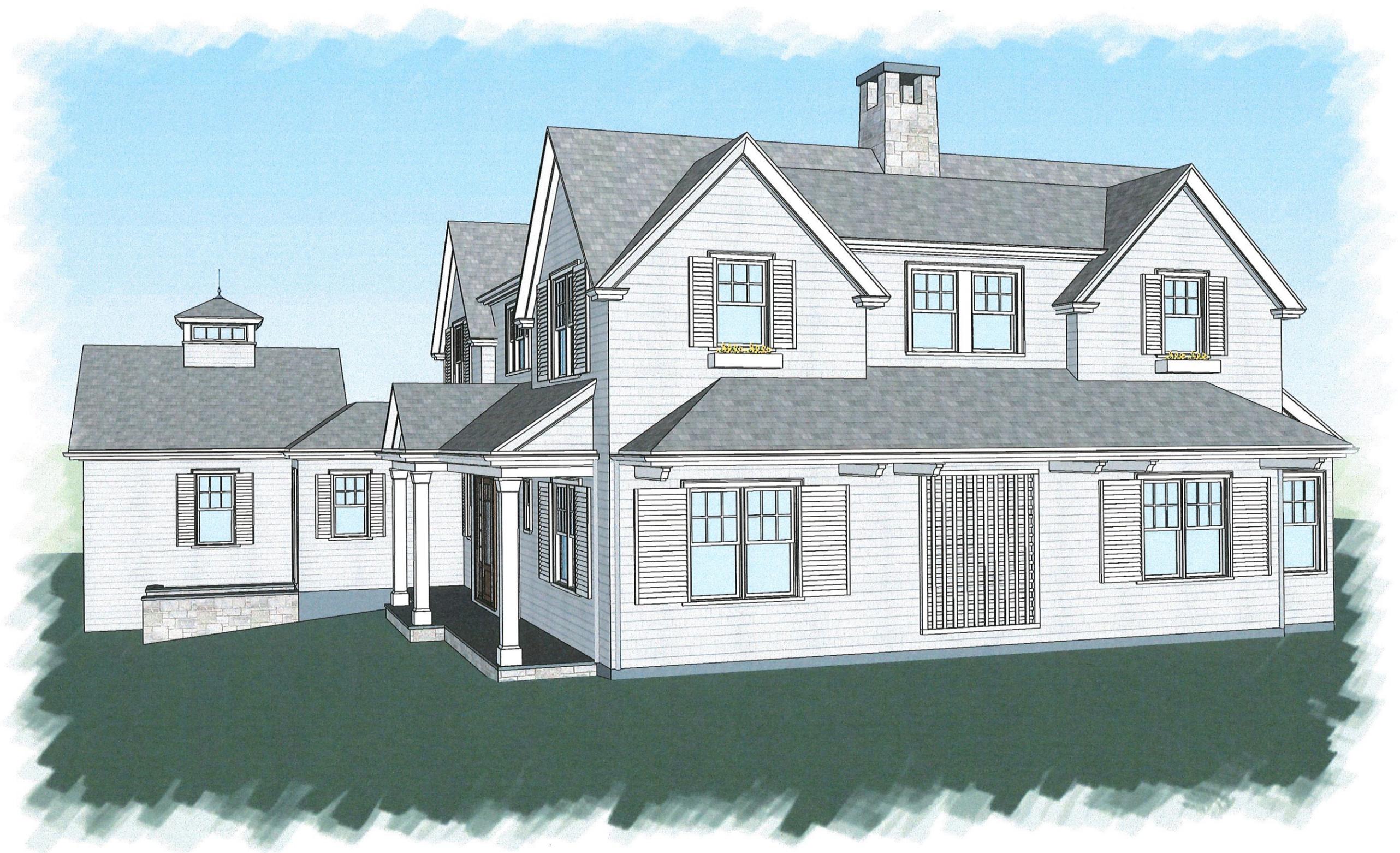
REVISION	DATE	NUMBER

PROJECT TITLE: STILES RESIDENCE
PROJECT LOCATION: 24 MAPLE AVENUE, CENTERVILLE, MA
SHEET TITLE: SECTIONS & TYPICAL DETAILS
SCALE: AS NOTED
DATE: 07/22/2021
DESIGNED BY: LJ
DRAWN BY: SM / LJ
PROJECT #: ING21045

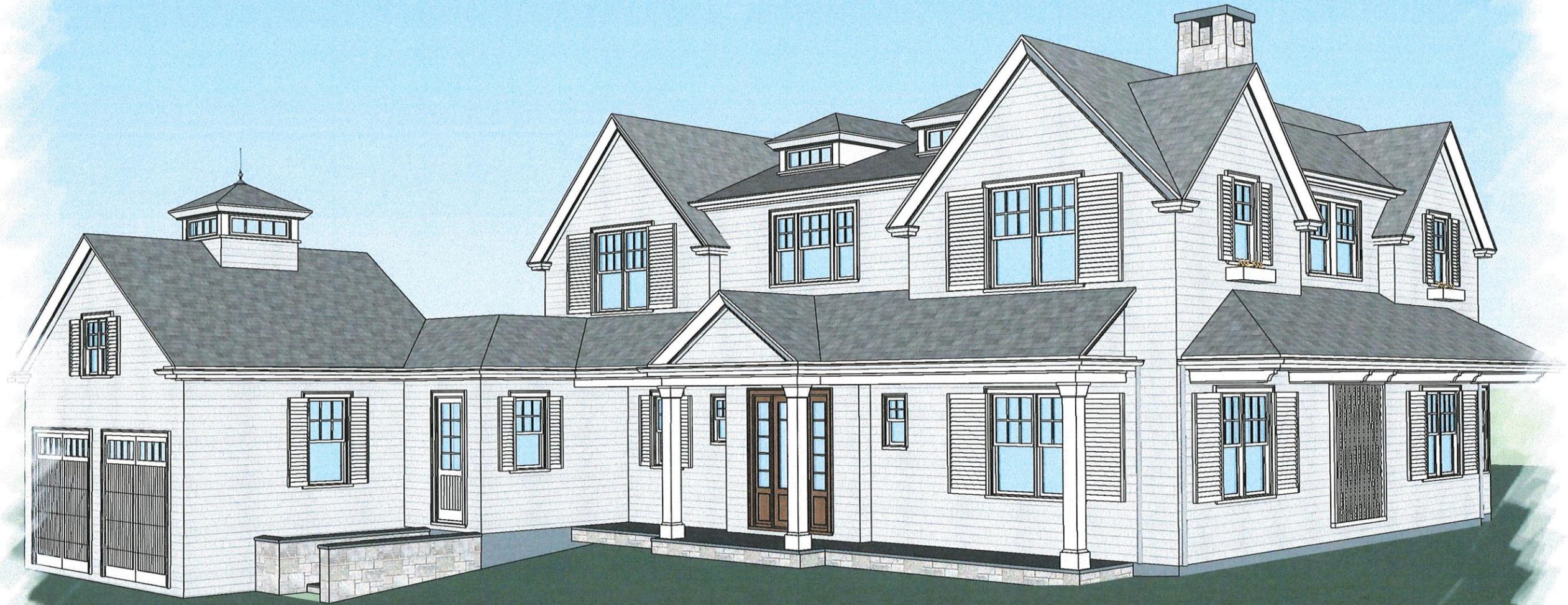
PERMIT SET



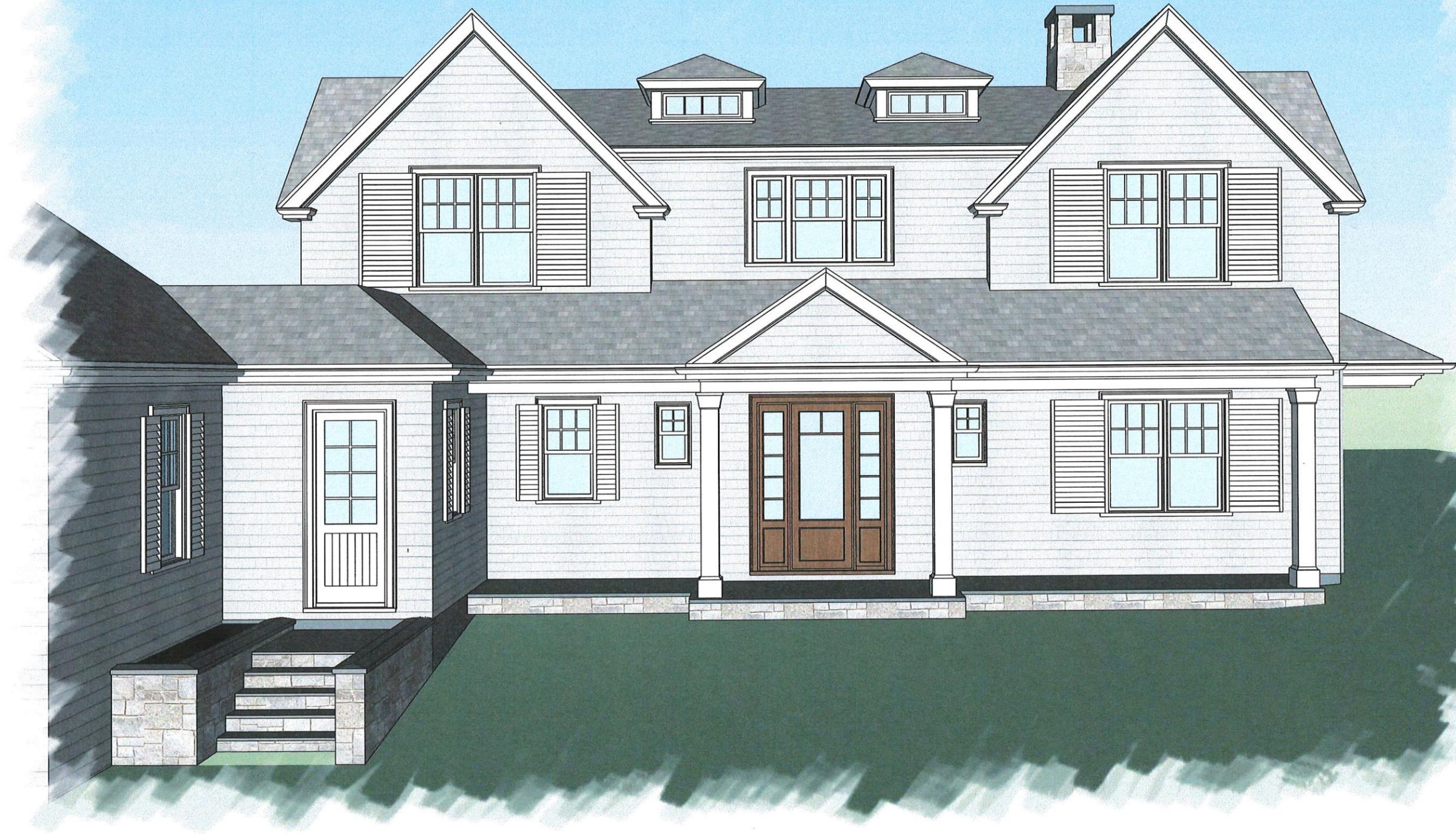
PROPOSED ROOF PLAN



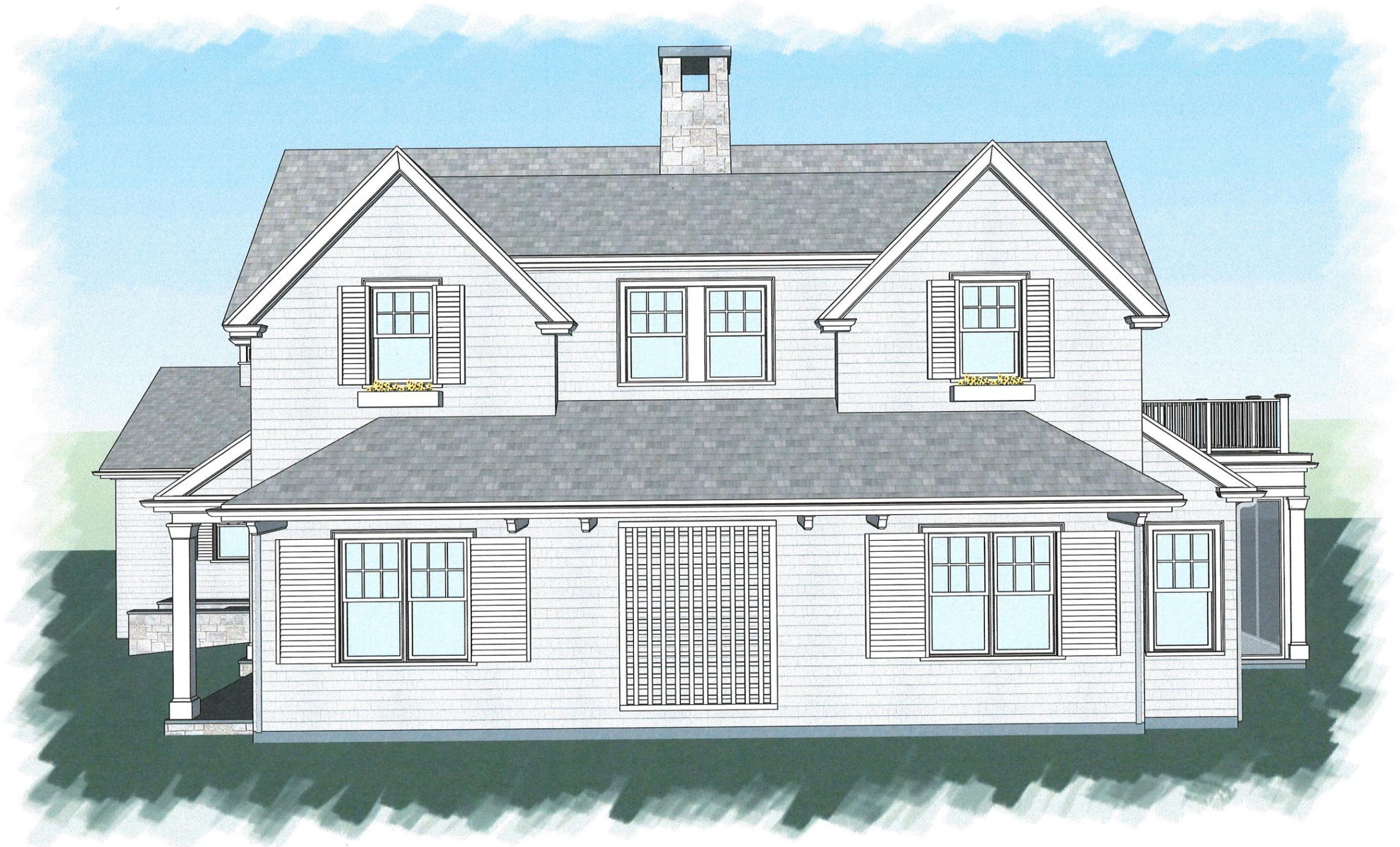
PROPOSED PERSPECTIVE VIEW



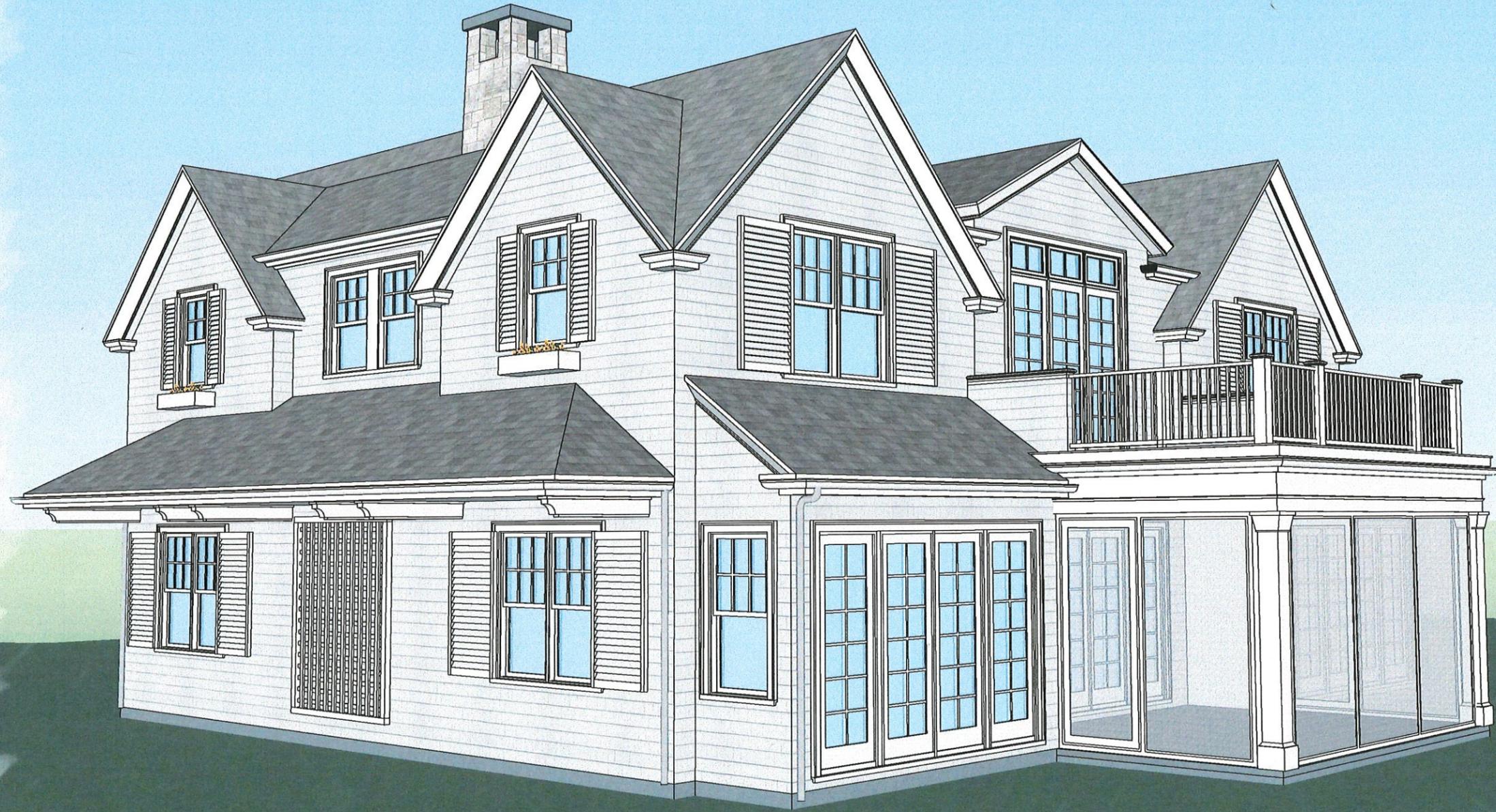
PROPOSED PERSPECTIVE VIEW



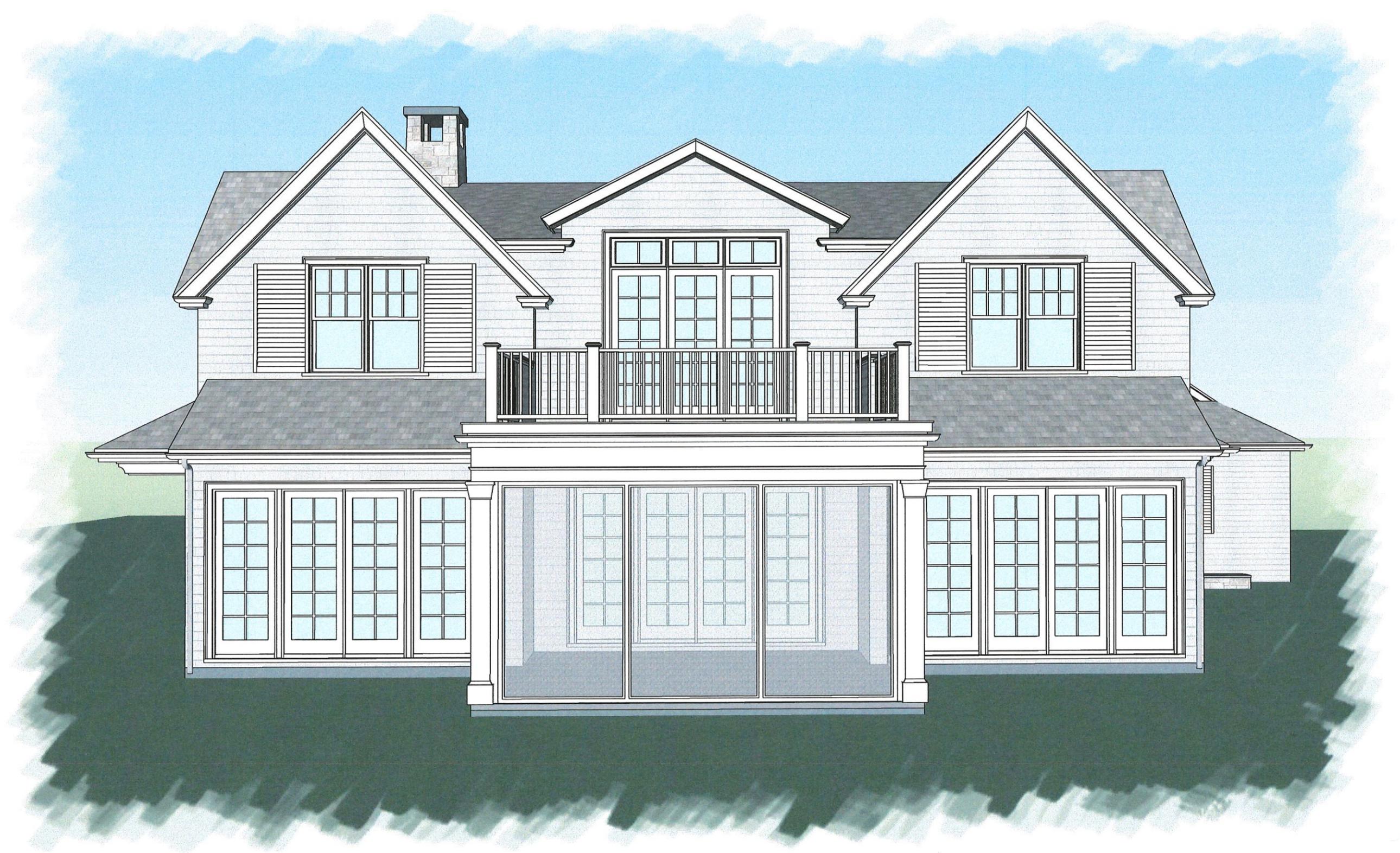
PROPOSED FRONT ELEVATION



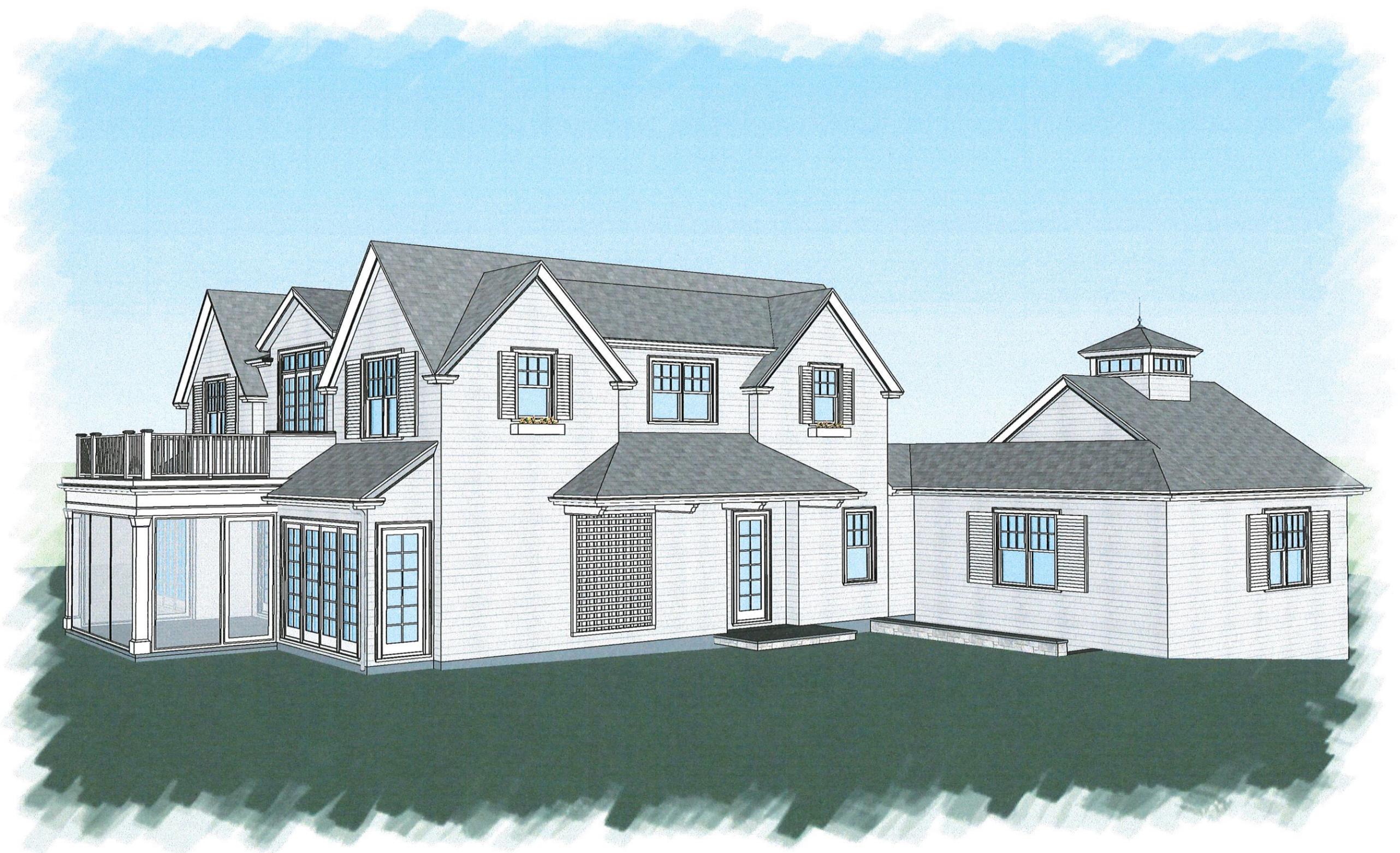
PROPOSED SIDE ELEVATION



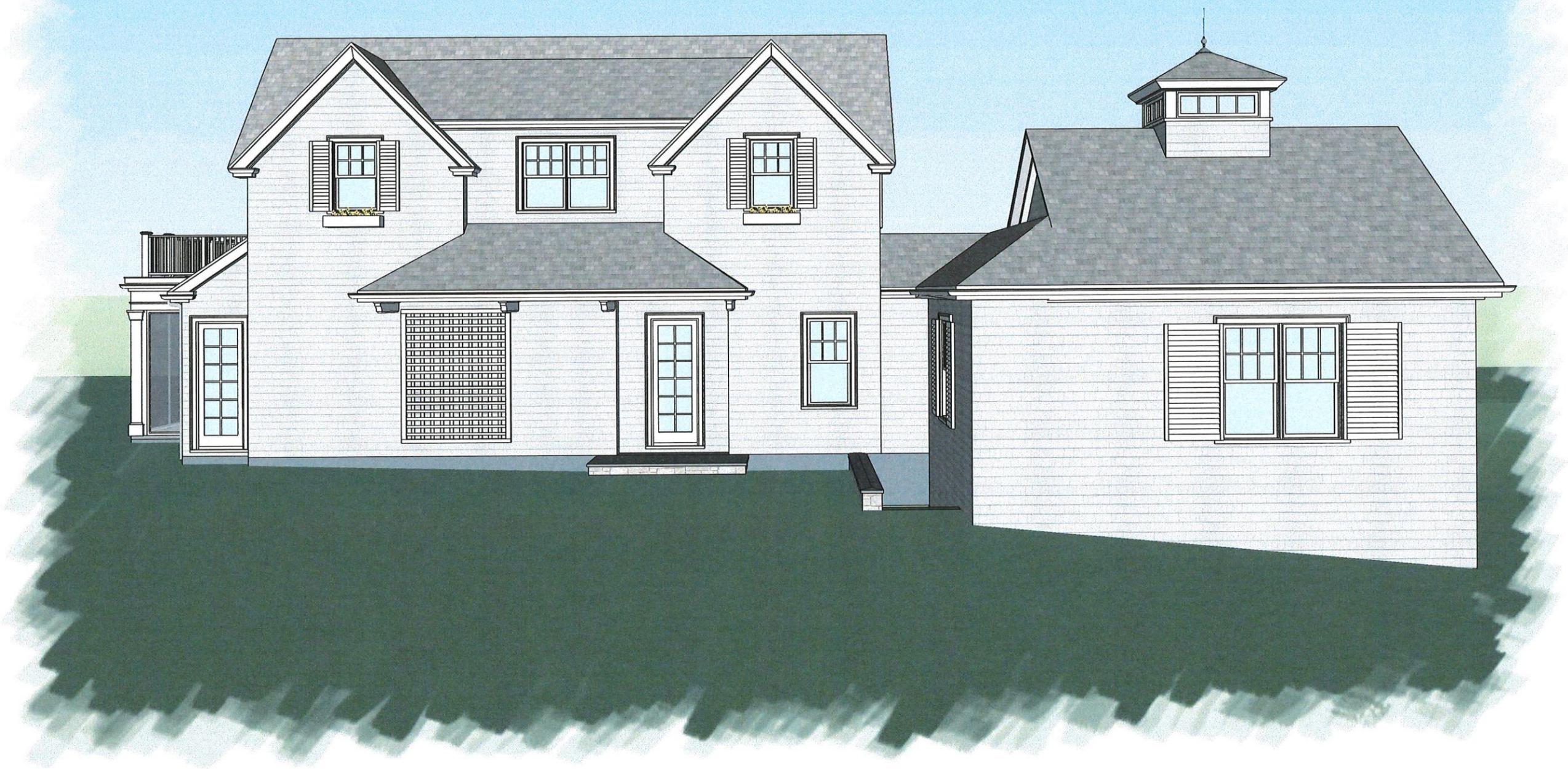
PROPOSED PERSPECTIVE VIEW



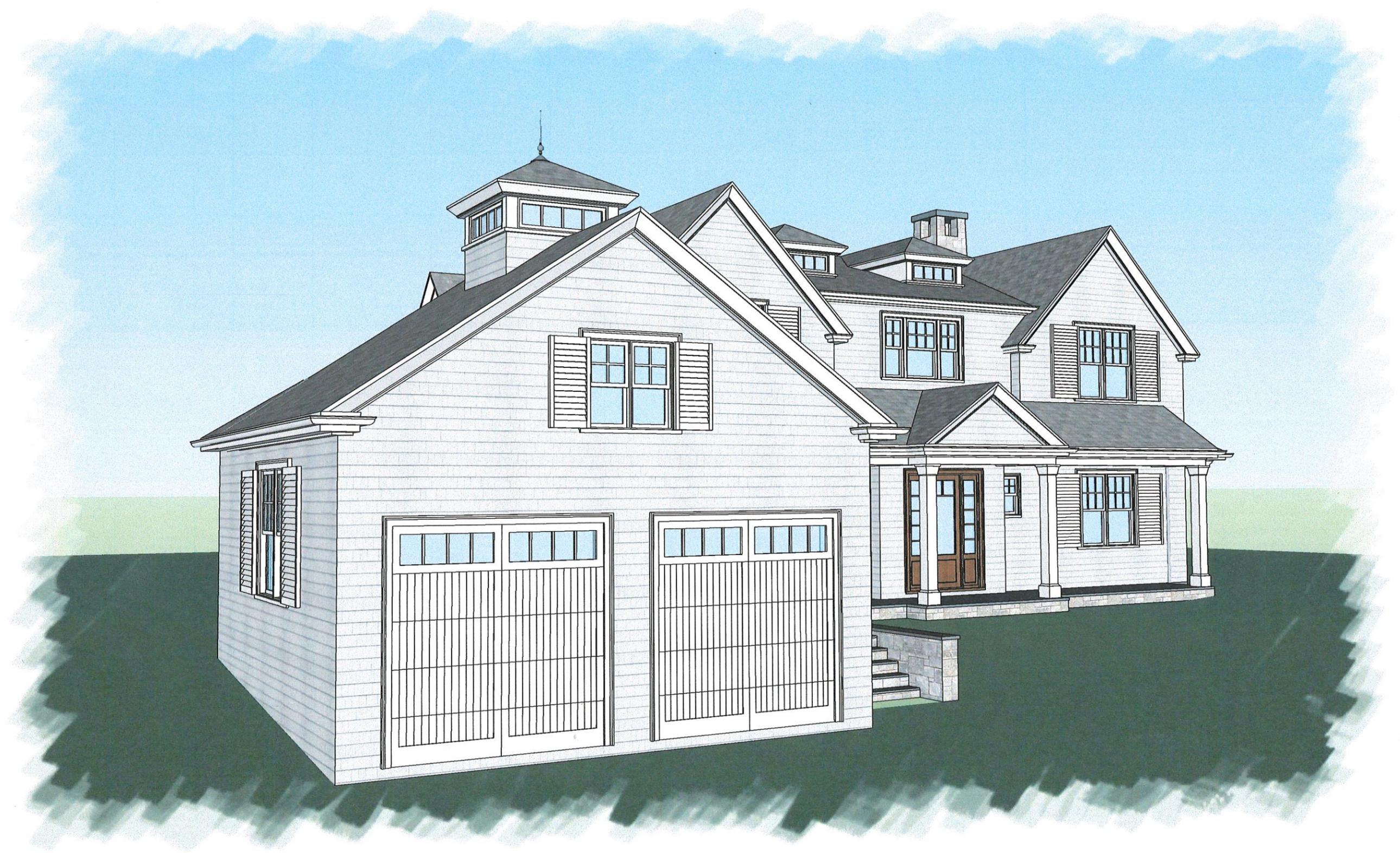
PROPOSED REAR ELEVATION



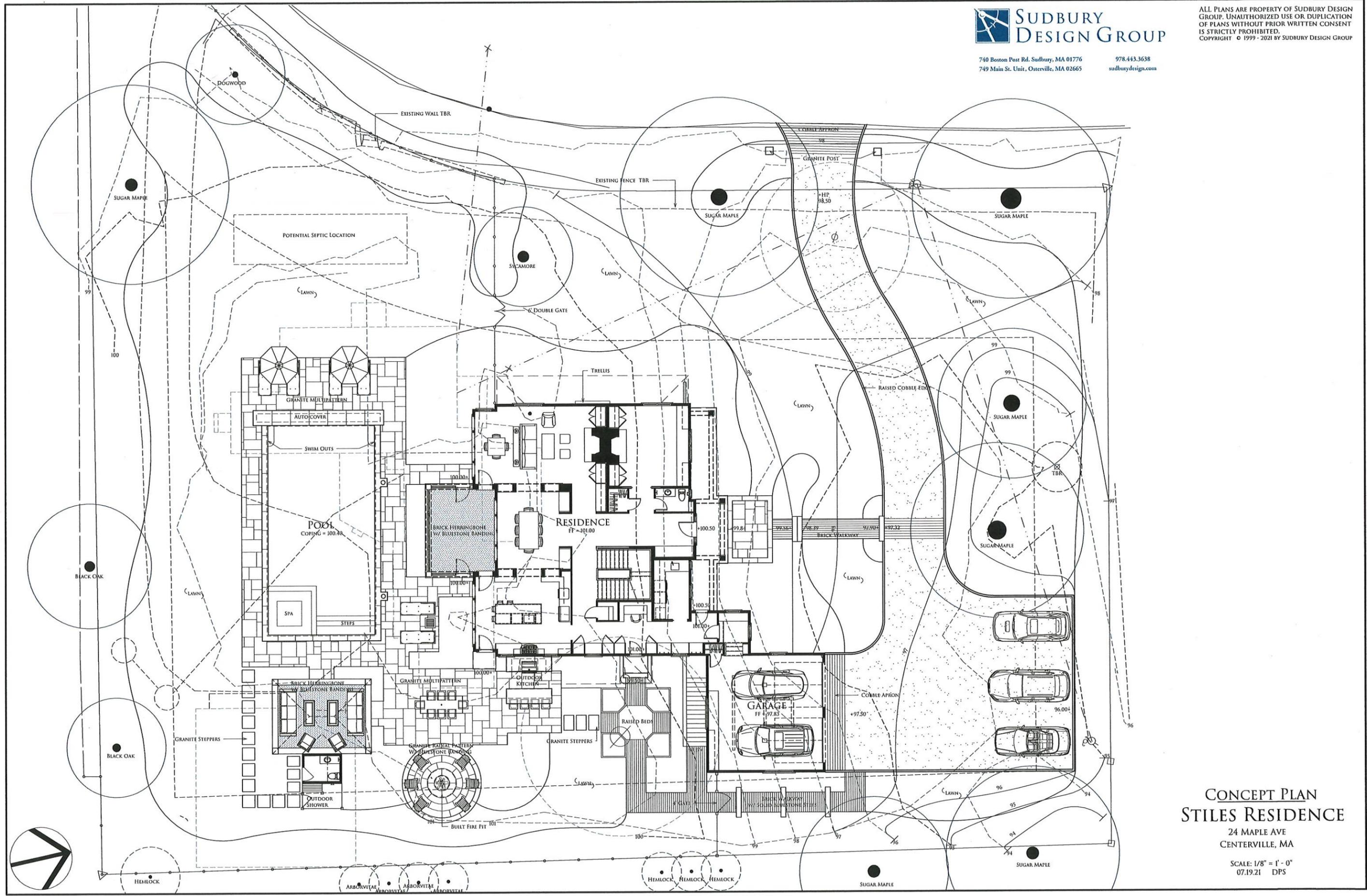
PROPOSED PERSPECTIVE VIEW



PROPOSED SIDE ELEVATION



PROPOSED PERSPECTIVE VIEW



**CONCEPT PLAN
STILES RESIDENCE**

24 MAPLE AVE
CENTERVILLE, MA

SCALE: 1/8" = 1' - 0"
07.19.21 DPS

ORIGINAL SUBMISSION
FOR THE AUGUST 17TH MEETING



TOWN OF BARNSTABLE
Planning & Development Department
Barnstable Historical Commission
www.town.barnstable.ma.us/historicalcommission

Town Clerk Stamp
 21 JUL '21 PM 2:04
 BARNSTABLE TOWN CLERK

NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application July 21, 2021 Full Demotion Partial Demolition
 Building Address: 11 Marchant Ave. - Garage only
Number Street
 Village Hyannis ZIP 02601 Assessor's Map # _____ Assessor's Parcel # 286026
 Property Owner: Jon Stein + Polina Khentov
Name Phone#

Property Owner Mailing Address (if different than building address) _____
128 Kitchawan Road, Pound Ridge, NY 10576

Property Owner e-mail address: _____

Contractor/Agent: Kelly Connellan - Jill Neubauer Architects
 Contractor/Agent Mailing Address: 15 Depot Ave. Falmouth MA 02540
 Contractor/Agent Contact Name and Phone #: Kelly Connellan 617-784-4631
Name Phone #
 Contractor/Agent Contact e-mail address: kconnellan@jnarchitects.com

Demolition Proposed - please itemize all changes:
Demolish existing garage
see attached letter

Type of New Construction Proposed: _____

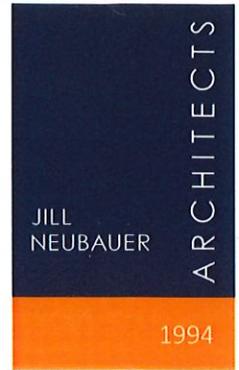
Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1797 Additions Year Built: 1929

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
 No Yes

[Signature]
 Property Owner/Agent Signature

Project: 11 Marchant Ave, Hyannis Port, "Homestead"
Date: 07.21.21
From: Jill Neubauer Architects
Re: Town of Barnstable Historical Commission,
Notice of Intent



The home at 11 Marchant Avenue was built in 1797. The home was renovated in 1929.

The proposed application is to re-build the existing 1-1/2 story garage and add a one-story pool house addition extending to the east.

From the attached photos one sees that the current garage as it stands lacks historic detail with the more modern updates. It is our intention to bring back historic architectural style and detail to the proposed re-build and addition.

The house was purchased in January of this year, and the owners are seeking permission to re-build the garage in a shifted location and expand the program to contain a pool house.

The enclosed plans and elevations include the existing garage and the proposed new structure. The existing building will be replaced in its entirety.

No changes are proposed to the house in this application.

Windows and Doors:

- All windows and doors on the garage and pool house to have muntins that will match the main house muntin patterns and sizes.

Paint Color:

- The windows, doors, and trim will be painted white
- White painted cedar shingle sidewall
- Red cedar roof

View from Dale Avenue:

- The massing of garage portion will be lengthened 13'-0"
- The building will shift 22'-0" towards the South property line
- The existing garage is pre-existing, non-conforming. The proposed building will not increase the non-conformity.
- Dormers on the West side will be changing from gable "dog house" dormers to shed dormers; shed dormers will be added on the East side and pool house
- The proposed garage top of ridge will be 3'-0" taller than existing.

15 DEPOT AVENUE

FALMOUTH MA 02540

508 548-0909

jna@jnarchitects.com
www.jnarchitects.com

Maldonado, Kaitlyn

From: Logan, Erin
Sent: Monday, August 9, 2021 8:53 AM
To: Maldonado, Kaitlyn; McPherson, Gloria
Subject: FW: 11 Marchant Ave. Hyannis Port - Garage application

Good morning – Please see below from Sarah Korjeff regarding the garage demo at 11 Marchant Ave, HP. This item is scheduled for the August BHC meeting.

From: Sarah Korjeff [mailto:skorjeff@capecodcommission.org]
Sent: Tuesday, August 3, 2021 12:49 PM
To: Logan, Erin; Kelly Connellan
Cc: Chloe Schaefer
Subject: Re: 11 Marchant Ave. Hyannis Port - Garage application

Erin and Kelly,

I have reviewed the materials submitted for the proposed work at 11 Marchant Ave in Hyannis Port and have the following comments for consideration by the Barnstable Historical Commission.

As you are aware, the David Scudder Homestead (circa 1797) is a contributing structure in the Hyannis Port National Register Historic District. The garage on this property is not referenced in either the historic inventory form or the National Register District Data Sheet, though other outbuildings in the district are acknowledged. From the information I have, it is unclear whether the existing garage incorporates any of the "barn" noted in the 1929 renovation plan or another older structure, or whether it is a more recent construction. Additional information from the applicant or a site visit may be able to confirm the building's age and historic significance. If the garage was converted from an historic outbuilding, it would be preferable to incorporate the structural frame and other significant materials into the new garage design.

The proposed new garage has a longer facade along Dale Avenue and is three feet taller at the ridge, but its scale is still smaller than the original homestead, and the rear ell of the garage is stepped down in height to break up the massing into smaller components. Because the garage is not listed as a contributing historic structure in the district and because the new design maintains a modest scale, I do not believe the proposed work constitutes a substantial alteration requiring DRI review.

At this time, no changes are proposed to the David Scudder Homestead, but if changes are proposed in the future, they will require review by the Historical Commission and additional information about the 1929 renovation work should be provided to help document the building's evolution.

Feel free to contact me if you have any questions.

Sincerely,
Sarah

Sarah Korjeff
Historic Preservation Specialist/Planner
Cape Cod Commission
3225 Main Street/P.O. Box 226
Barnstable, MA 02630

508-362-3828 (front desk)
508-744-1215 (direct)

From: Logan, Erin <Erin.Logan@town.barnstable.ma.us>
Sent: Thursday, July 22, 2021 4:07 PM
To: Sarah Korjeff <skorjeff@capecodcommission.org>; Kelly Connellan <kconnellan@jnarchitects.com>
Subject: RE: 11 Marchant Ave. Hyannis Port - Garage application

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Sarah,

This application is scheduled to be reviewed at the August 17th meeting.

Best regards,



Erin Logan
Administrative Assistant | Planning & Development
Town of Barnstable | 367 Main Street | Hyannis, MA 02601
erin.logan@town.barnstable.ma.us
P 508-862-4787

*We've moved! The Barnstable Historical Commission and Old King's Highway Historic District Committee offices have moved to Town Hall, 367 Main Street, 3rd Floor – Planning & Development Offices, Hyannis. Kindly see in-office hours below noting that **I am available via email and telephone Monday through Friday, 8:30am to 4:30pm!***

Old King's Highway & Barnstable Historical Commission Office Hours

*Monday & Friday: 8:30am – 12:30pm
Tuesday & Thursday: 12:30pm to 4:30pm*

From: Sarah Korjeff [mailto:skorjeff@capecodcommission.org]
Sent: Thursday, July 22, 2021 4:00 PM
To: Kelly Connellan
Cc: Logan, Erin
Subject: Re: 11 Marchant Ave. Hyannis Port - Garage application

Kelly,

Thank you for sending the plans for the proposed work at 11 Marchant Avenue in Hyannisport. I will review them and respond in an email to you and to Erin so the Historical Commission can consider with my advisory comments during their review.

When is your hearing before the Historical Commission? I want to be sure to send my comments before that date.

Take care,
Sarah

Sarah Korjeff
Historic Preservation Specialist/Planner
Cape Cod Commission
3225 Main Street/P.O. Box 226

Barnstable, MA 02630
508-362-3828 (front desk)
508-744-1215 (direct)

From: Kelly Connellan <kconnellan@jnarchitects.com>
Sent: Wednesday, July 21, 2021 3:29 PM
To: Sarah Korjeff <skorjeff@capecodcommission.org>
Cc: Logan, Erin <Erin.Logan@town.barnstable.ma.us>
Subject: 11 Marchant Ave. Hyannis Port - Garage application

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Hello Sarah,

I spoke with Erin Logan at the Barnstable Historic Commission, and she advised that we send along our application for the Cape Cod Commission's preliminary review and approval.

Attached is the application and drawings for the proposed garage + pool house at 11 Marchant Ave.

Please let me know if you have any questions.

Thank you,

Kelly

P.S. My email was kicked back twice for being too big. Please excuse me if you received any duplicates.

Kelly Ennis Connellan, AIA | Project Architect
Jill Neubauer Architects
15 Depot Avenue, Falmouth, MA 02540
o. 508.548.0909 | c. 617.784.4631 | jnarchitects.com



Named Best 2021 Coastal Architect by *Best of Boston Home*®

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Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Parking Lots
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - ▨ Bridge
 - Paved Median
- Water Bodies

Map printed on: 7/27/2021



Approx. Scale: 1 inch = 333 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 7/27/2021



Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Parcel: 286-026 Location: 11 MARCHANT AVENUE, Hyannis Owner: BABCOCK, CHRISTOPHER H&STEIN, PAMELA TRS



Parcel
286-026

Location
11 MARCHANT AVENUE

Village
Hyannis

Town sewer account
No

CWMP Sewer Expansion (subject to change with final engineering design)
None planned at this time

Developer lot:

Road type
Town & Private

Fire district
Hyannis

Secondary road
DALE AVENUE

Road index
0972

Interactive map



Owner: BABCOCK, CHRISTOPHER H&STEIN, PAMELA TRS

Owner BABCOCK, CHRISTOPHER H&STEIN, PAMELA TRS	Co-Owner %BABCOCK HOLDINGS LLC	Book page D1388218/0
Street1 11 MARCHANT AVENUE	Street2	
City HYANNIS PORT	State MA	Zip 02647
	Country	

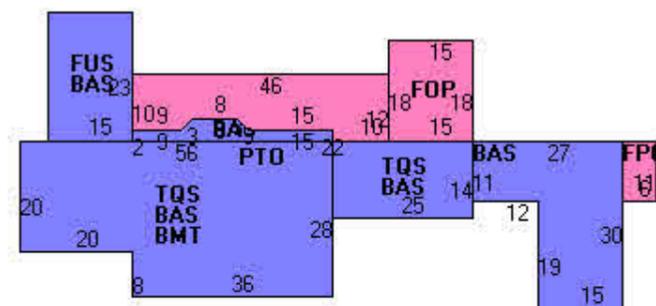
Land

Acres 0.93	Use Single Fam M-01	Zoning RF-1	Neighborhood WF12
Topography	Street factor	Town Zone of Contribution AP (Aquifer Protection Overlay District)	
Utilities	Location factor Waterfront	State Zone of Contribution OUT	

Construction

Building 1 of 1

Year built 1797	Roof structure Gable/Hip	Heat type Typical
Living area 4265	Roof cover Wood Shingle	Heat fuel Gas
Gross area 7084	Exterior wall Wood Shingle, Clapboard	AC type None
Style Colonial	Interior wall Plastered	Bedrooms 6 Bedrooms
Model Residential	Interior floor Pine/Soft Wood	Bath rooms 7 Full-0 Half
Grade Custom	Foundation	Total rooms 15 Rooms
Stories 2		



Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
11/21/2017	Sid/Wind/Roof/Door	17-4048	\$55,000		Replacement windows (62) Uvalue .31
06/30/2016	Sid/Wind/Roof/Door	16-1875	\$9,000		reroof stripping - yarmouth
11/10/2011	Other	201106240	\$5,000	02/01/2012	REMOV OLD BEACH STAIRS-REPLC W LANDING & NW STAIRS
08/14/2009	New Roof	200903780	\$4,500	06/30/2010	REROOF STRIPPING OLD
09/12/2005	New Roof	86808	\$8,000	06/30/2006	REROOF STRIPPING OLD

Sale History

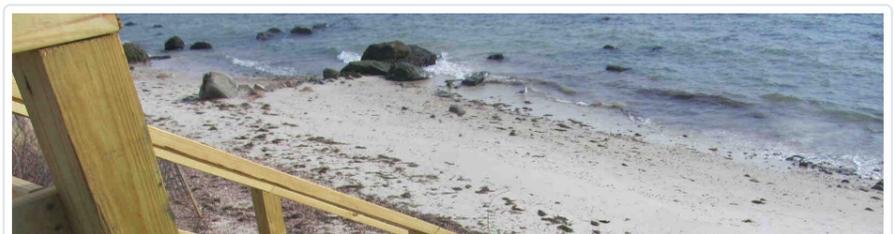
Line	Sale Date	Owner	Book/Page	Sale Price
1	01/08/2021	BABCOCK HOLDINGS LLC	D1416805/0	\$2,255,000
2	09/07/2018	BABCOCK, CHRISTOPHER H&STEIN, PAMELA TRS	D1388218/0	\$0
3	12/31/2012	BABCOCK, CHRISTOPHER H&STEIN, PAMELA TRS	D1388218/0	\$0

3	12/31/2012	BABCOCK, CHRISTOPHER H & STEIN, PAMELA T	C199290/0	\$0
Line	Sale Date	Owner	Book/Page	Sale Price
4	01/15/1982	HARDEN, DAVID E & BABCOCK, ANN H	C87915/0	\$0

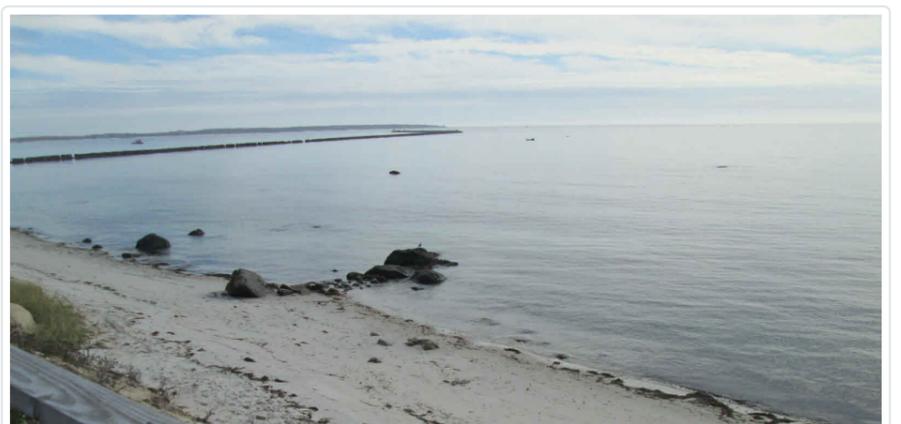
▼ Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2021	\$447,000	\$44,400	\$40,200	\$3,893,300	\$4,424,900
2	2020	\$360,000	\$39,500	\$32,600	\$3,893,300	\$4,325,400
3	2019	\$360,000	\$39,500	\$33,600	\$3,303,400	\$3,736,500
4	2018	\$303,200	\$39,500	\$29,700	\$3,477,300	\$3,849,700
5	2017	\$291,100	\$40,200	\$28,000	\$3,477,300	\$3,836,600
6	2016	\$291,100	\$40,200	\$28,000	\$3,451,000	\$3,810,300
7	2015	\$343,300	\$43,200	\$36,300	\$3,447,700	\$3,870,500
8	2014	\$343,300	\$43,200	\$36,800	\$3,447,700	\$3,871,000
9	2013	\$340,200	\$45,200	\$31,400	\$3,447,700	\$3,864,500
10	2012	\$362,500	\$44,000	\$27,300	\$3,447,700	\$3,881,500
11	2011	\$416,600	\$8,800	\$20,300	\$3,447,700	\$3,893,400
12	2010	\$436,000	\$8,800	\$0	\$3,940,200	\$4,385,000
13	2009	\$703,000	\$6,100	\$0	\$5,631,900	\$6,341,000
14	2008	\$709,700	\$6,100	\$0	\$4,193,200	\$4,909,000
16	2007	\$760,300	\$6,100	\$0	\$4,193,200	\$4,959,600
17	2006	\$705,000	\$6,100	\$0	\$4,143,800	\$4,854,900
18	2005	\$596,800	\$5,700	\$0	\$4,143,700	\$4,746,200
19	2004	\$468,000	\$5,700	\$0	\$4,143,700	\$4,617,400
20	2003	\$531,300	\$5,700	\$0	\$1,737,000	\$2,274,000
21	2002	\$531,300	\$5,700	\$0	\$1,737,000	\$2,274,000
22	2001	\$531,300	\$6,000	\$0	\$1,737,000	\$2,274,300
23	2000	\$404,000	\$6,200	\$0	\$588,100	\$998,300
24	1999	\$404,000	\$6,200	\$0	\$588,200	\$998,400
25	1998	\$375,200	\$6,200	\$0	\$588,200	\$969,600
26	1997	\$401,900	\$0	\$0	\$587,600	\$989,500
27	1996	\$401,900	\$0	\$0	\$587,600	\$989,500
28	1995	\$401,900	\$0	\$0	\$587,600	\$989,500
29	1994	\$334,400	\$0	\$0	\$587,600	\$922,000
30	1993	\$334,400	\$0	\$0	\$587,600	\$922,000
31	1992	\$381,000	\$0	\$0	\$652,900	\$1,033,900
32	1991	\$426,200	\$0	\$0	\$652,900	\$1,079,100
33	1990	\$426,200	\$0	\$0	\$652,900	\$1,079,100
34	1989	\$426,200	\$0	\$0	\$652,900	\$1,079,100
35	1988	\$313,600	\$0	\$0	\$287,400	\$601,000
36	1987	\$313,600	\$0	\$0	\$287,400	\$601,000
37	1986	\$313,600	\$0	\$0	\$287,400	\$601,000

▼ Photos









Area A	Form no. 21
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MASSACHUSETTS HISTORICAL COMMISSION
294 Washington Street, Boston, MA 02108

286/026

BRN.557

Town Barnstable (Hyannis Port)

Address Marchant Ave., Hyannis Port

Historic Name David Scudder Homestead

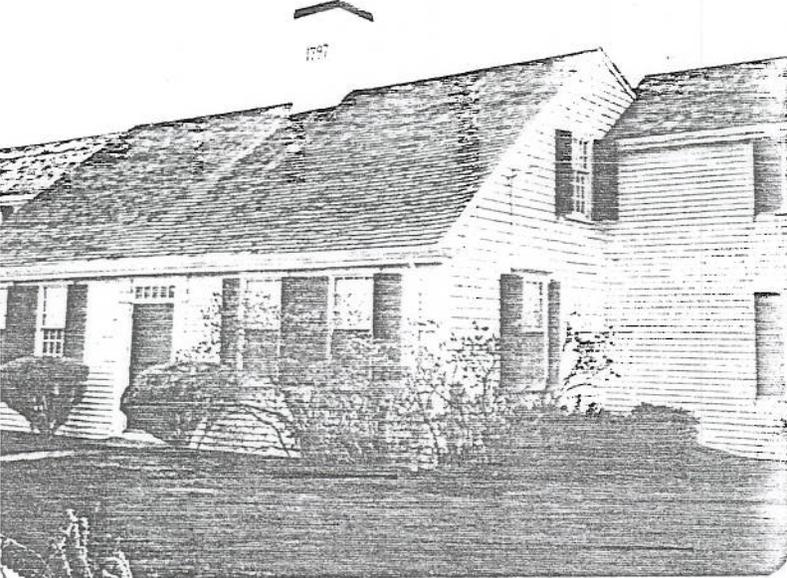
Use: Original Homestead

Present Residence

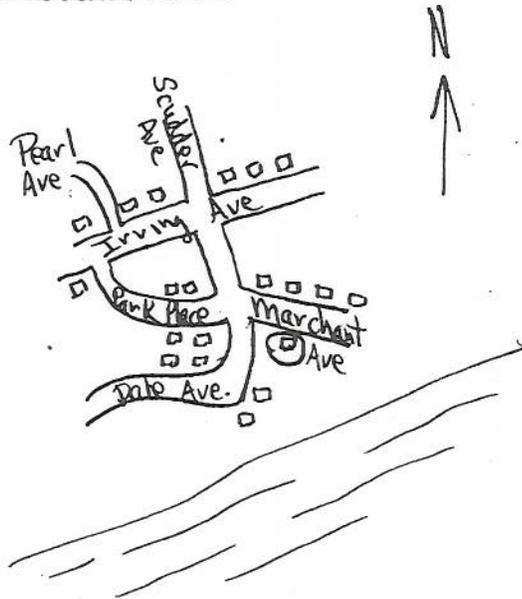
Ownership: Gladys L. Herden
 Private individual
 Private organization

Public _____

Original owner David & Desire Scudder



Draw map showing property's location in relation to nearest cross streets and other buildings or geographical features. Indicate north.



DESCRIPTION:

Date C.1797

Source Deed, in Larry Newman's possession

Style Georgian (Full Cape)

Architect _____

Exterior wall fabric wood clapboards

Outbuildings _____

Major alterations (with dates) _____

Moved _____ Date _____

Approx. acreage .93a

Setting Private residential area

Recorded by Laurie P. Snowden

Organization Barnstable Historical Commission

Date June, 1981

Contributing Nat'l Register

Photo #23-13-A21

ARCHITECTURAL SIGNIFICANCE (describe important architectural features and evaluate in terms of other buildings within community)

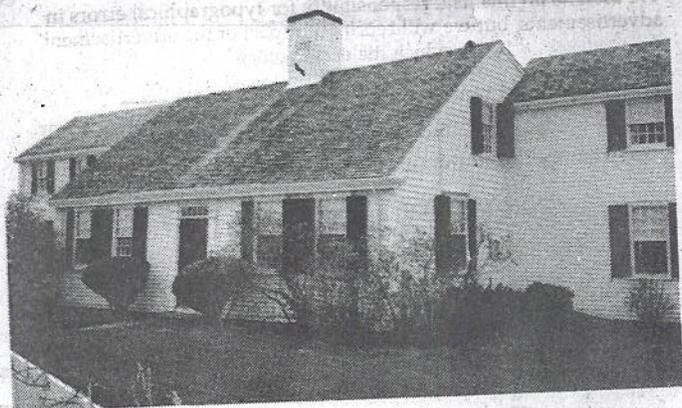
This home is an example of a Georgian full Cape. The windows are dropped down from the roof's edge which is indicative of the Georgian full Cape styling. The house has a large front doorway with a transom above with five lights all sided by pilasters. The windows are 12/12. The house has one large central chimney with four fireplaces. Two very large additions have been made to either side of the home. The exterior is wood clapboard. Inside the home there are many features to be noticed. In the original parlor wainscoting is present. The original wide floor boards measuring 16-18 inches are still present. The original doors and hardware are also present.

HISTORICAL SIGNIFICANCE (explain the role owners played in local or state history and how the building relates to the development of the community)

The dwelling that sits on the corner of Scudder and Marchant Aves. is no longer the active homestead that it was in the late 1790's. This home became known as the "Scudder Homestead", being the last home that David and Desire Scudder built. David Scudder, the son of Eleazer and Mary Lewis Scudder, was born in 1763. Desire Gage Scudder was born in 1767. Desire and David Scudder had seven sons and three daughters: Charles and Horace who left the Cape in 1789 to become hardware merchants and civic leaders in Boston; Alex who was a world traveling sea captain; William the youngest son and a promising prodigy who strayed from the yard and drowned, his body, returned from the tide, was found near Seal Rock; Elisha who moved to Boston early in life and remained there; Lucinda called "Angel on Earth", was widowed before she was 21 and never remarried; Julia, also a widow early in life (her husband William Crocker, was lost at sea at the age of 24 in the Mediera Islands); Abigail who married Freeman Marchant, who operated large salt works with David Scudder; Frederick, the County Treasurer and Registrar of Deeds; David Jr., who remained a bachelor and died in early adulthood. Upon David Scudder's death, his widow kept the estate up until she sold the homestead to her son Frederick.

BIBLIOGRAPHY and/or REFERENCES

Registry of Deeds-Barnstable County
Barnstable County Atlas 1858, 1880, 1907
Deyo, Simeon, History of Barnstable County, Massachusetts, 1890.
Otis, Amos, Genealogical Notes of Barnstable Families, 1888.
Trayser, Donald G., Barnstable-Three Centuries of a Cape Cod Town, 1939.
The Seven Villages of Barnstable, 1976.



SCUDDER HOMESTEAD--Built in 1797, the full Cape Georgian style dwelling on Marchant Avenue, Hyannis Port was the last home built by David and Desire Scudder and became known as the Scudder Homestead.

Historic Homes of Barnstable

The Scudder Homestead on the corner of Marchant and Scudder Avenues in Hyannis Port must have been a full house over the years when David and Desire Gage Scudder were raising their seven sons and three daughters.

Sons Charles and Horace left the Cape in 1789 to become hardware merchants and civic leaders in Boston. Another son, Alex, became a sea captain, and Elisha moved to Boston at an early age. Their youngest son, William, a promising prodigy, strayed from the yard and drowned. His body, returned home from the tide, was found near Seal Rock. Frederick would grow up to become the county treasurer and register of deeds, and son David Jr., who remained a bachelor, died in his early manhood.

Of their daughters, Lucinda was widowed before she was 21 and never remarried. It was she who was called "Angel on Earth." Julia's husband, William Crocker, was lost at sea when only 24 in the Madeira Islands, leaving her a young widow as well. Abigail married Freeman Marchant, who operated a large salt works with David Scudder.

Following the death of her husband, Desire Scudder maintained the estate until she sold the homestead to her son Frederick.

Of the house itself, its large central chimney accommodated four fireplaces and the front doorway is topped by a five-light transom sided by pilasters. Two extensive additions have been made to either side of the original dwelling which boasts the original parlor wainscoting, floor boards measuring 16-18 inches and original doors and hardware to this day.

Photo and information courtesy of
Barnstable Historical Commission



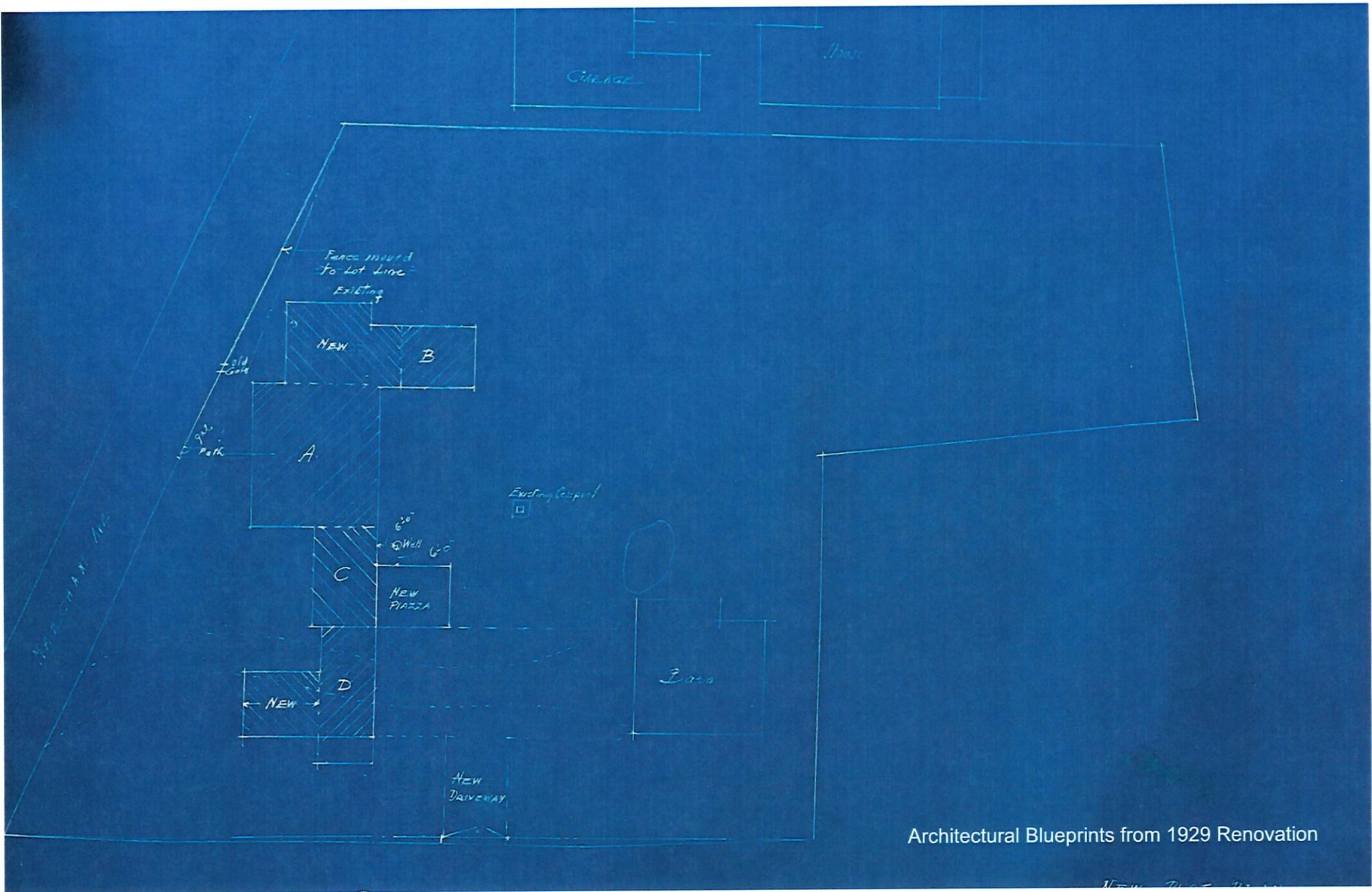
11 Marchant Ave Bird's Eye (Existing)



11 Marchant Ave Northwest View from Dale Ave.
(Existing)



11 Marchant Ave Southwest View from Dale Ave.
(Existing)



Architectural Blueprints from 1929 Renovation

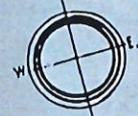
NEW DRIVEWAY

13920A

PLAN OF LAND IN BARNSTABLE

Nelson Bears Surveyor.

NOVEMBER 1929



SCUDDER AVE.
PARK PLACE

MARCHANT AVE.
S 54° 37' 05" E.
192.86

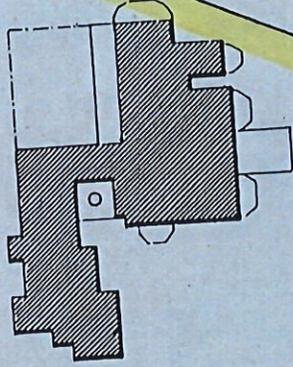
DALE AVE.
N 12° 59' 55" E.
140.95

L.C.No. 12948.

L.C. No. 13702.

S 57° 37' 05" E.
101.00

DALE AVE.
N 10° 12' 55" E.
51.22



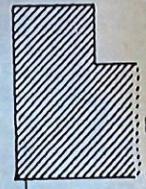
93.80

S 76° 32' 05" E.



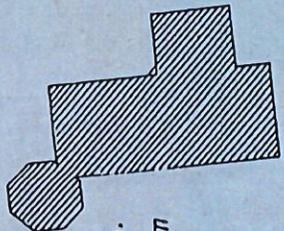
270±

N 15° 40' 55" E.



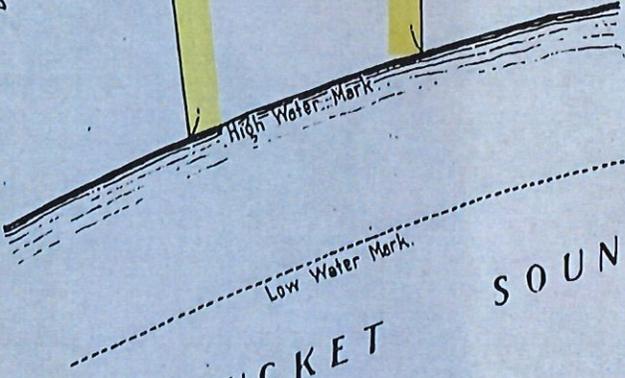
Rockwell C. Tenney et al.
L.C. No. 14120

L.C.No. 12948.



Charlotte S.
Dillingham

N 6° 42' 55" E.
168±



ANTUCKET SOUND

11 Marchant Ave. Survey
1929

Copy of part of plan
filed in
LAND REGISTRATION OFFICE
DEC. 9, 1929.

DIRECTIONS:
 From Hyannis - Follow Main Street to the West
 End Rotary, Take third exit onto Scudder Ave.
 Follow and turn left onto Marchants Ave. #11 is
 on the right.



LOCATION MAP:
 Scale: 1" = 2000'±

ASSESSORS REF.:
 Map 286, Parcels 026

ZONE:

- RF-1
- Area (min.) 43,560 SF
- Frontage (min.) 20'
- Width (min.) 125'
- Setbacks:
- Front 30'
- Slide 15'
- Rear 15'

OVERLAY DISTRICT:

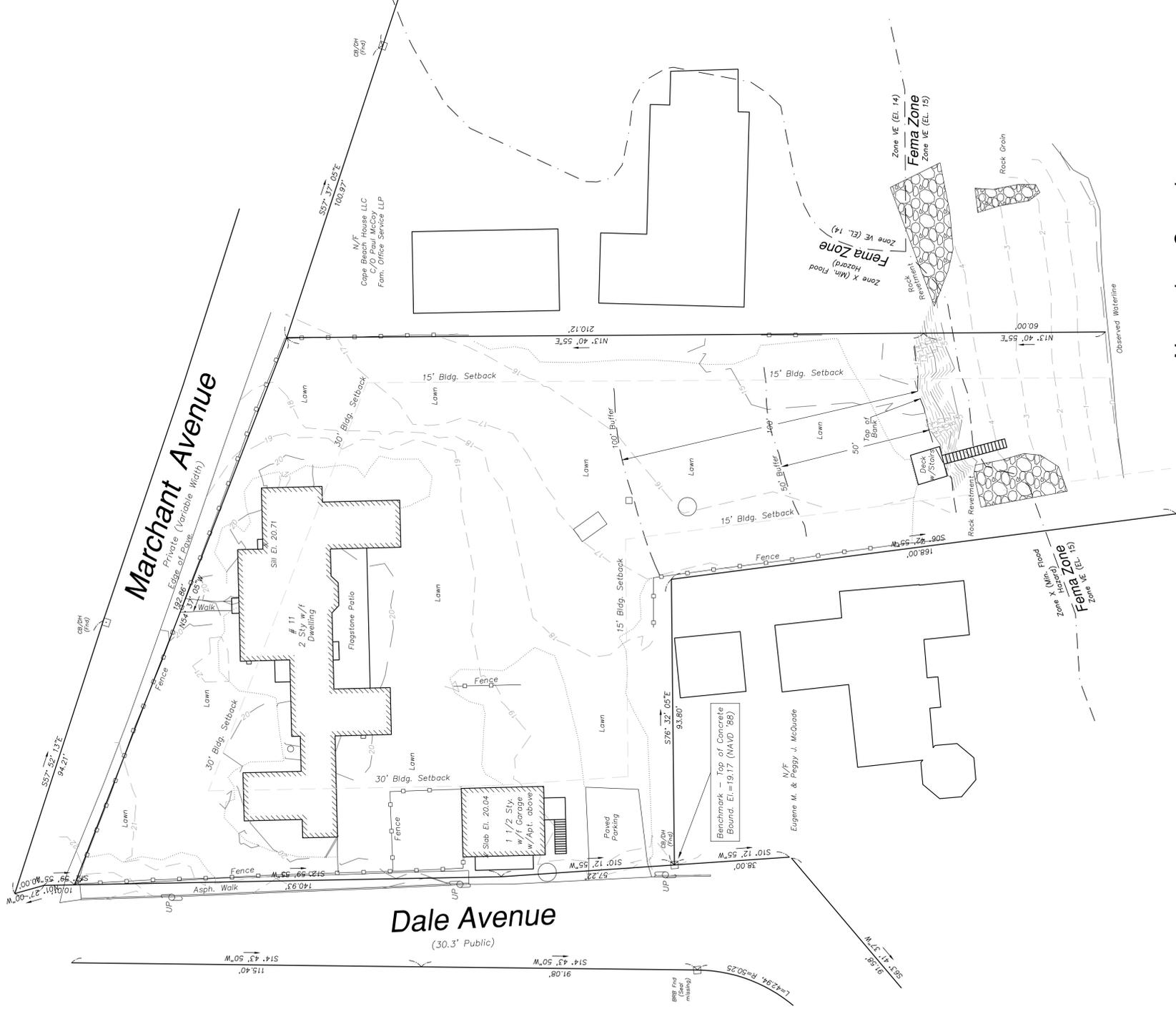
AP - Aquifer Protection District

FLOOD ZONE:

Zones AE (Elev. 15') X
 (Minimal Flood Hazard)
 Community
 July 16, 2014

REFERENCES:

Land Court Cert. 199,920
 LOP 13920 A



LEGEND:

- CDT Cedar Tree
- HT Holly Tree
- DT Deciduous Tree
- CT Coniferous Tree
- Utility Pole
- Electric
- Gas
- Welland Flag
- Light Post
- CB/DH
- Overhead Wires
- 25— Elevation Contour

TITLE:
 Site Plan
 Existing Conditions
 At
 11 Marchant Avenue
 Barnstable (Hyannis Port) Mass.

DATE: February 3, 2021 **SCALE:** 1" = 20'

PREPARED BY:

Sullivan Engineering & Consulting, Inc.

Draft: ASL/CTR
 Review: JOD/CTR
 Project: Stein

Field: CTR/WHK
 Comp./Review: CTR/JOD/ASL
 Project#: 4100001

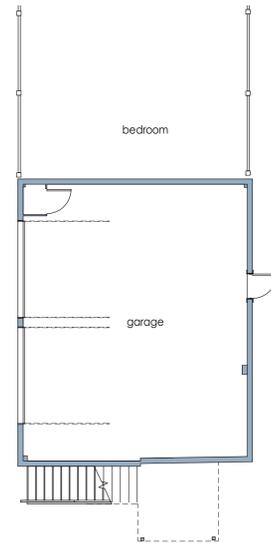
PREPARED FOR:

Babcock Cape Cod Trust
 C/O Jonathan Stein

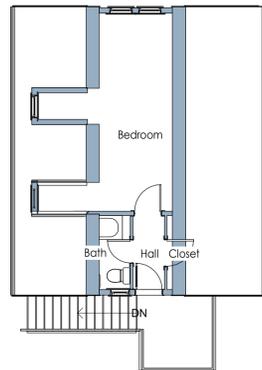


NOTES:

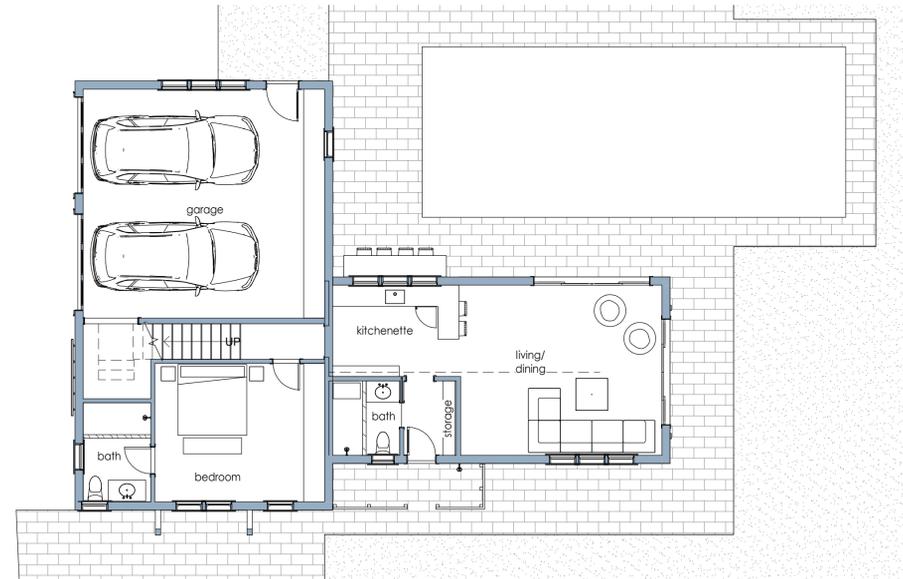
- 1) The property line information shown was compiled from available record information.
- 2) The topographic information was obtained from an on the ground survey performed on or between 1/21/2021 and 1/29/2021 using GPS RTK.
- 3) The datum used is NAVD '88, a fixed mean sea level datum.
- 4) Abutting structures are from Town G.I.S., locations and dimensions are approximate only.



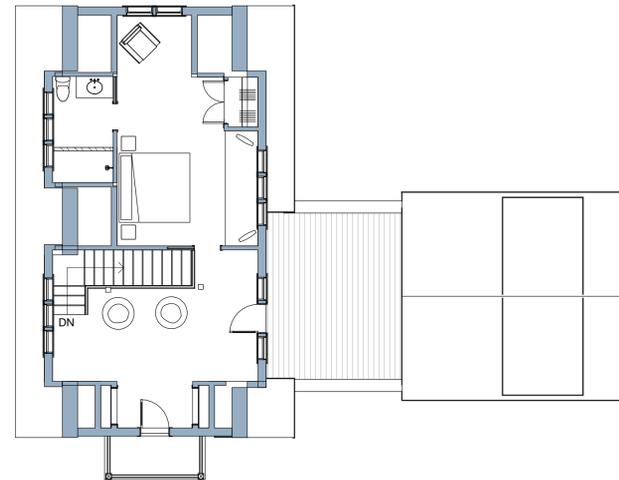
① Garage First Floor (Existing)
1/8" = 1'-0"



② Garage Second Floor (Existing)
1/8" = 1'-0"



③ Pool House + Garage First Floor
(Proposed)
1/8" = 1'-0"



④ Pool House + Garage Second Floor
(Proposed)
1/8" = 1'-0"



THE HOMESTEAD
11 MERCHANT AVE
HYANNISPORT, MA

07.21.21 HDC Application

GARAGE FLOOR PLANS

1/8" = 1'-0"

A100-G



① Northwest View from Dale Ave (Existing)



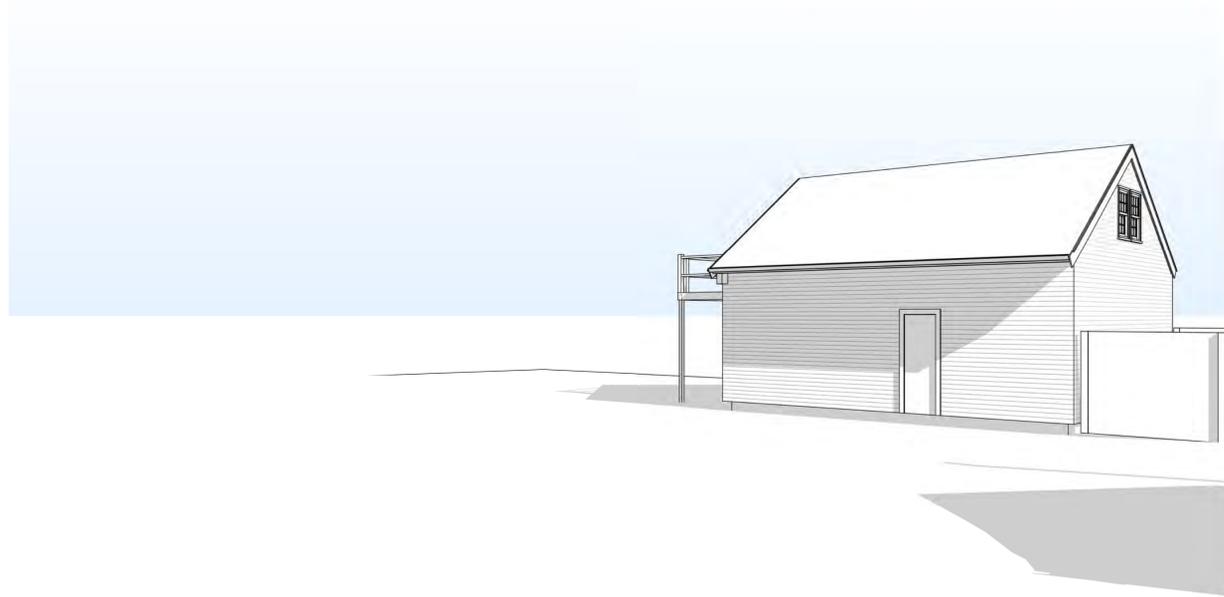
② Northwest View from Dale Ave (Proposed)



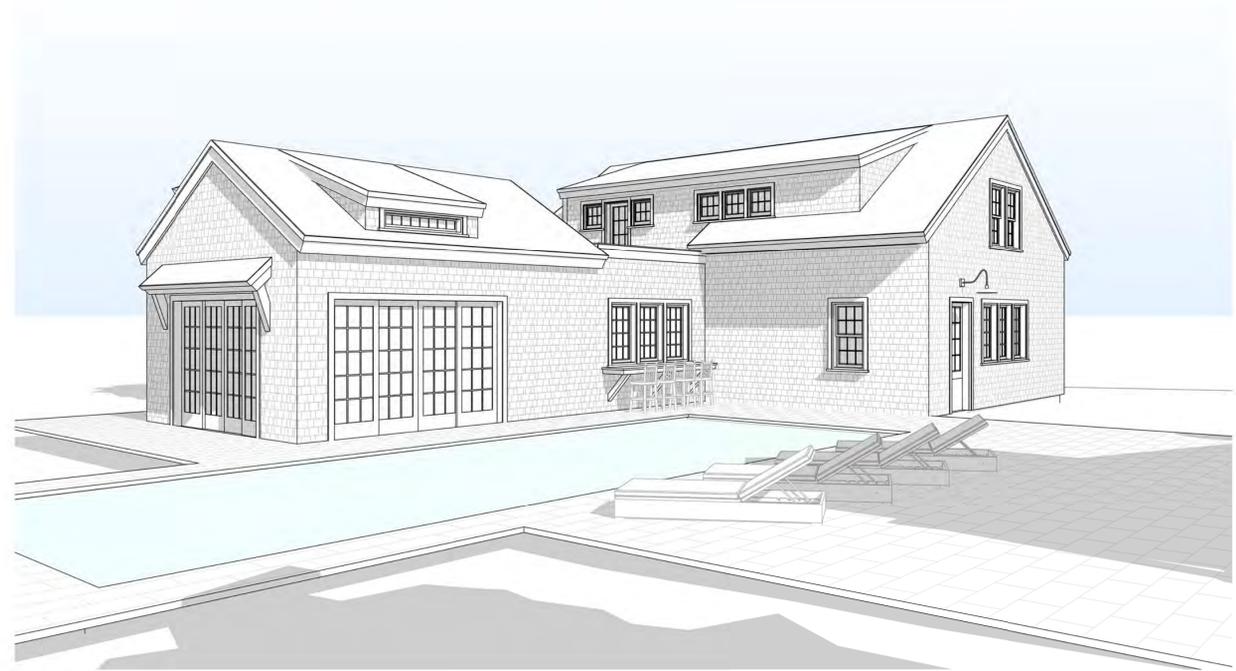
③ Southwest View from Dale Ave (Existing)



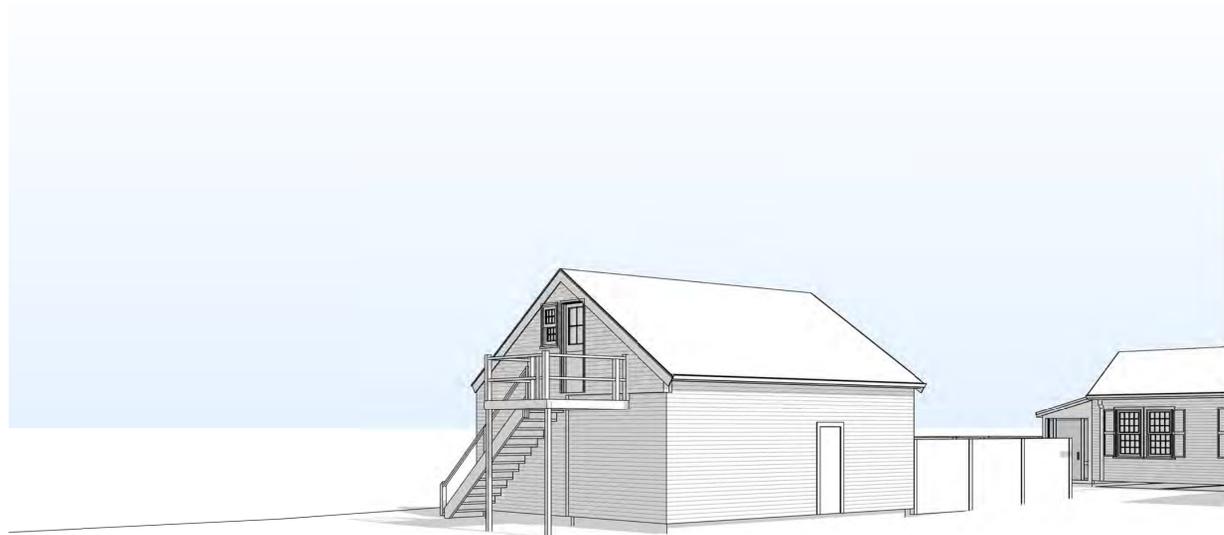
④ Southwest View from Dale Ave (Proposed)



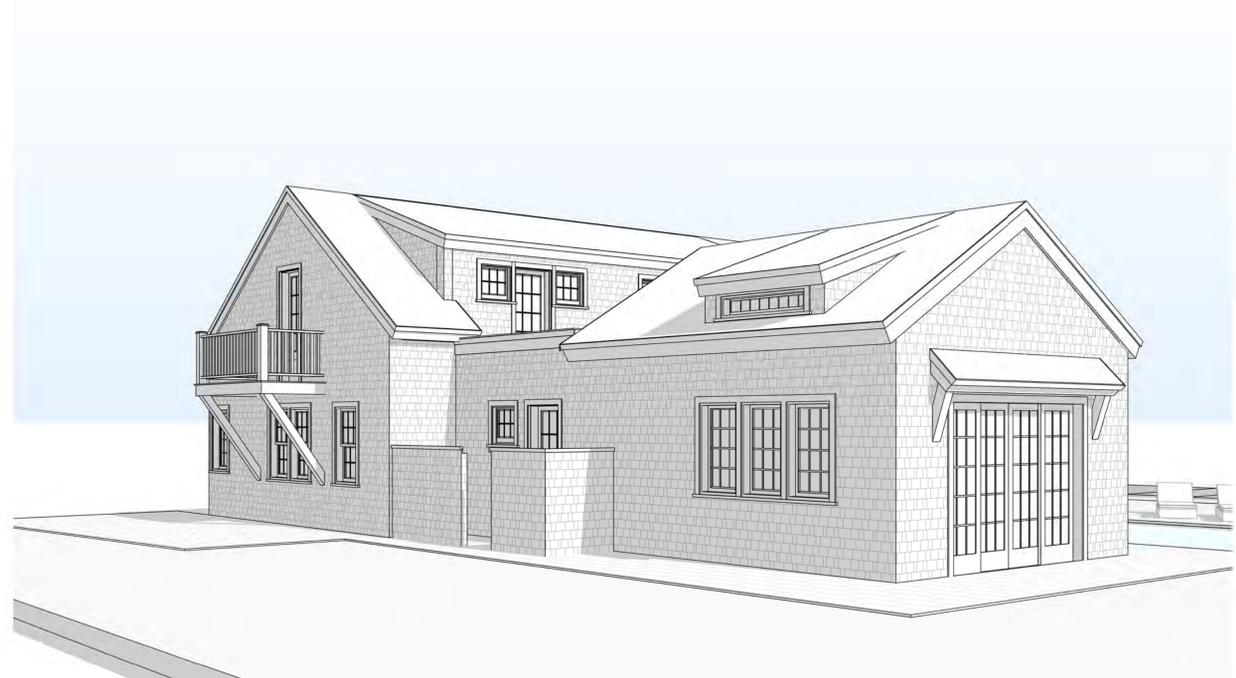
① Garage Northeast View (Existing)



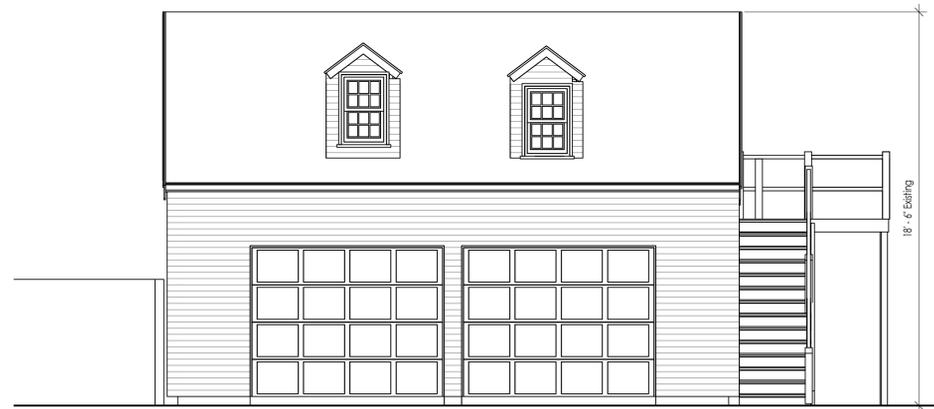
② Poolhouse + Garage Northeast View (Proposed)



③ Garage Southeast View (Existing)



④ Poolhouse + Garage Southeast View (Proposed)



① Garage - West Elevation (Existing)
1/4" = 1'-0"



② Pool House + Garage - West Elevation
(Proposed)
1/4" = 1'-0"



③ Garage - North Elevation (Existing)
1/4" = 1'-0"



④ Pool House + Garage - North Elevation
(Proposed)
1/4" = 1'-0"



① Garage - South Elevation (Existing)
1/4" = 1'-0"



② Pool House + Garage - South Elevation
(Proposed)
1/4" = 1'-0"



③ Garage - East Elevation (Existing)
1/4" = 1'-0"



④ Pool House + Garage - East Elevation
(Proposed)
1/4" = 1'-0"

Historical Commission Abutter List for Subject Parcel 286026

All property owners within 300 feet of the subject property's boundaries

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
286009	22 DALE AVENUE HYANNIS PORT LLC		10 INGERSOLL ROAD		WELLESLEY	MA	02481
286010	LLOYD, TANGLEY CAMPBELL		P O BOX 336		HYANNISPORT	MA	02647
286011	SHAY, JAMES P & MONICA A		9A WYNDEMERE DR		SOUTHBOROUGH	MA	01772
286012	DUANE, JON R & FRIEDMAN, CATHERINE J TRS	DALE AVENUE REALTY TRUST	149 SELBY LANE		ATHERTON	CA	94027
286013	ERBE, HENRY H III		33 PARK PLACE	P O BOX 218	HYANNISPORT	MA	02647
286014	NIEHOFF, KELLY B & KARL R B TRS	LUCINDA SHAEFFER WALKER Q.P.R.T.	PO BOX 507		HYANNIS PORT	MA	02647
286017	WINTON, PATRICIA R & SAWMILL TRUST CO TRS	PATRICIA R WINTON LIVING TRUST	92 PRINCE STREET		WEST NEWTOWN	MA	02465
286018	BREA, CESAR & LEONARD, CARMEL ANNE		53 DEPOT STREET		WESTFORD	MA	01886
286019	GARTHWAITE, ANDREW ALEXANDER		320 SOUTH BEACH ROAD		HOBE SOUND	FL	33455
286020	DESAI, AMIT R & GITIKA MARATHAY		31 MILFORD STREET		BOSTON	MA	02118
286021	EVANS, DAVID C & TUTEN, MARGARET E	C/O MARGARET TUTEN	128 ASHWOOD RD		VILLANOVA	PA	19085
286022	KIDDER, STEPHEN W & ELEFANTE, MARK B TRS	MARCHANT AVENUE REALTY TRUST	C/O HEMENWAY & BARNES	75 STATE ST 16TH FLOOR	BOSTON	MA	02109-1899

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
286023	EDWARD M KENNEDY INST US SENATE, INC		210 WILLIAM T MORRISSEY BLVD		BOSTON	MA	02125
286023001	FORD, MICHAEL D TR	MARCHANT AVENUE GARAGE QRTS TRUST	C/O VERDOLINO AND LOWEY	SUITE 101	FOXBORO	MA	02035
286024	EDWARD M KENNEDY INST US SENATE INC		210 WILLIAM T MORRISSEY BLVD		BOSTON	MA	02125
286025	CAPE BEACH HOUSE LLC	C/O PAUL/MCCOY FAM OFFICE SERV LLP	31 ST JAMES AVE, STE 740		BOSTON	MA	02116
286026	BABCOCK, CHRISTOPHER H&STEIN, PAMELA TRS	%BABCOCK HOLDINGS LLC	11 MARCHANT AVENUE		HYANNIS PORT	MA	02647
286027	MCQUADE, EUGENE M & PEGGY J		50 DOWNING STREET		EAST GREENWICH	RI	02818
286028	ERBE, HENRY H III		33 PARK PLACE	P O BOX 218	HYANNISPORT	MA	02647
286029	DUANE, JON R & FRIEDMAN, CATHERINE J TRS	DALE AVENUE REALTY TRUST	149 SELBY LANE		ATHERTON	CA	94027
286030	MSSI 31 DALE AVE PROPERTY GROUP LLC	C/O NICOLE J HUESMAN, PA	150 ALHAMBRA CIRCLE SUITE 1150		CORAL GABLES	FL	33134
287065	FORD, MICHAEL D TR	IRVING AVE NOMINEE TRUST II	C/O PARK AGENCY, INC	330 MADISON AVE - SUITE 280	NEW YORK	NY	10017
287065001	FORD, MICHAEL D TR	IRVING AVE NOMINEE TRUST II	C/O PARK AGENCY, INC	330 MADISON AVE - SUITE 280	NEW YORK	NY	10017
287066001	MILLS, CHARLES N TR	131 IRVING AVENUE TRUST	405 SHERIDAN ROAD		HIGHLAND PARK	IL	60035

NEW SUBMISSION
FOR THE SEPTEMBER 21ST MEETING

Maldonado, Kaitlyn

From: Sarah Korjeff <skorjeff@capecodcommission.org>
Sent: Thursday, September 2, 2021 6:18 PM
To: Kelly Connellan; Craig Ashworth; Maldonado, Kaitlyn; McPherson, Gloria
Subject: Re: 11 Marchant Ave - CCC Site Visit

Follow Up Flag: Follow up
Flag Status: Flagged

Kaitlyn and Gloria,

I met with Kelly Connellan and Craig Ashworth at 11 Marchant Ave on Tuesday afternoon to look at the garage building. Craig removed some of the interior finishes to reveal parts of the structural frame and we could see that the building is a mix of old and more recent materials, making it difficult to determine its history. There are clearly some old beams and corner posts in the structure, but many of them appear to be re-used and altered to connect with more recent materials in the siding and roof structure.

Given what we saw, plus the lack of historic documentation of the garage building, I believe that it would be appropriate to have the applicant salvage historic materials from the building and re-use them as possible in the proposed new structure. They plan to show this intention in revised plans that will be submitted later.

Please feel free to contact me if you have questions.

Sincerely,
Sarah

Sarah Korjeff
Historic Preservation Specialist/Planner
Cape Cod Commission
3225 Main Street/P.O. Box 226
Barnstable, MA 02630
508-362-3828 (front desk)
508-744-1215 (direct)

From: Kelly Connellan
Sent: Monday, August 23, 2021 9:30 AM
To: Kelly Connellan <kconnellan@jnarchitects.com>; Craig Ashworth <cashworth@ebnorris.com>; Sarah Korjeff <skorjeff@capecodcommission.org>; Maldonado, Kaitlyn <Kaitlyn.Maldonado@town.barnstable.ma.us>; McPherson, Gloria <Gloria.Mcpherson@town.barnstable.ma.us>
Subject: 11 Marchant Ave - CCC Site Visit
When: Tuesday, August 31, 2021 2:00 PM-3:00 PM.
Where:

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

CAUTION: This email originated from outside of the Town of Barnstable! **Do not click links, open attachments or reply, unless you recognize the sender's email address and know the content is safe!**

DIRECTIONS:
 From Hyannis - Follow Main Street to the West
 End Rotary, Take third exit onto Scudder Ave.
 Follow and turn left onto Marchants Ave. #11 is
 on the right.



LOCATION MAP:

Scale: 1" = 2000'±

ASSESSORS REF.:

Map 286, Parcels 026

ZONE:

RF-1
 Area (min.) 43,560 SF
 Frontage (min.) 20'
 Width (min) 125'
 Setbacks:
 Front 30'
 Side 15'
 Rear 15'

OVERLAY DISTRICT:

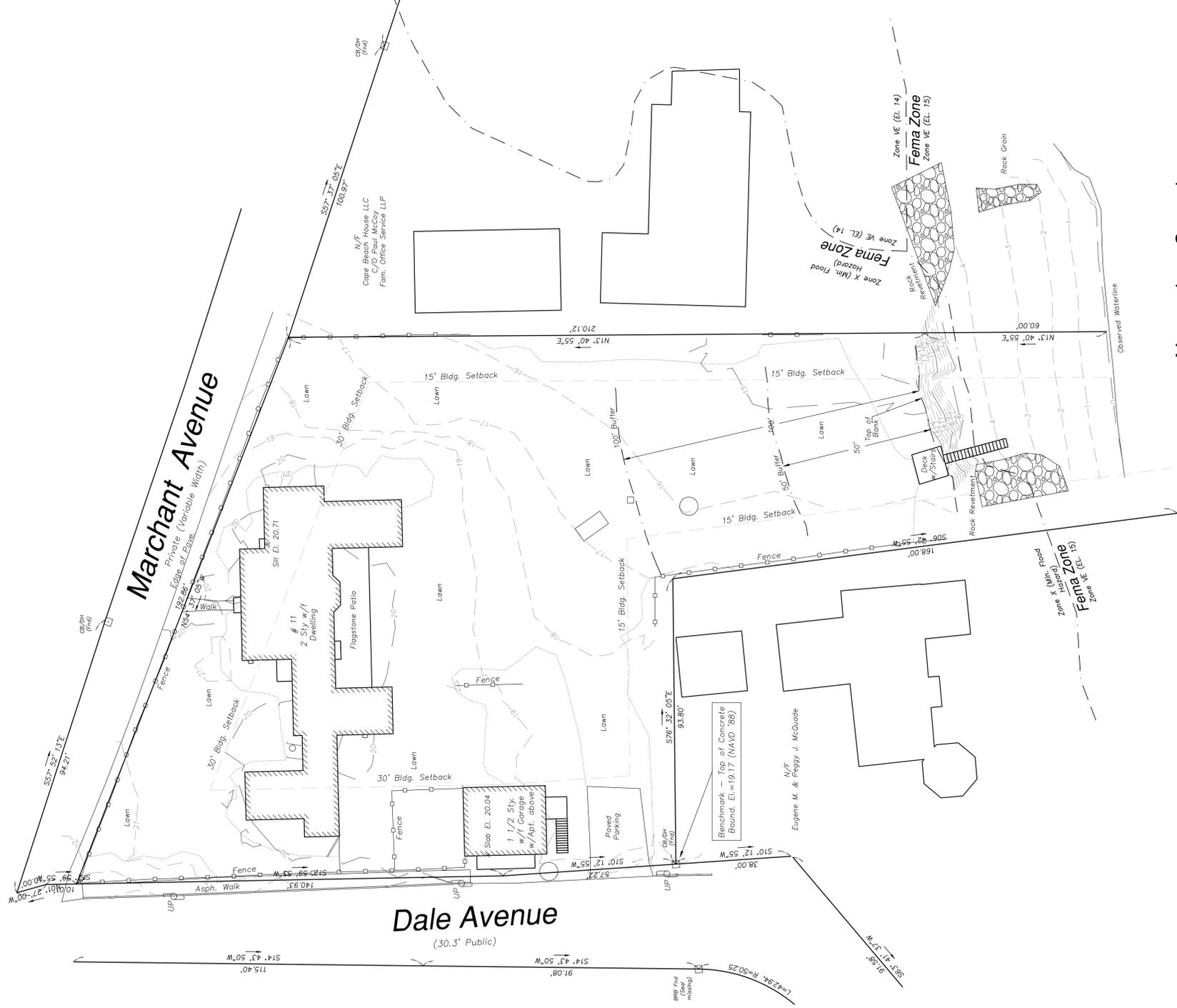
AP - Aquifer Protection District

FLOOD ZONE:

Zones AE (Elev. 15') X
 (Minimal Flood Hazard)
 Community
 July 16, 2014

REFERENCES:

Land Court Cert. 199,920
 LOP 13920 A



Nantucket Sound

LEGEND:

- CDT Cedar Tree
- HT Holly Tree
- DT Deciduous Tree
- CT Coniferous Tree
- Utility Pole
- Electric
- Gas
- Welland Flag
- Light Post
- CB/DH
- Overhead Wires
- 25— Elevation Contour

TITLE:
 Site Plan
 Existing Conditions
 At
 11 Marchant Avenue
 Barnstable (Hyannis Port) Mass.

DATE: February 3, 2021 SCALE: 1" = 20'

PREPARED BY:

Sullivan Engineering & Consulting, Inc.

Draft: ASL/CTR
 Review: JOD/CTR
 Project: Stein

Field: CTR/WHK
 Comp./Review: CTR/JOD/ASL
 Project#: 4100001

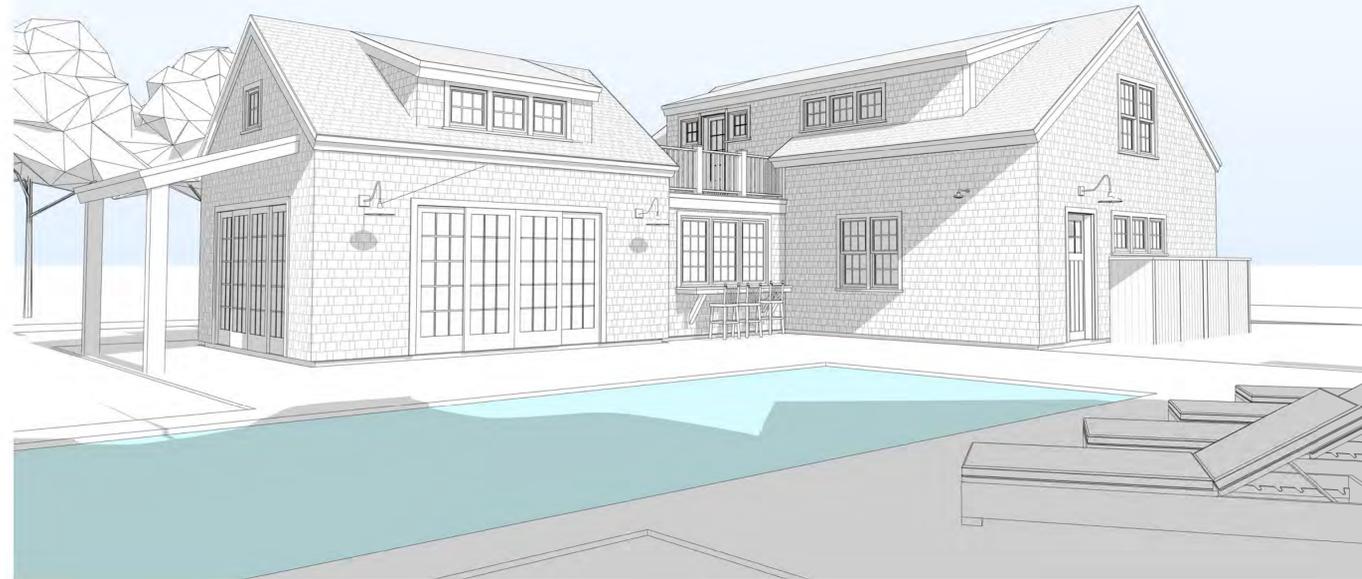
PREPARED FOR:

Babcock Cape Cod Trust
 C/O Jonathan Stein

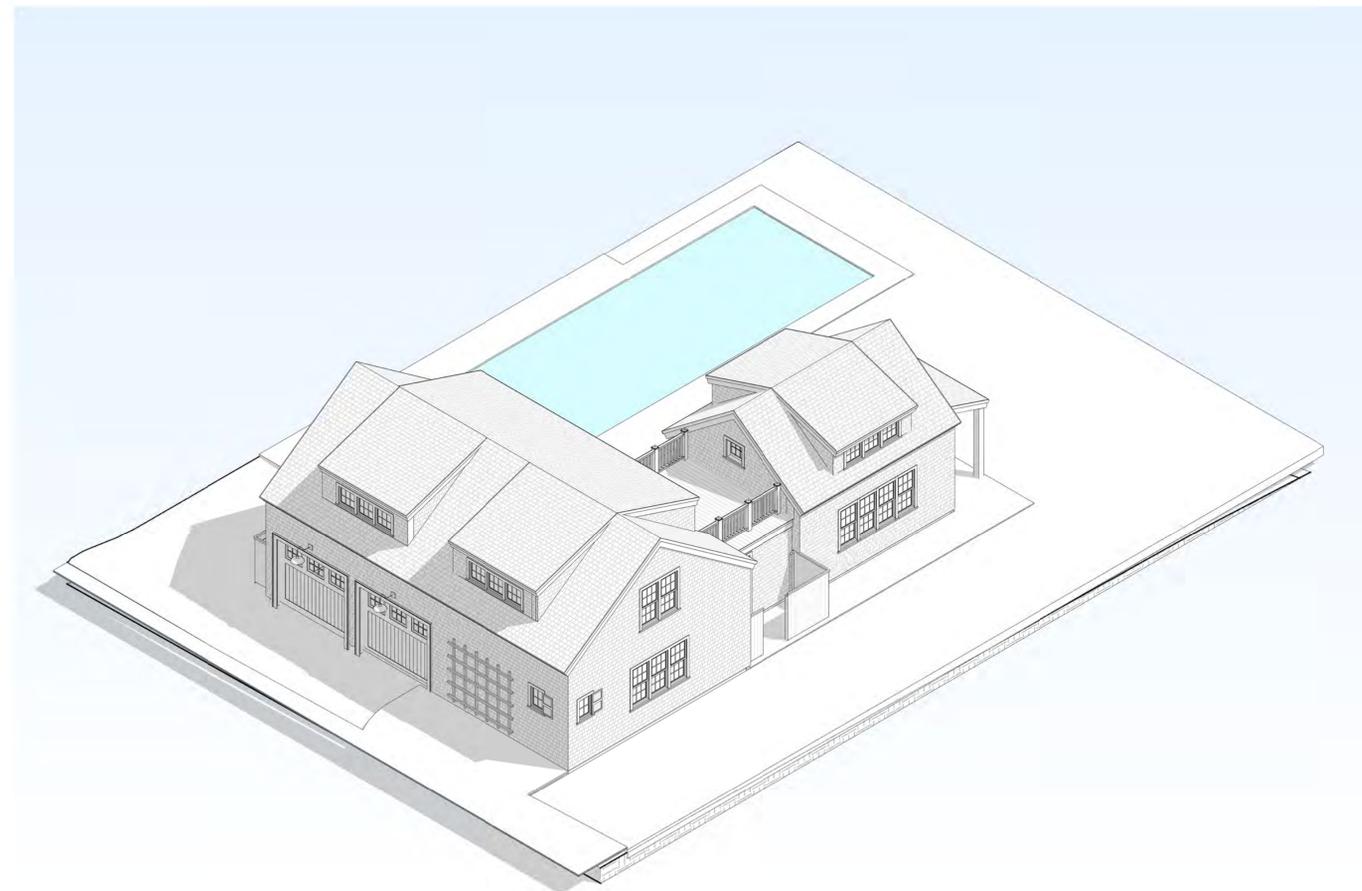


NOTES:

- 1) The property line information shown was compiled from available record information.
- 2) The topographic information was obtained from an on the ground survey performed on or between 1/21/2021 and 1/29/2021 using GPS RTK.
- 3) The datum used is NAVD '88, a fixed mean sea level datum.
- 4) Abutting structures are from Town G.I.S., locations and dimensions are approximate only.



① Pool House + Garage Northeast View



② POOL HOUSE AXON

PROJECT INFORMATION

OWNER: Polina Khentov and Jon Stein

PROJECT ADDRESS: 11 Marchant Ave
Hyannis Port, MA

ARCHITECT: Jill Neubauer Architects
15 Depot Avenue
Falmouth, MA 02540
508.548.0909
Project Manager: Kelly Ennis Connellan
kconnellan@jnarchitects.com

LANDSCAPE ARCHITECT: Bernice Wahler Landscapes
3 Clement St.
Sandwich, MA 02563
774.269.5429

CONTRACTOR: EB Norris
138 Osterville / W. Barnstable Road
Osterville, MA 02655
508.428.1165

STRUCTURAL ENGINEER: Coastal Engineering
88-MA-6A
Sanwich, MA 02563
508.255.6511

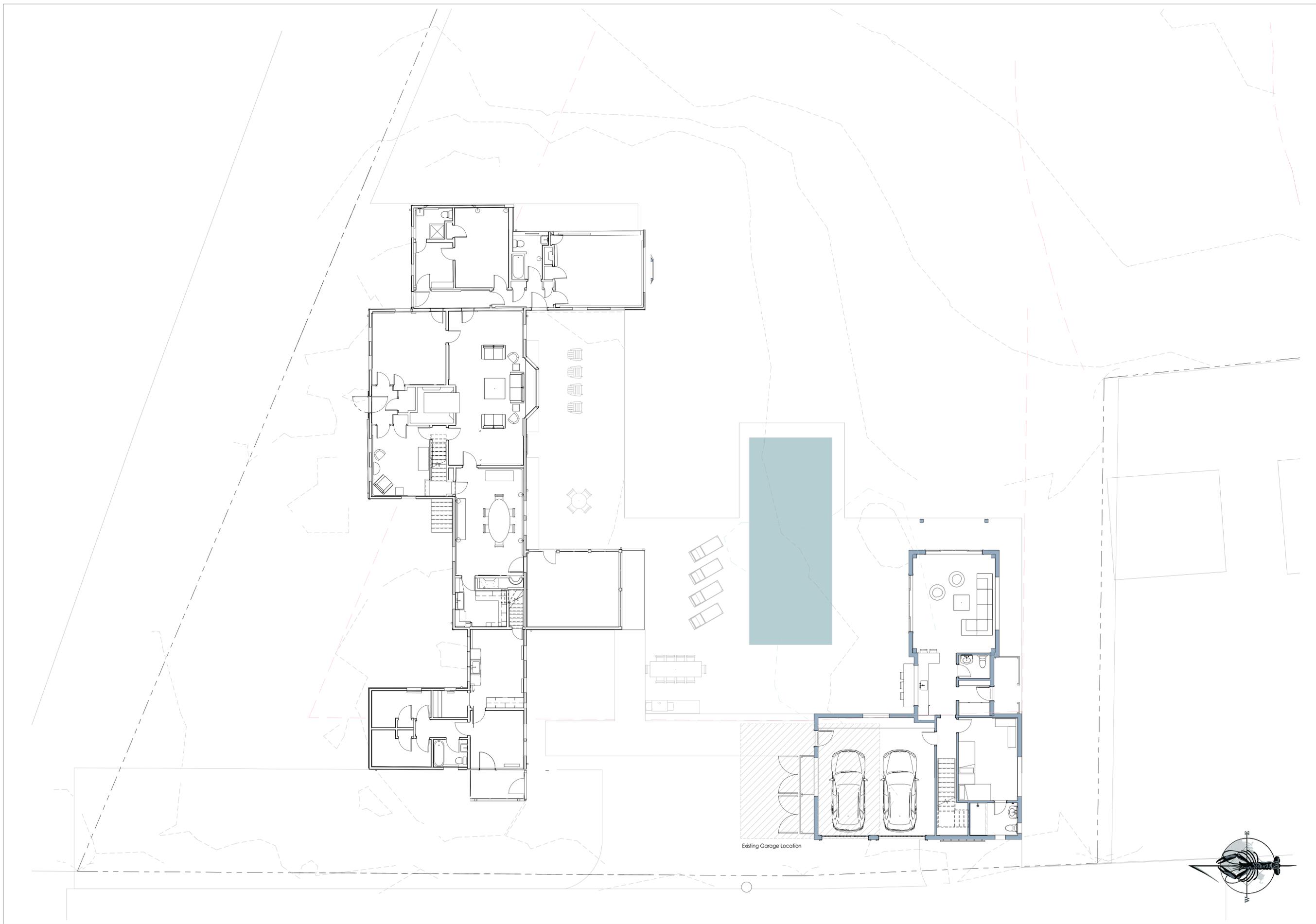
SITE ENGINEER: Sullivan Engineering
711 Main Street
Osterville, MA 02655
508.428.3344

DRAWING INDEX

Sheet List		
#	Sheet Name	Current Revision Date
GENERAL		
G000-G	GARAGE COVER SHEET	09.13.21
CIVIL		
C100	SURVEY	09.13.21
ARCHITECTURAL		
A000-G	EXISTING vs. PROPOSED SITE PLAN	09.13.21
A001-G	3D VIEWS FROM DALE AVE	09.13.21
A002-G	3D VIEWS FROM BACKYARD (NE + SE)	09.13.21
A003-G	INTERIOR GARAGE VIEWS	09.13.21
A101-G	FIRST FLOOR PLANS	09.13.21
A102-G	SECOND FLOOR PLANS	09.13.21
A200-G	GARAGE ELEVATIONS	09.13.21
A201-G	GARAGE ELEVATIONS	09.13.21

VICINITY MAP





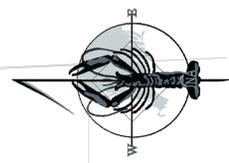
THE HOMESTEAD
 11 MERCHANT AVE
 HYANNISPORT, MA

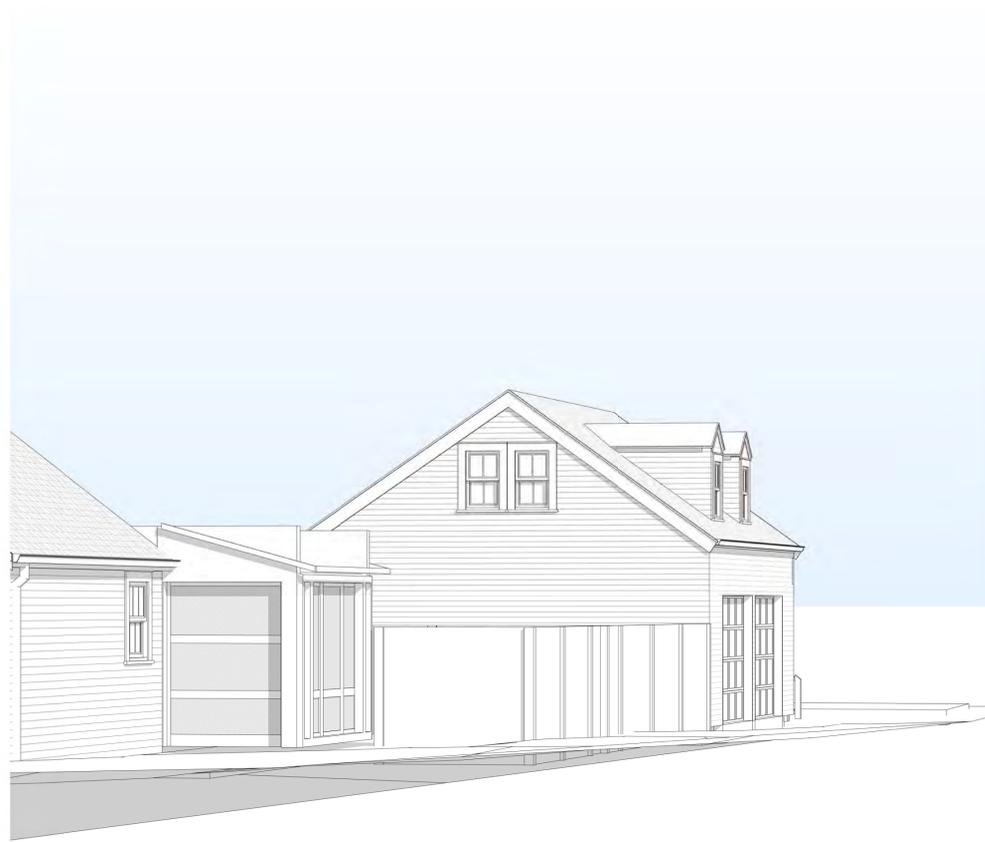
09.13.21	BHC Revisions
08.19.21	BHC Application

EXISTING vs.
 PROPOSED
 SITE PLAN

1/8" = 1'-0"

A000-G





① Northwest View from Dale Ave (Existing)



② Northwest View from Dale Ave (Proposed)



③ Southwest View from Dale Ave (Existing)



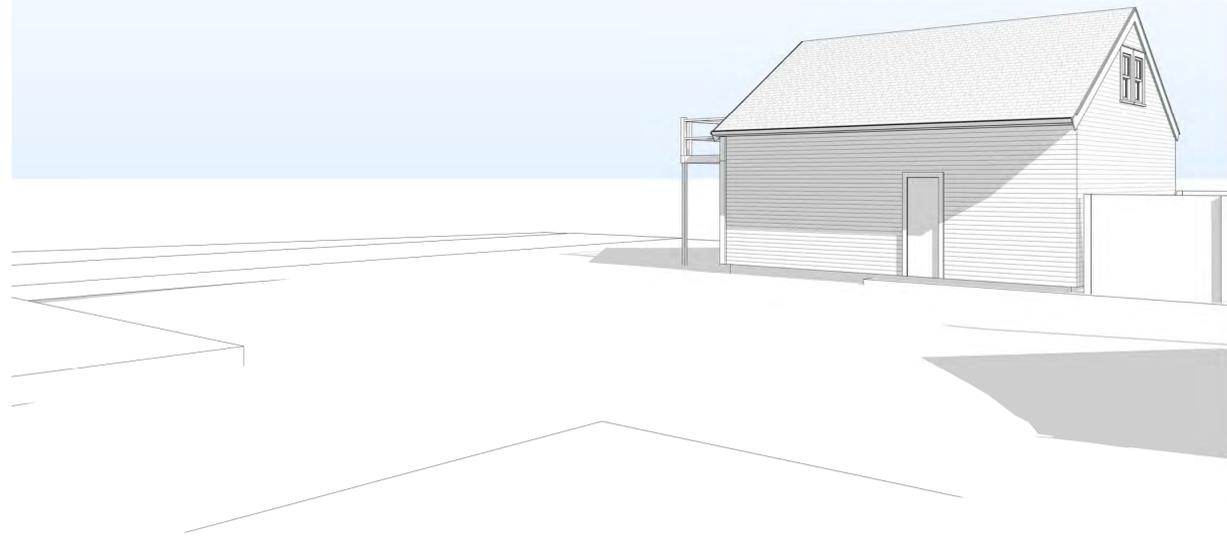
④ Southwest View from Dale Ave (Proposed)

THE HOMESTEAD
11 MERCHANT AVE
HYANNISPORT, MA

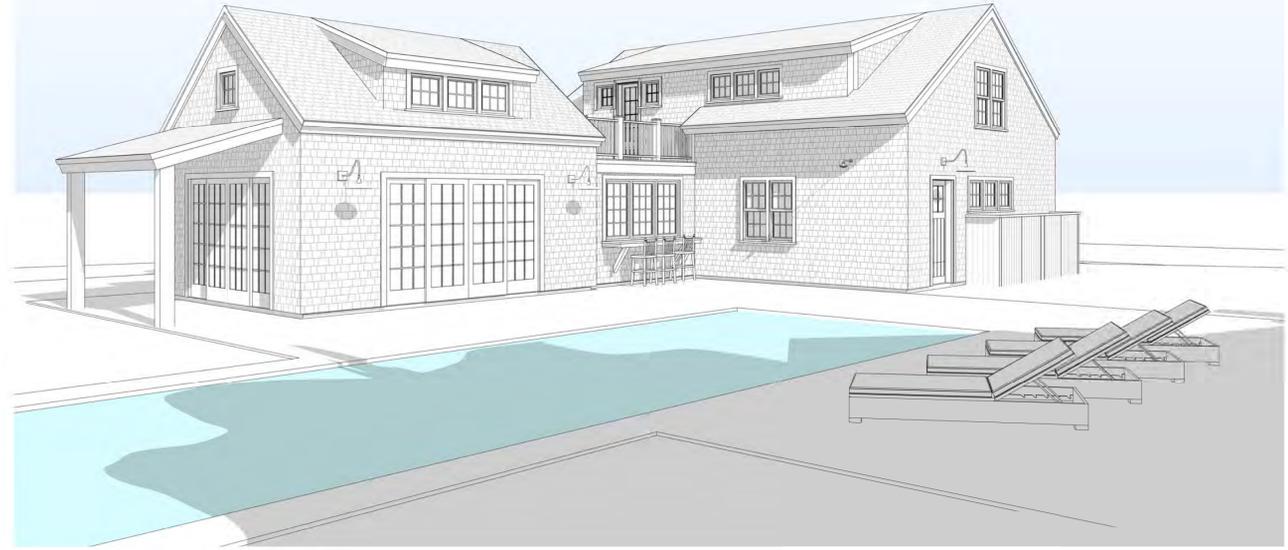
09.13.21	BHC Revisions
08.19.21	BHC Application

3D VIEWS
FROM DALE
AVE

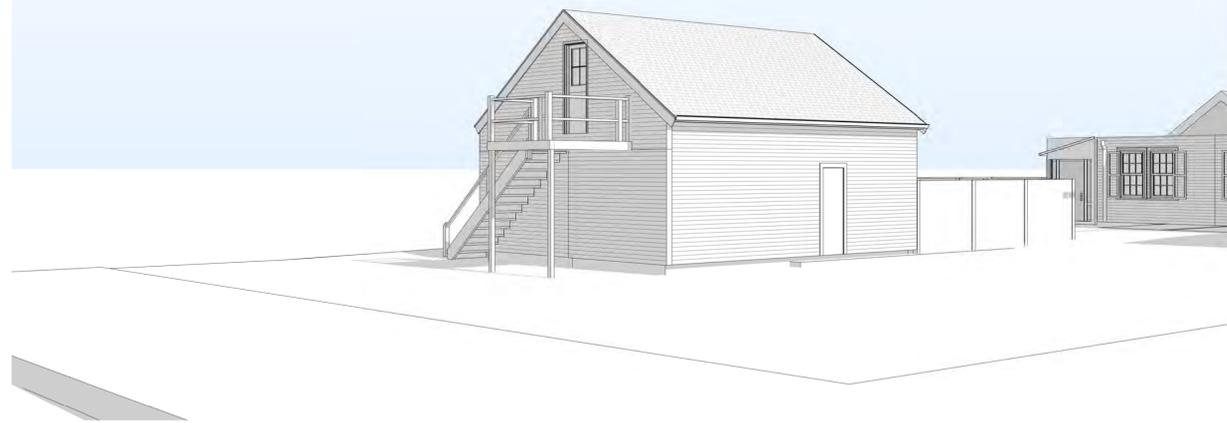
A001-G



① Garage Northeast View (Existing)



② Poolhouse + Garage Northeast View (Proposed)



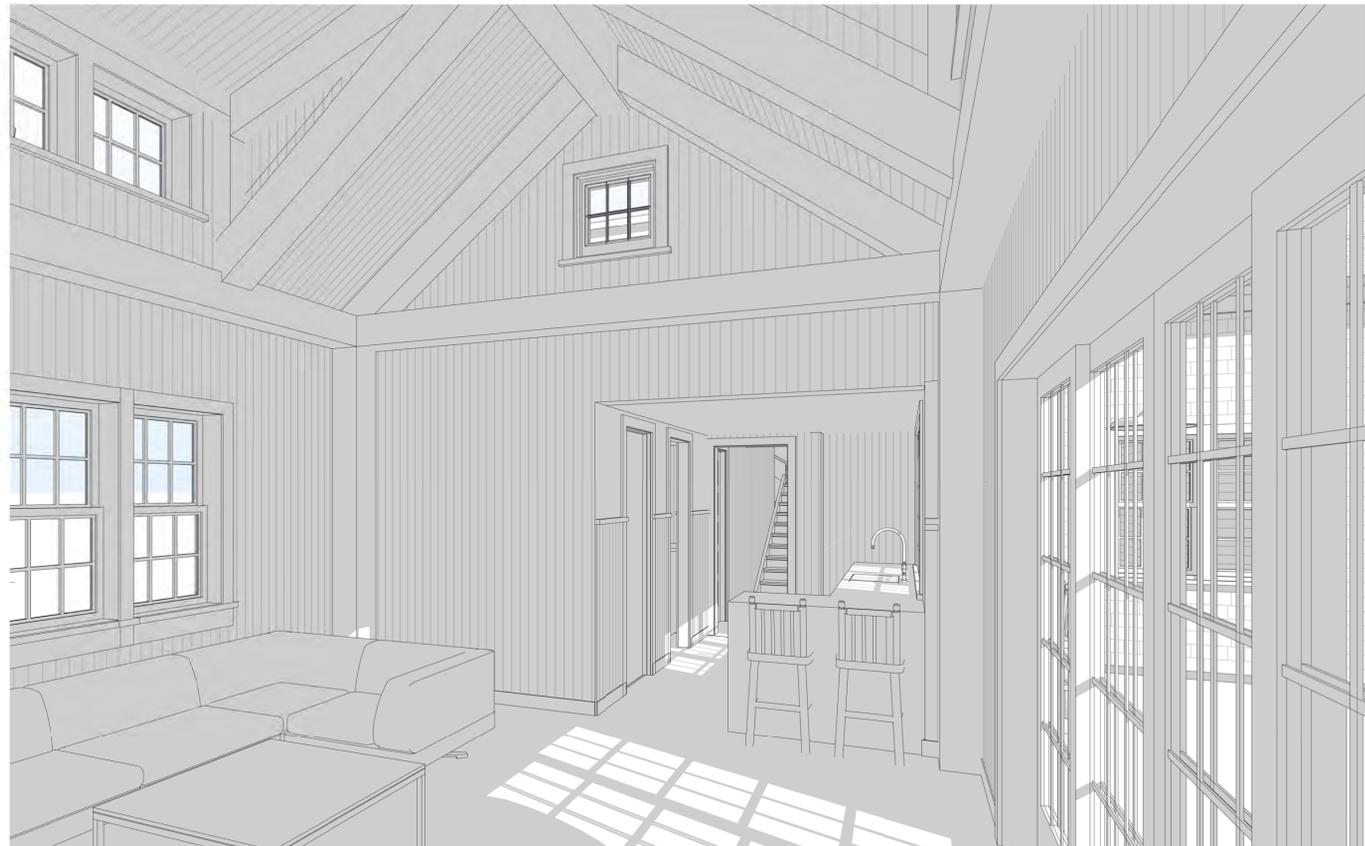
③ Garage Southeast View (Existing)



④ Poolhouse + Garage Southeast View (Proposed)



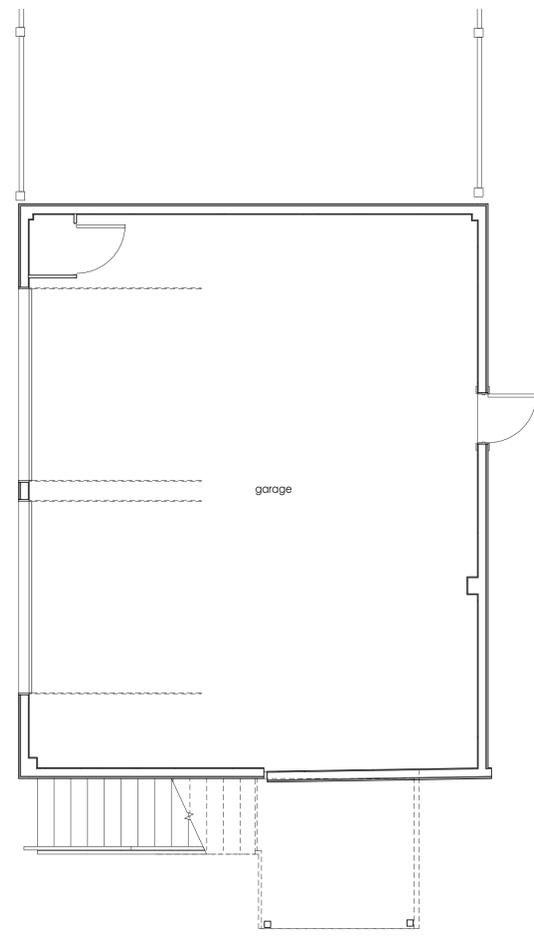
POOL HOUSE LIVING ROOM INTERIOR VIEW 1



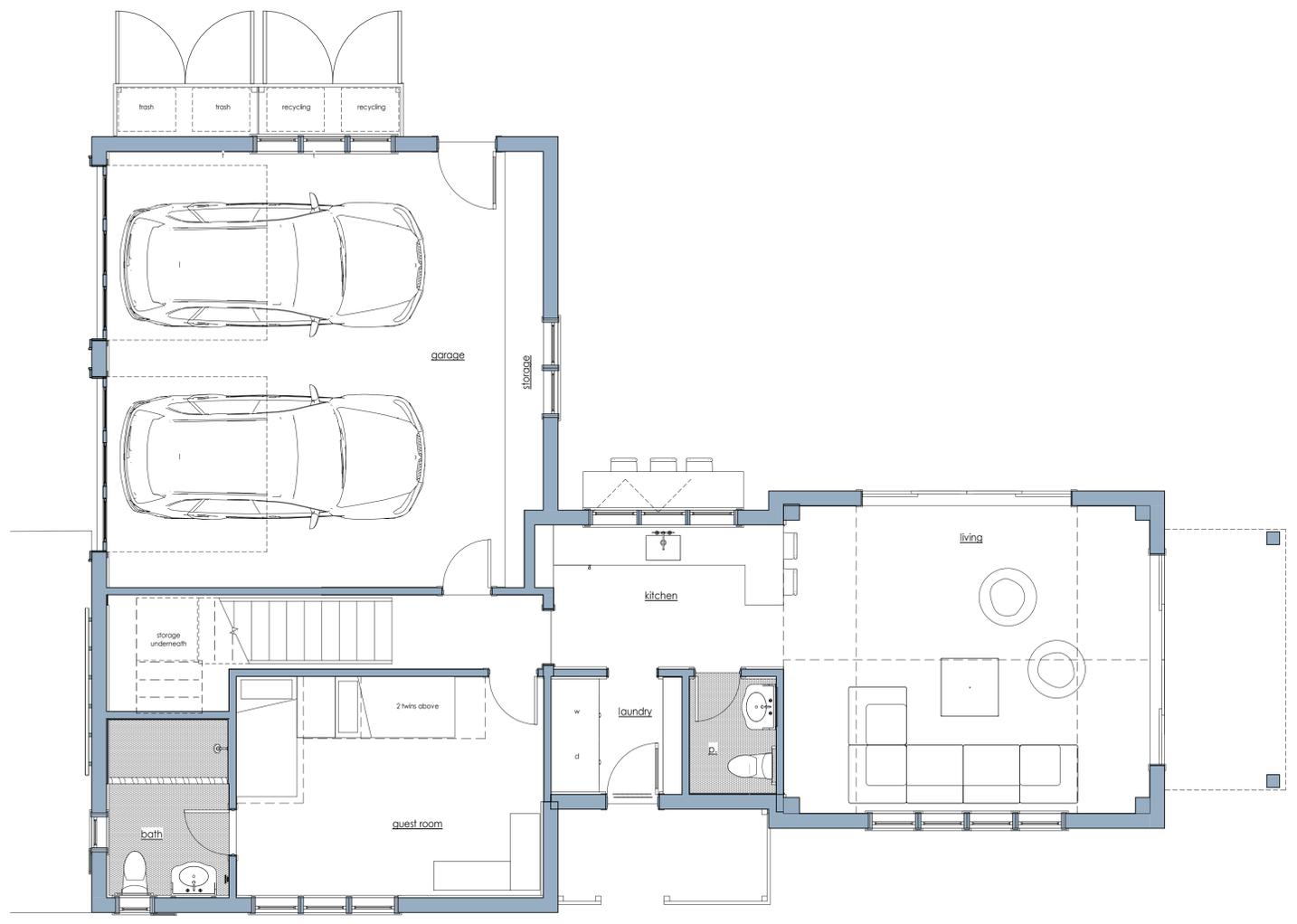
POOL HOUSE LIVING ROOM INTERIOR VIEW 2

09.13.21	BHC Revisions
08.19.21	BHC Application

THE HOMESTEAD
11 MERCHANT AVE
HYANNISPORT, MA



① Garage First Floor (Existing)
1/4" = 1'-0"



② Pool House + Garage First Floor (Proposed)
1/4" = 1'-0"

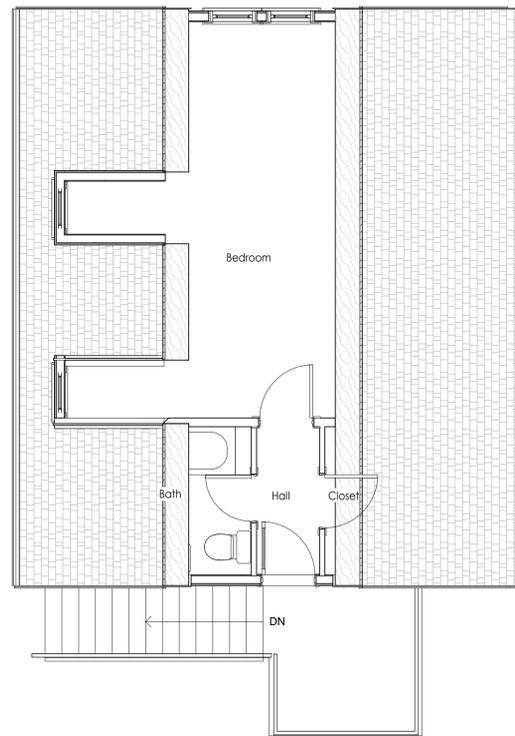
09.13.21	BHC Revisions
08.19.21	BHC Application

FIRST FLOOR PLANS

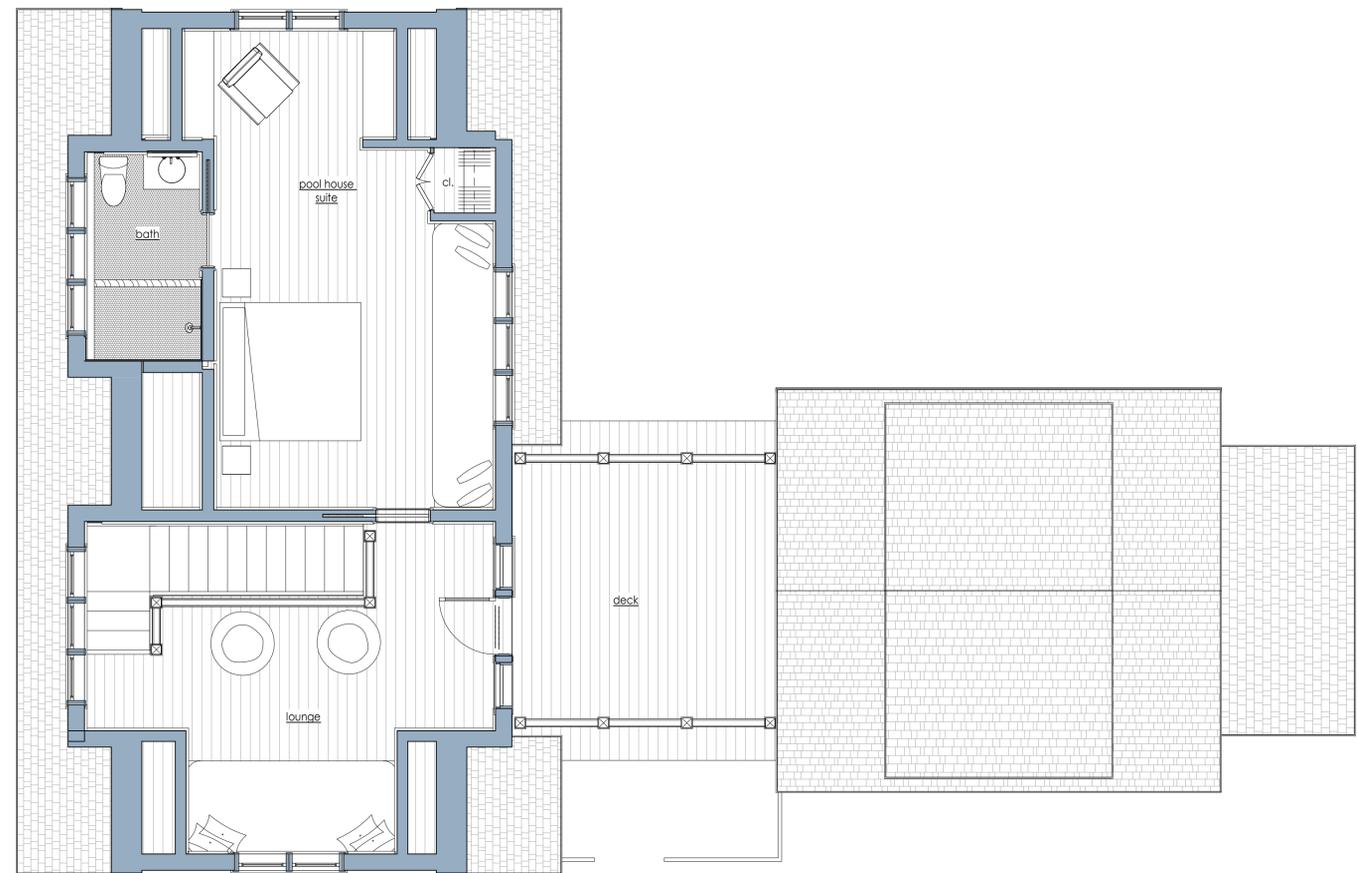
1/4" = 1'-0"

A101-G





① Garage Second Floor (Existing)
1/4" = 1'-0"



② Pool House + Garage Second Floor (Proposed)
1/4" = 1'-0"



THE HOMESTEAD
11 MERCHANT AVE
HYANNISPORT, MA

09.13.21	BHC Revisions
08.19.21	BHC Application

SECOND
FLOOR
PLANS

1/4" = 1'-0"

A102-G



August 4, 2021

Ms. Erin Logan
Barnstable Historical Commission
367 Main Street, 3rd Floor
Hyannis, MA 02601

RE: Invitation to consult on the Sunrise Wind Farm Project, and Notification of Using the NEPA Process to Fulfill Section 106 Obligations; *response requested by no later than 30 days of receipt of this letter*

Dear Potential Consulting Party,

The Bureau of Ocean Energy Management (BOEM), serving as lead Federal agency under the National Historic Preservation Act (NHPA), is reviewing the Construction and Operation Plan (COP) submitted by Sunrise Wind LLC proposing the Sunrise Wind Farm Project (the Project). BOEM has determined that approval, approval with modification, or disapproval of the COP constitutes an undertaking subject to Section 106 of the NHPA (Section 106).

If approved, the Project will consist of up to 122 wind turbine generators (WTGs), an offshore converter station, inter-array cables, an onshore converter station, an offshore transmission cable making landfall on Long Island, New York, and an onshore interconnection cable to the Long Island Power Authority Holbrook Substation. The Project will generate between 880 megawatts (MW) and 1,300 MW of renewable energy. The WTGs, offshore converter station, and array cables would be located in Federal waters approximately 18.9 statute miles (mi) (16.4 nautical miles [nm], 30.4 kilometers [km]) south of Martha's Vineyard, Massachusetts, 30.5 mi (26.5 nm, 48.1 km) east of Montauk, New York, and 16.7 mi (14.5 nm, 26.8 km) from Block Island, Rhode Island in BOEM Renewable Energy Lease Area OCS-A 0487. The offshore export cables would be buried below the seabed surface within Federal and state waters. The onshore export cables, converter station, and grid connection would be located in Suffolk County, New York. The Project location is depicted on Enclosure 1 (Figure source: Sunrise Wind Farm Project COP).

BOEM has assigned Kleinschmidt Associates PA, PC (Kleinschmidt) and SEARCH, Inc. (SEARCH) (hereafter referred to collectively as Kleinschmidt/SEARCH) as the third-party contractor to facilitate the Section 106 consultation process. All Federal oversight and decisions will remain with BOEM. Kleinschmidt/SEARCH's role in this Section 106 review is administrative; Kleinschmidt/SEARCH will coordinate communication with the consulting parties; facilitate distribution of BOEM-approved documents; provide technical assistance; and arrange and lead meetings, webinars, or calls with consulting parties.

With this letter, BOEM invites you to be a consulting party to the Project and its potential to affect historic properties. Consulting parties have certain rights and obligations under the NHPA and its implementing regulations at 36 Code of Federal Regulations (CFR) Part 800 and NEPA and its implementing regulations at 40 CFR Parts 1500–1508. These regulations provide for a

review process, known under the NHPA as Section 106 review. The regulations at 36 CFR 800.8(c) provide for the use of the NEPA process to fulfill a Federal agency's NHPA Section 106 review obligations in lieu of the procedures set forth in 26 CFR 800.3 through 800.6.

BOEM intends to use the NEPA process for NHPA Section 106 purposes in lieu of the procedures set forth in 36 CFR 800.3 through 800.6 for the Project. The Section 106 process and NEPA substitution are described at: <https://www.achp.gov/digital-library-section-106-landing/citizens-guide-section-106-review> and https://www.achp.gov/integrating_nepa_106, respectively. As part of this process, consultation with appropriate federally-recognized tribes will occur during the preparation of the Project Environmental Impact Statement (EIS) in accordance with NEPA regulations at 36 CFR 800.8(c)(1), during NEPA scoping, environmental analysis, and preparation of NEPA documents. To aid those consulting parties who may not be familiar with the NEPA substitution process, BOEM has developed a *National Environmental Policy Act Substitution for Section 106 Consulting Party Guide*, which is attached as Enclosure 2 for your reference.

By becoming a consulting party, you will be actively informed of steps in the review process, including public meetings, and your views will be actively sought. If you would like to be a consulting party to this project, please respond to Barry J. Bleichner at barry@searchinc.com or (504) 202-8715.

Please submit your request to become a consulting party ***no later than 30 days of receipt of this letter***. While you may also request to be a consulting party at a later date, the Project may advance without your input and your opportunity to fully comment on each step of the process may be affected. If you are requesting consulting party status, designate one representative and one alternate from your organization to receive correspondence and attend meetings. We also request that you indicate your preferred correspondence method: hard copy correspondence by mail, electronic correspondence by email, or both.

Please contact me if you require additional information. We look forward to working with you.

Sincerely,



Barry J. Bleichner, JD, PhD
Sunrise Wind Farm Section 106 Lead
SEARCH, Inc.

Enclosures

I. Introduction

The regulations at 36 Code of Federal Regulations (CFR) § 800.8 provide for use of the National Environmental Policy Act (NEPA) process to fulfill a Federal agency's National Historic Preservation Act (NHPA) Section 106 review obligations in lieu of the procedures set forth in 36 CFR § 800.3 through 800.6. This process is commonly known as "NEPA substitution for Section 106" and the Bureau of Ocean Energy Management (BOEM) plans to use the process and documentation required for the preparation of an [Environmental Impact Statements \(EIS\) and Record of Decision \(ROD\)](#) to comply with Section 106 on all future offshore wind project Construction and Operations Plans (COPs) for which you may be invited to participate as a Consulting Party.

This document is intended to act as a guide for Consulting Parties on the "NEPA substitution for Section 106" process to aid understanding of how this process works, how it compares to BOEM's traditional Section 106 process approach, and where in BOEM's NEPA substitution process you will be involved.

More information regarding integration of NEPA and Section 106 reviews can be found at: https://www.achp.gov/integrating_nepa_106.

II. Why is BOEM implementing a NEPA substitution process?

BOEM is using the NEPA substitution process under 36 CFR § 800.8(c) as part of a multi-faceted approach to meet the Office of Renewable Energy Program's needs. With a large number of COPs submitted for BOEM's review, there is an increased need for streamlining and efficiency in the NEPA process. In addition to efficiency, BOEM anticipates several other benefits from implementing the NEPA substitution process for its Section 106 review of COPs, including the following:

- Earlier and more direct input from Consulting Parties into the development and selection of alternatives and avoidance, minimization, or mitigation measures.
- Better integration of comments and responses, especially concerning natural and cultural resources, historic properties, visual effects, environmental justice issues, and traditional cultural practices.
- Providing a more holistic and meaningful approach to government-to-government consultation with Indian Tribes, as defined at 36 CFR § 800.16(m).

III. What are the major differences between the standard Section 106 and the "NEPA substitution for Section 106" approaches?

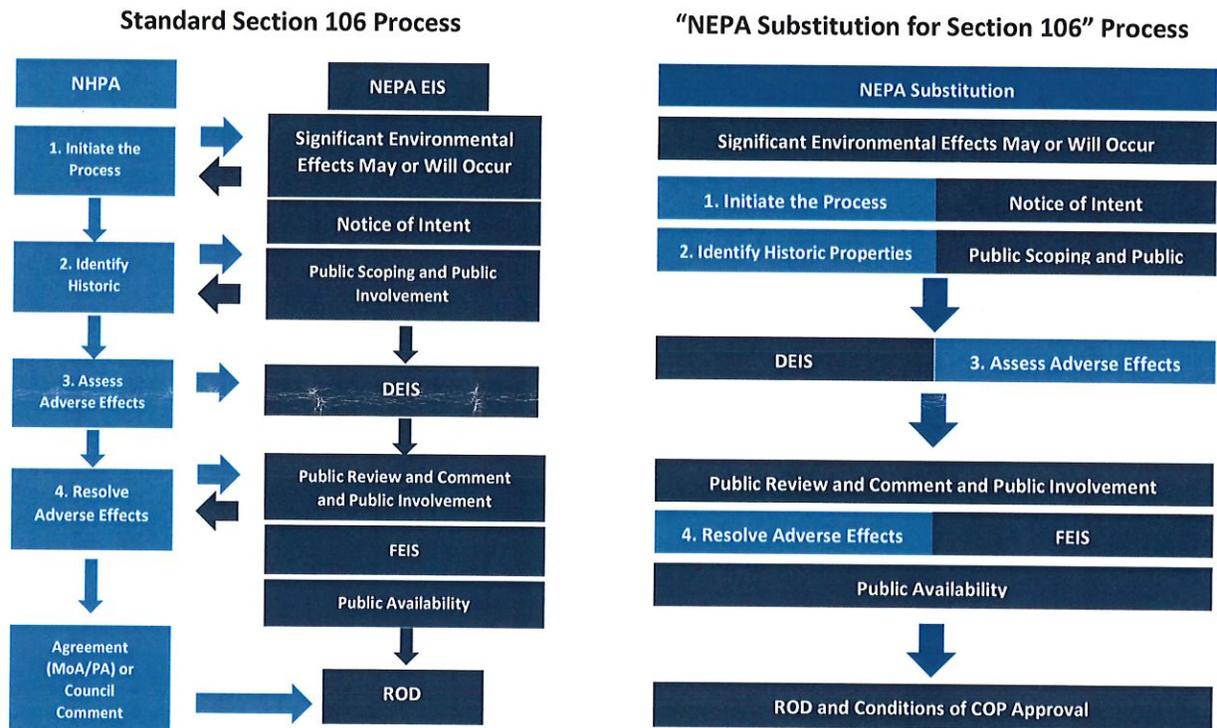
The key differences between the standard approach for Section 106 as set out in 36 CFR § 800.3 through 800.6 and how BOEM will comply with the 36 CFR § 800.8(c) approach for Section 106 review of COPs include the following:

- BOEM will seek formal consultation earlier, during significant NEPA milestones (at scoping and after publication of the Draft EIS); parties may comment throughout the development of the EIS.
- The identification of historic properties, finding of effects, and resolution of adverse effects will be documented in the Draft and Final EIS rather than in a separate Section 106 Finding

document. BOEM will provide the reports documenting the identification of historic properties along with the Draft EIS. These include:

- the Marine Archaeological Resources Assessment,
 - the Terrestrial Archaeological Resources Assessment, and
 - the Report of Visual Effects on Historic Properties, along with viewshed analyses and visual simulations.
- Resolution of adverse effects may be documented in a binding ROD and as conditions of COP approval. This differs from the standard Section 106 process in which a Memorandum of Agreement (MOA) is developed to resolve adverse effects. The combination of BOEM’s binding ROD and application of conditions of COP approval provide effective and equivalent legal requirements on itself and on the lessee.
 - BOEM’s government-to-government consultation responsibilities to Federally recognized tribes remain unchanged and efforts to consult with tribes are likely to expand under NEPA substitution.

Below, the graphic on the left illustrates the standard approach to NEPA and NHPA Section 106 review, showing the major milestones in each process when executed in parallel. The graphic on the right shows the “NEPA substitution for Section 106” approach, and how these milestones will be combined.



IV. How will BOEM meet the requirements of 36 CFR § 800.8(c) under the “NEPA substitution for Section 106” process?

As provided in 36 CFR § 800.8(c), four standards must be met:

1. The first standard is to identify Consulting Parties and invite them to participate in the process. Under the “NEPA substitution for Section 106” process, BOEM will identify Consulting Parties for each project pursuant to 36 CFR § 800.3(f) prior to or with issuance of its Notice of Intent (NOI) to prepare an EIS. During the NEPA scoping period BOEM will send a formal letter to these parties inviting them to participate in the process. These letters will also state that BOEM intends to use the NEPA process for Section 106 purposes as laid out in 36 C.F.R. § 800.8(c) to comply with Section 106 in lieu of 36 CFR § 800.3 through § 800.8.
2. The second standard is to identify historic properties and assess the effects of the undertaking in a manner consistent with 36 CFR § 800.4 through § 800.5. Under NEPA substitution, the Draft EIS will identify historic properties and assess the effects of the undertaking using the lessee’s cultural resources reports from the COP as well as Consulting Party and public input provided during the scoping period. BOEM’s regulations require that lessees include in their COPs information about historic properties, any adverse effects from their project on these historic properties, and how they propose to resolve those adverse effects (through avoidance, minimization, and mitigation measures). This information will be sent to Consulting Parties with the Draft EIS for their review, so that final measures may be developed in consultation. The Final EIS will reflect continued consultations, as well as Consulting Party comments received on the Draft EIS.
3. The third standard is to consult with Consulting Parties during NEPA scoping, environmental analysis, and preparation of the EIS regarding the effects of the undertaking on historic properties. Under the “NEPA substitution for Section 106” process as laid out in 36 CFR § 800.8(c), formal consultation will occur during the scoping period as well as during the public comment period after publication of the Draft EIS. However, Consulting Party comments will be accepted at any point during the preparation of the EIS. Additionally, if necessary, Section 106-specific consultation meetings with Consulting Parties can be arranged. Comments submitted by Consulting Parties during NEPA comment periods will help inform the effects analysis for historic properties in the Draft and Final EIS.
4. The fourth standard is to involve the public in accordance with BOEM’s NEPA procedures and develop alternatives and proposed avoidance, mitigation, and minimization measures in consultation with Consulting Parties. Proposed measures to avoid, minimize, or mitigate any adverse effects on historic properties will be first presented in the lessee’s COP, which Consulting Parties will be able to review, as well as through consultation with Consulting Parties during scoping and the Draft EIS comment period. These measures will be further developed and refined in consultation, and those changes will be reflected in the Draft and Final EIS. Public involvement will take place during the NEPA comment periods and through standard public participation practices for the NEPA process, including posting of relevant information on BOEM’s website and through Federal Register notices.

V. When and How do I provide input?

Opportunities for formal and informal consultation will occur throughout the development of the EIS. Consulting Parties will be formally invited to submit comments twice during this process: first, during the NEPA Scoping Period (so that comments can be incorporated into the Draft EIS) and second, during the Draft EIS public comment period (so that comments can be incorporated into the Final EIS). While comments can be submitted by Consulting Parties at any time, we encourage you to submit these during the scoping comment period, thus allowing BOEM to consider these comments in the development of the Draft and Final EIS.

Furthermore, BOEM is encouraging lessees to coordinate with Consulting Parties *prior to* their COP submission to request input as they develop their proposed avoidance, minimization, and mitigation measures.

VI. Will sensitive information regarding historic properties or traditional practices or places remain confidential under NEPA Substitution?

All sensitive information provided during the “NEPA substitution for Section 106” process will be treated the same way it would have been under the standard Section 106 review process as set out in 36 CFR § 800.3 through 800.6. Please note that all comments submitted through the NEPA process are submitted through regulations.gov and are available for viewing by the public. However, BOEM will provide a different means for Consulting Parties to provide comments that contain sensitive information, if requested. For Indian Tribes, as defined at 36 CFR § 800.16(m), BOEM’s Tribal Liaison Officers can provide additional guidance on sharing sensitive information for Section 106 review purposes.

VII. What is the role of third-party contractors in the “NEPA substitution for Section 106” process?

A third-party contractor has been contracted to aid with the preparation of each EIS assessing the environmental effects of a renewable energy COP. The lessee pays for the third-party contractor’s services, but BOEM is responsible for providing all work direction as well as reviewing all work performed by the third-party contractor. Third-party contractor support is essential so BOEM can meet deadlines for multiple projects occurring simultaneously. Throughout the “NEPA substitution for Section 106” process you can expect to be contacted by the third-party contractor. The third-party contractor will support BOEM by performing various administrative and logistical tasks, including but not limited to coordinating communication with the consulting parties; distributing BOEM-approved documents; providing technical assistance; and hosting and facilitating NEPA and/or NHPA meetings, webinars, and calls with consulting parties. It is important to note that it is BOEM’s responsibility to comply with Section 106 and all decisions and content of the Draft EIS, Final EIS, and ROD as well as other documents are determined by BOEM.

Additionally, BOEM fully recognizes that the responsibility to consult with the appropriate federally recognized tribes (as defined at 36 CFR 800.16(m)) is its own and cannot be delegated, per 36 CFR Section 800.2(c)(4). Due to the special legal relationship between BOEM and federally recognized Tribes, third party contractors will not participate in government-to-government consultations between BOEM and federally recognized Tribes.



31 August 2021

Erin Logan
Barnstable Historical Commission
367 Main Street, 3rd Floor
Hyannis, MA 02601

RE: Notice of Intent for the Sunrise Wind Farm Project

Dear Consulting Party,

This letter is to notify you that the Bureau of Ocean Energy Management (BOEM) has issued a Notice of Intent (NOI) to prepare an Environmental Impact Statement (EIS) for the Sunrise Wind Farm Project in the *Federal Register*. The NOI can be found at www.boem.gov/Sunrise-Wind. This NOI commences the public scoping process for identifying issues and potential alternatives for consideration in the Sunrise Wind Farm Project EIS.

BOEM has assigned Kleinschmidt Associates PA, PC (Kleinschmidt) and SEARCH, Inc. (SEARCH) (hereafter referred to collectively as Kleinschmidt/SEARCH) as the third-party contractor to facilitate the NEPA process. All Federal oversight and decisions will remain with BOEM. Kleinschmidt/SEARCH's role in the NEPA process is administrative; Kleinschmidt/SEARCH will coordinate communication with the consulting parties; facilitate distribution of BOEM-approved documents; provide technical assistance; and arrange and lead meetings, webinars, or calls with consulting parties.

If approved, the Project will consist of up to 122 wind turbine generators (WTGs), an offshore converter station, inter-array cables, an onshore converter station, an offshore transmission cable making landfall on Long Island, New York, and an onshore interconnection cable to the Long Island Power Authority Holbrook Substation. The Project will generate between 880 megawatts (MW) and 1,300 MW of renewable energy. The WTGs, offshore converter station, and array cables would be located in Federal waters approximately 18.9 statute miles (mi) (16.4 nautical miles [nm], 30.4 kilometers [km]) south of Martha's Vineyard, Massachusetts, 30.5 mi (26.5 nm, 48.1 km) east of Montauk, New York, and 16.7 mi (14.5 nm, 26.8 km) from Block Island, Rhode Island in BOEM Renewable Energy Lease Area OCS-A 0487. The offshore export cables would be buried below the seabed surface within Federal and state waters. The onshore export cables, converter station, and grid connection would be located in Suffolk County, New York. The Project location is depicted on Enclosure 1 (Figure source: Sunrise Wind Farm Project COP).



Through this notice, BOEM seeks comment and input regarding the identification of historic properties and/or potential effects to historic properties from activities associated with approval of the Project, as well as reasonable alternatives (e.g., size, geographic, or other restrictions on construction and siting of facilities and activities), and potential mitigation measures to be analyzed in the EIS, as well as provide additional information. Mitigation measures may include ways to avoid, minimize, or otherwise treat and resolve adverse effects on historic properties.

As you may recall from our prior correspondence, BOEM is using the National Environmental Policy Act substitution for Section 106 process as laid out in the regulations at 36 CFR § 800.8. The NOI initiates a 30-day scoping period for the Project. BOEM intends to hold public scoping meetings to provide the public, Tribes, and Consulting Parties an opportunity to review project information and comment. You can find more information about the project Plan, as well as scoping meeting dates, times, and locations on BOEM's website at: www.boem.gov/Sunrise-Wind.

Scoping comments may be submitted the following ways:

Through the regulations.gov web portal: Navigate to <https://www.regulations.gov> and search for Docket No. BOEM-2021-0052. Click on the "Comment Now!" button to the right of the document link. Enter your information and comment, then click "Submit".

OR

In written form by mail, enclosed in an envelope labeled "Comment on the Sunrise Wind Farm Project Draft EIS" and addressed to the Program Manager, Office of Renewable Energy, Bureau of Ocean Energy Management, 45600 Woodland Road, VAM-OREP, Sterling, Virginia 20166.

Comments should be received or postmarked no later than September 30, 2021. If your comments contain confidential or sensitive information or to obtain more information on the Project or BOEM's policies associated with the NOI, please contact Barry Bleichner at barry@searchinc.com or (504) 202-8715. While comments can be submitted at any time, we encourage you to submit these during the scoping comment period, thus allowing BOEM to consider these comments in the development of the Draft EIS.

Please contact me if you require additional information. We look forward to working with you.

Sincerely,

A handwritten signature in black ink, appearing to read "Barry Bleichner", written over a white background.

Barry Bleichner
Sunrise Wind Farm Project Section 106 Lead
SEARCH Inc.

Enclosures

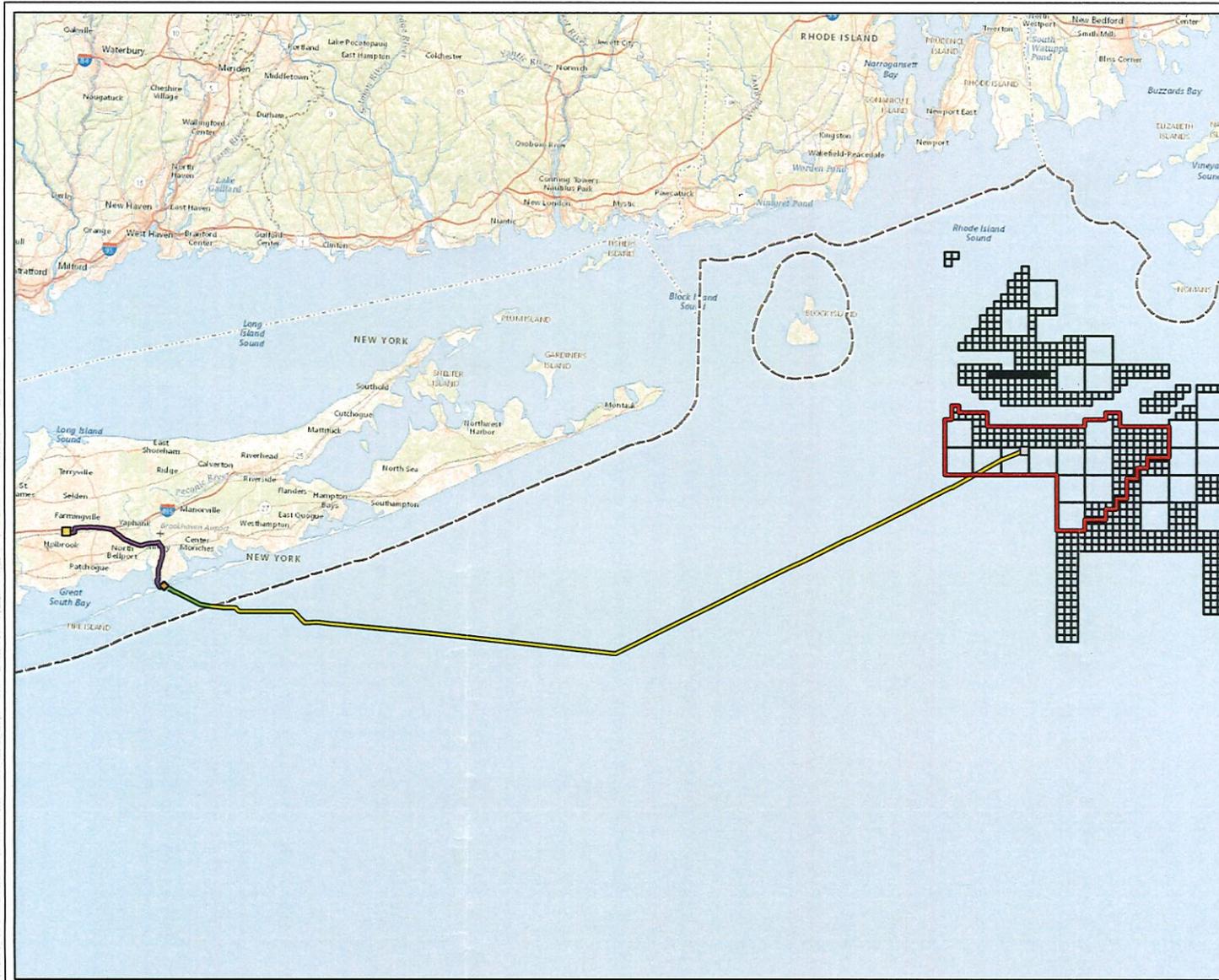


Figure 1
Project Location

Sunrise Wind | Powered by Ørsted & Eversource

- Legend**
- Sunrise Wind Farm (SRWF)
 - Offshore Converter Station (OCS-DC)
 - SRWEC Landfall Location
 - Onshore Converter Station (OnCS-DC)
 - Sunrise Wind Export Cable (SRWEC-OCS)
 - Sunrise Wind Export Cable (SRWEC-NYS)
 - Onshore Transmission Cable
 - LIE Service Road Route
 - 3-nm State Waters Boundary
 - BOEM OCS Lease Block

Note:
Routes are indicative and subject to engineering design changes.

Sources:
1. Base map: USGS The National Map

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